



**#2010-16**  
**Black Ink Tattoo**  
**Project Review for Planning and Zoning Commission**

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**Meeting Date:** April 7, 2010

**Request:** Special Use Permit to allow a tattoo parlor.

**Location:** 540 E. Terra Cotta, Suite F

**Acreage:** Approximately 1,192 SF tenant suite

**Zoning:** B-2 PUD General Commercial

**Surrounding Properties:** North: M - Manufacturing  
South: B-2 General Commercial  
East: B-2 General Commercial  
West: M - Manufacturing

**Staff Contact:** Elizabeth Maxwell (815.356.3615)

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**Background:**

The proposed tattoo parlor will be located in Suite F of the Terra Cotta Shops retail center. This suite was previously rented by Boldline Tattoo. Black Ink Tattoo will utilize the same floor plan with a waiting area, two tattoo stations and a piercing station. A tattoo parlor requires a Special Use Permit.

**Zoning Analysis:**

**ZONING**

The site is currently zoned B-2 PUD General Commercial. The Unified Development Ordinance lists a tattoo parlor as a Special Use in the B-2 zoning district. Based on their unique characteristics, Special Uses require special consideration of their impacts on surrounding properties and the orderly development of the community.

Article 2 Section 2-400 B of the Unified Development Ordinance establishes general standards for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.  
 *Meets*                       *Does not meet*
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.  
 *Meets*                       *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.  
 *Meets*                       *Does not meet*
  
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.  
 *Meets*                       *Does not meet*
  
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.  
 *Meets*                       *Does not meet*
  
6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.  
 *Meets*                       *Does not meet*
  
7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.  
 *Meets*                       *Does not meet*
  
8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.  
 *Meets*                       *Does not meet*
  
9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.  
 *Meets*                       *Does not meet*
  
10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.  
 *Meets*                       *Does not meet*

## PARKING

The parking is shared for all tenant suites within this building and with the adjacent buildings in this development. The tattoo parlor will require parking to be either 1 space per 300 gross square feet or 2 parking spaces per tattoo /piercing artist station. This use is required to have between 4 and 6 parking spaces. There are a total of 106 parking spaces for the two buildings and there is adequate parking for this use.

### **Comprehensive Land Use Plan 2020 Vision Summary Review:**

The Comprehensive Land Use Plan designates the property in question as Commerce, which represents existing commercial areas and indicates areas for future commercial uses. Within the Commerce/Office/Industry Land Use section of the Comprehensive Plan, the following goal and objectives are applicable to this request:

**Goal: Facilitate a dynamic and sustainable base of commercial, office and industrial uses that provide jobs, goods and services to people in the city and throughout the surrounding region, as well as a solid tax base to the city.**

**Objective #2:** Encourage business development that maximizes links to related businesses, infrastructure and customers.

- Encourage the reuse and redevelopment of existing buildings and facilities instead of growth into undeveloped land.

### **Recommended Conditions:**

If a motion to recommend approval of the Special Use Permit is made, the following conditions are recommended:

1. Approved plan, to reflect staff and advisory board comments, as approved by the City Council:
  - A. Application (Darkwater Tattoos II LLC, received 9/14/09).
  - B. Floor Plan (Mark Elmore Associates Architects, received 2/24/10)
2. This Special Use Permit is granted specifically for Black Ink Tattoo Inc., in Suite F, 540 Terra Cotta Ave. Any increase in the intensity of the use will require an amendment of this SUP.
3. If the use is not established, this Special Use Permit shall terminate one year from the date of approval.
4. The petitioner shall address all of the review comments of Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

# City of Crystal Lake Development Application

Office Use Only  
File # 2010 - - 16

Project Title: SPECIAL USE - TERRA COTTA SHOPS SUITE F "BLACK INK TATTOO INC."

**Action Requested**

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                   | <input type="checkbox"/> Preliminary PUD                 |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review        | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Final PUD                    | <input checked="" type="checkbox"/> Special Use Permit   |
| <input type="checkbox"/> Final PUD Amendment          | <input type="checkbox"/> Variation                       |
| <input type="checkbox"/> Final Plat of Subdivision    | <input type="checkbox"/> Other                           |

**RECEIVED**  
FEB 24 2010  
BY: \_\_\_\_\_

**Petitioner Information**

TENANT  
**Owner Information (if different)**

Name: TERRA COTTA SHOPS LLC  
CHARLES RIVER DEVELOPMENT Name: DAN SERAFINO

Address: 600 DAKOTA ST. SUITE B Address: \_\_\_\_\_  
CRYSTAL LAKE IL 60012

Phone: 815-477-3123 Phone: 269-861-6734

Fax: 815-477-4523 Fax: \_\_\_\_\_

E-mail: kgoble@CHASERIVERDEV.COM E-mail: MEWACING@FLEX@HOTMAIL.COM

**Property Information**

Project Description: SPECIAL USE FOR A TATTOO STUDIO  
located at 540 E. TERRA COTTA SUITE F (FORMER  
BOLDLINE STUDIO TATTOO SHOP)

Project Address/Location: 540 E. TERRA COTTA SUITE F

PIN Number(s): 14-33-277-009, 14-33-277-010

**Development Team**

Please include address, phone, fax and e-mail

600 DAKOTA ST.  
CL IL 60012  
815-477-3123

Developer: CHARLES RIVER DEVELOPMENT

Architect: N/A

Attorney: N/A

Engineer: N/A

Landscape Architect: N/A

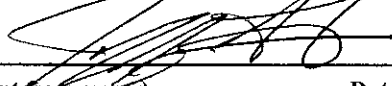
Planner: N/A

Surveyor: N/A

Other: \_\_\_\_\_

**Signatures**

CHARLES RIVER DEVELOPMENT

~~XXXXXXXXXX~~ JEFF GOBLE  2/23/10

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

\_\_\_\_\_  
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

**PUBLIC NOTICE**

**BEFORE THE PLANNING AND  
ZONING COMMISSION  
OF THE CITY OF CRYSTAL LAKE,  
MCHENRY COUNTY, ILLINOIS**

**IN THE MATTER OF THE PETITION  
OF Black Ink Tattoo Inc.)**

**LEGAL NOTICE**

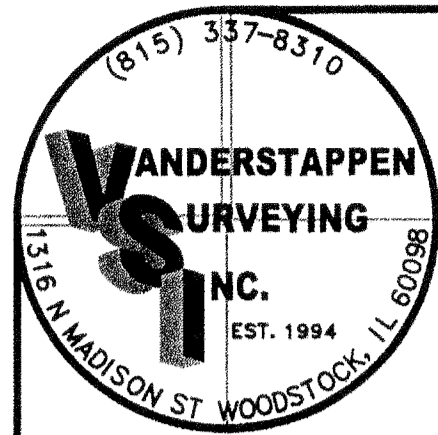
Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application by Black Ink Tattoo Inc., for a Special Use Permit relating to the following described real estate commonly known as 540 E. Terra Colta Avenue, Suite F, Crystal Lake, Illinois 60014, PIN: 14-33-277-009, 14-33-277-010.

This application is filed for the purposes of seeking a Special Use Permit, to allow a tattoo parlor pursuant to Article 2 Table 2-300 Permitted Uses Table and Section 2-400 B General Standards for all special uses of the Unified Development Ordinance. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday March 17, 2010, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson  
Planning and Zoning Commission  
City of Crystal Lake  
(Published in the Northwest Herald  
March 2, 2010)

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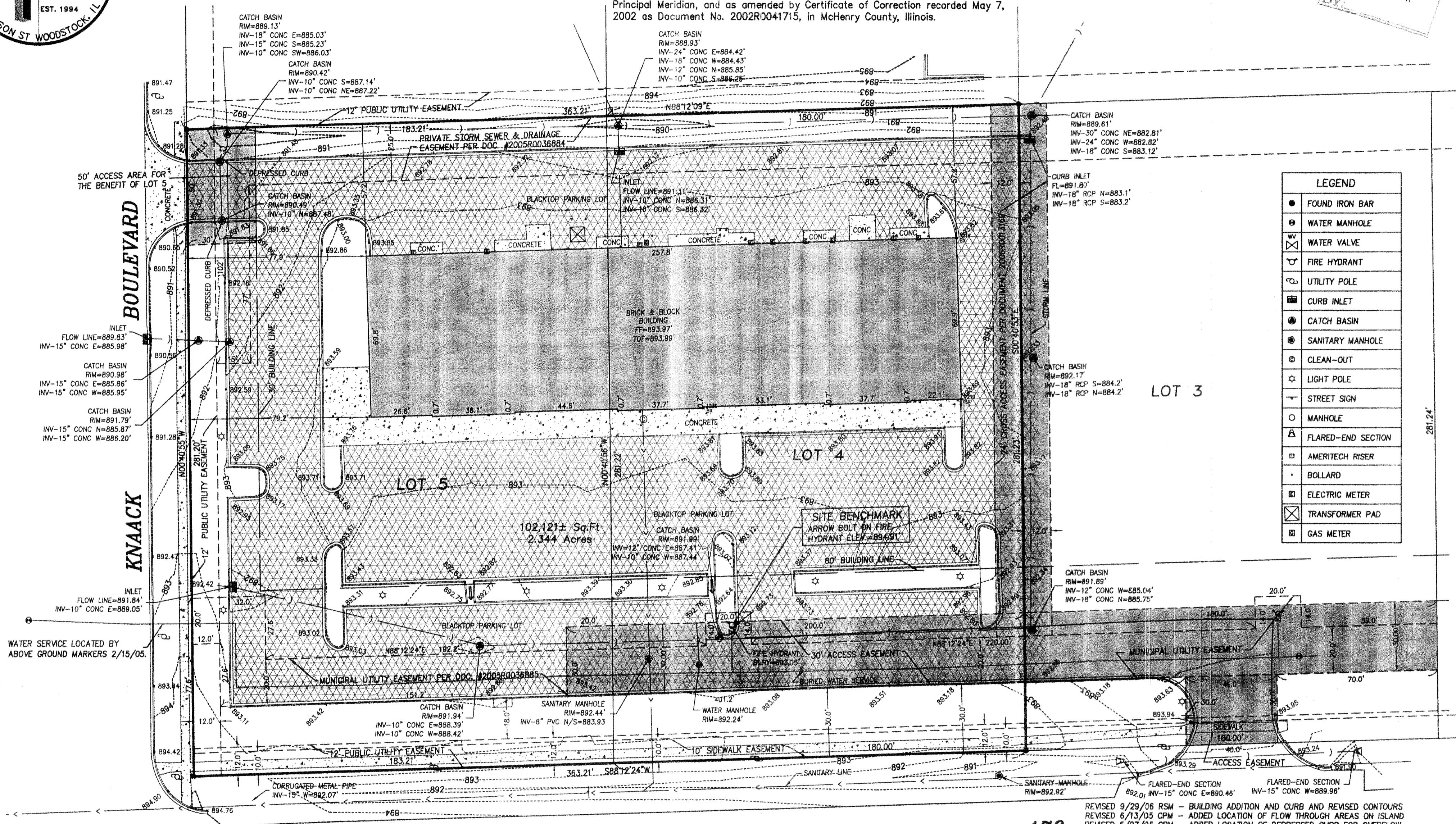


# PLAT OF SURVEY

Lot 4 & 5 in Terra Cotta Tech Subdivision, being a Subdivision of part of the East Half of the Northeast Quarter of Section 33 and the Re-Subdivision of Lots 3, 4, 5 and 8 in Robert Bartlett's Crystal Lake Acres, being a Subdivision of part of said East Half, according to the Plat thereof recorded December 26, 2001 as Document No. 2001R0099416, in Township 44 North, Range 8 East of the Third Principal Meridian, and as amended by Certificate of Correction recorded May 7, 2002 as Document No. 2002R0041715, in McHenry County, Illinois.

2010

RECEIVED  
FEB 24 2010  
BY:



LEGEND	
●	FOUND IRON BAR
⊙	WATER MANHOLE
⊗	WATER VALVE
⊕	FIRE HYDRANT
⊙	UTILITY POLE
⊕	CURB INLET
⊙	CATCH BASIN
⊙	SANITARY MANHOLE
⊙	CLEAN-OUT
☆	LIGHT POLE
⊕	STREET SIGN
⊙	MANHOLE
⊕	FLARED-END SECTION
⊕	AMERITECH RISER
⊕	BOLLARD
⊕	ELECTRIC METER
⊕	TRANSFORMER PAD
⊕	GAS METER

ILLINOIS

ROUTE

176

REVISED 9/29/06 RSM - BUILDING ADDITION AND CURB AND REVISED CONTOURS  
REVISED 6/13/05 CPM - ADDED LOCATION OF FLOW THROUGH AREAS ON ISLAND  
REVISED 5/27/05 CPM - ADDED LOCATION OF DEPRESSED CURB FOR OVERFLOW  
STATE OF ILLINOIS )

) S.S.  
COUNTY OF McHENRY)

In my professional opinion, and based on my observations, I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of the said survey. This professional service conforms to the current Illinois minimum standards for a boundary survey.

Dated at Woodstock, McHenry County, Illinois 5/19 A.D., 2005.

VANDERSTAPPEN SURVEYING, INC.  
Design Firm No. 184-002792

By: \_\_\_\_\_  
Illinois Professional Land Surveyor No. 2709

CLIENT: CHARLES RIVER DEVELOPMENT  
DRAWN BY: CPM CHECKED BY: WJV  
SCALE: 1"=30' SEC. 33 T. 44 R. 08 E.  
BASIS OF BEARING: PER RECORD SUBDIVISION  
P.I.N.: 14-33-277-009,010  
JOB NO.: 040979-A I.D. ASB  
FIELDWORK COMP.: 4/28/05 BK. PG.  
ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF CORRECTED TO 68° F. REF: 040747

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.

- \* No distance should be assumed by scaling.
- \* No underground improvements have been located unless shown and noted.
- \* No representation as to ownership, use, or possession should be hereon implied.
- \* This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

**SPECIAL NOTE:**  
Existing grades and improvements are shown from the best information available and must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.

NOTE "A":  
SAW CUT ALONG EDGE OF PAVEMENT LINE INSTALLED BY OTHERS TO PROVIDE CLEAN JOINT BETWEEN EXISTING AND NEW PAVEMENT.

NOTE "B":  
PROPOSED HANDICAPPED RAMP COMPLYING WITH ALL CITY AND STATE REQUIREMENTS INCLUDING 24" WIDE TRUNCATED DOME DETECTABLE WARNING SURFACE IN BRICK RED COLOR. SEE CITY DETAILS.

NOTE:  
REMOVE EXISTING DELINEATOR POSTS ON THE SITE INSTALLED BY OTHERS.

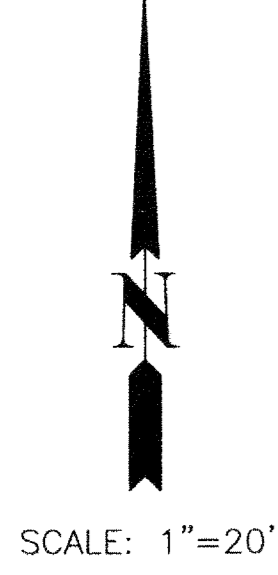
NOTE:  
ALL TRAFFIC SIGNS ARE TO BE INSTALLED AT 7' MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.

NOTE:  
SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, PARKING LOT LIGHTING, SIGNAGE, AND LANDSCAPING.

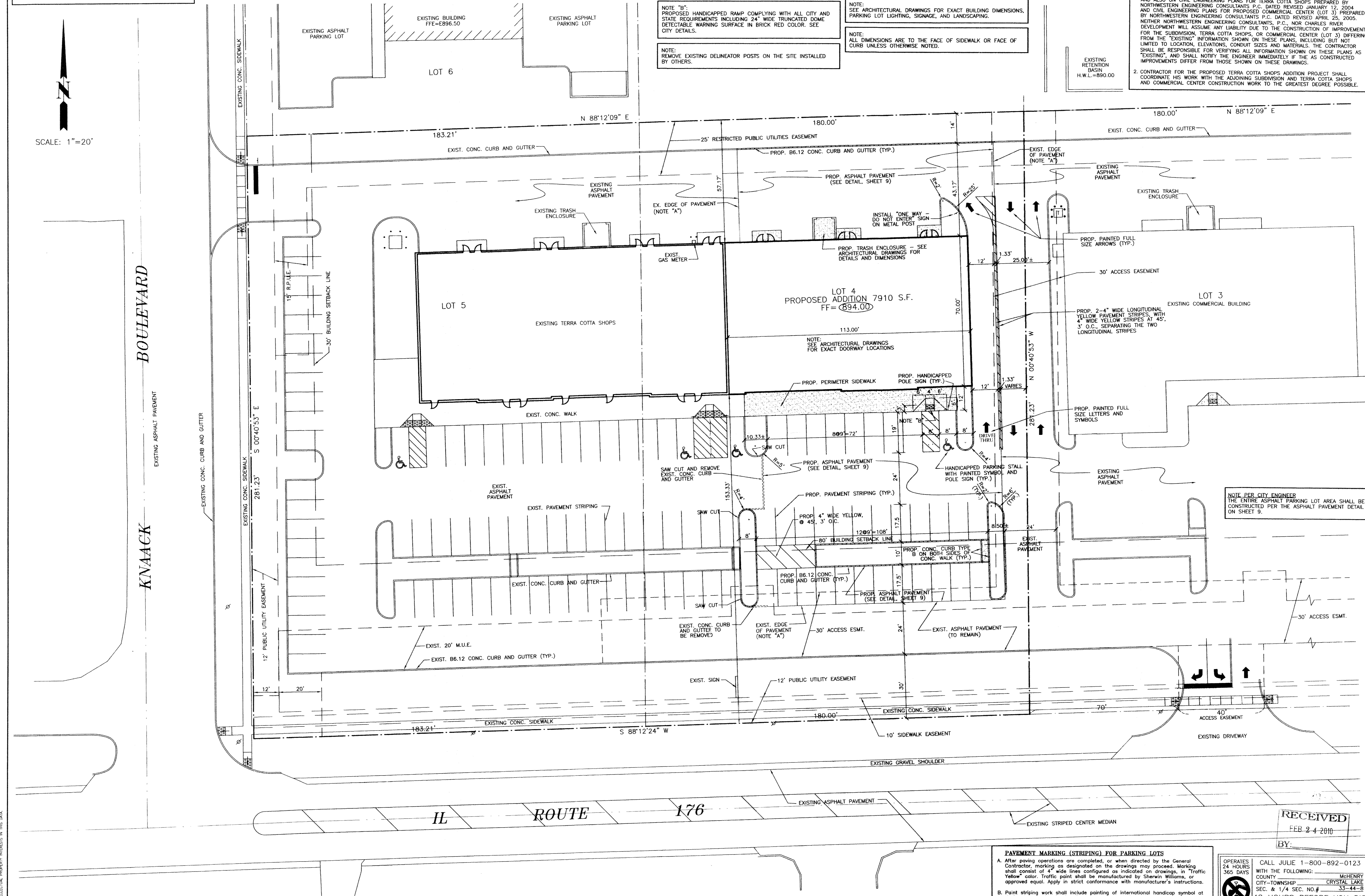
NOTE:  
ALL DIMENSIONS ARE TO THE FACE OF SIDEWALK OR FACE OF CURB UNLESS OTHERWISE NOTED.

**SPECIAL NOTES**

- CURBS, PAVEMENTS, SANITARY SEWERS, STORM SEWERS, WATER MAINS AND OTHER IMPROVEMENTS SHOWN ON THESE DRAWINGS AS "EXISTING" ARE SHOWN BASED ON CIVIL ENGINEERING PLANS FOR TERRA COTTA TECH SUBDIVISION PREPARED BY NORTHWESTERN ENGINEERING CONSULTANTS, P.C. DATED REVISION NOVEMBER 19, 2001 AND ALSO ON CIVIL ENGINEERING PLANS FOR TERRA COTTA SHOPS PREPARED BY NORTHWESTERN ENGINEERING CONSULTANTS, P.C. DATED REVISION JANUARY 12, 2004 AND CIVIL ENGINEERING PLANS FOR PROPOSED COMMERCIAL CENTER (LOT 3) PREPARED BY NORTHWESTERN ENGINEERING CONSULTANTS, P.C. DATED REVISION APRIL 25, 2005. NEITHER NORTHWESTERN ENGINEERING CONSULTANTS, P.C. NOR CHARLES RIVER DEVELOPMENT WILL ASSUME ANY LIABILITY DUE TO THE CONSTRUCTION OF IMPROVEMENTS FOR THE SUBDIVISION, TERRA COTTA SHOPS, OR COMMERCIAL CENTER (LOT 3) DIFFERING FROM THE "EXISTING" INFORMATION SHOWN ON THESE PLANS, INCLUDING BUT NOT LIMITED TO LOCATION, ELEVATIONS, CONDUIT SIZES AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION SHOWN ON THESE PLANS AS "EXISTING" AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THE AS CONSTRUCTED IMPROVEMENTS DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- CONTRACTOR FOR THE PROPOSED TERRA COTTA SHOPS ADDITION PROJECT SHALL COORDINATE HIS WORK WITH THE ADJOINING SUBDIVISION AND TERRA COTTA SHOPS AND COMMERCIAL CENTER CONSTRUCTION WORK TO THE GREATEST DEGREE POSSIBLE.



BOULEVARD  
KNAACK



I hereby certify that I am a duly Licensed Professional Engineer in the State of Illinois, License No. 001-030215. I am the author of the design and calculations shown on this drawing. I am not providing engineering services under the name of any other firm or individual. I am not providing engineering services in any other state or country. I am not providing engineering services in any other capacity. I am not providing engineering services in any other manner. I am not providing engineering services in any other way. I am not providing engineering services in any other form. I am not providing engineering services in any other medium. I am not providing engineering services in any other format. I am not providing engineering services in any other language. I am not providing engineering services in any other dialect. I am not providing engineering services in any other accent. I am not providing engineering services in any other voice. I am not providing engineering services in any other tone. I am not providing engineering services in any other pitch. I am not providing engineering services in any other inflection. I am not providing engineering services in any other intonation. I am not providing engineering services in any other emphasis. I am not providing engineering services in any other stress. I am not providing engineering services in any other rhythm. I am not providing engineering services in any other tempo. I am not providing engineering services in any other pace. I am not providing engineering services in any other speed. I am not providing engineering services in any other duration. I am not providing engineering services in any other frequency. I am not providing engineering services in any other wavelength. I am not providing engineering services in any other amplitude. I am not providing engineering services in any other phase. I am not providing engineering services in any other frequency. I am not providing engineering services in any other wavelength. I am not providing engineering services in any other amplitude. I am not providing engineering services in any other phase.

**PAVEMENT MARKING (STRIPING) FOR PARKING LOTS**

A. After paving operations are completed, or when directed by the General Contractor, marking as designated on the drawings may proceed. Marking shall consist of 4" wide lines configured as indicated on drawings, in "Traffic Yellow" color. Traffic paint shall be manufactured by Sherwin Williams, or approved equal. Apply in strict conformance with manufacturer's instructions.

B. Paint striping work shall include painting of international handicap symbol at designated parking for handicapped, as indicated on drawings.

C. Protect area against traffic for at least 48 hours after application of striping.

OPERATES 24 HOURS  
365 DAYS

CALL JULIE 1-800-892-0123  
WITH THE FOLLOWING:  
COUNTY: MEHERRIN  
CITY-TOWNSHIP: CRYSTAL LAKE  
SEC. & 1/4 SEC. NO.# 33-44-B

48 HOURS BEFORE YOU DIG EXCLUDING SAT., SUN. & HOLIDAYS

**RECEIVED**  
FEB 24 2010  
BY:

CIVIL ENGINEERS LAND SURVEYORS  
**NORTHWESTERN ENGINEERING CONSULTANTS, P.C.**  
1110 LAKE COOK ROAD BUFFALO GROVE, ILLINOIS 60089 (847) 520-8410  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002685

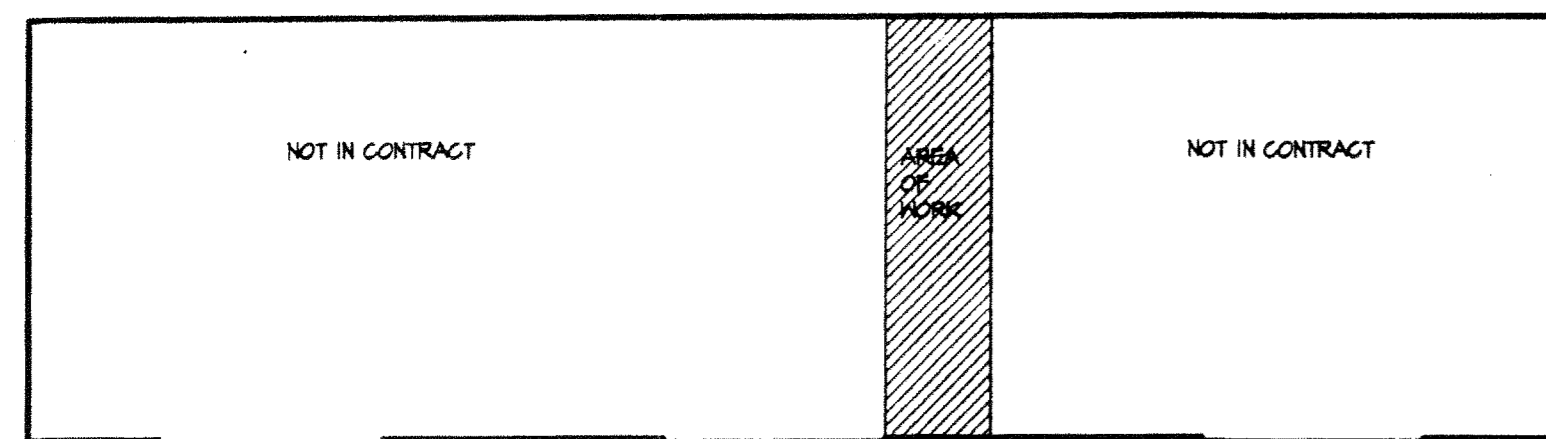
SITE PLAN  
**TERRA COTTA SHOPS ADDITION**  
IL ROUTE 176 & KNAACK BLVD.  
CRYSTAL LAKE, ILLINOIS

NO.	DATE	REVISIONS	DESCRIPTION
1	8-13-05	REVISED PER OWNER	

DRAWN BY: KRL  
CHECKED BY: DMH  
DATE: 6-17-05  
SCALE: 1"=20'

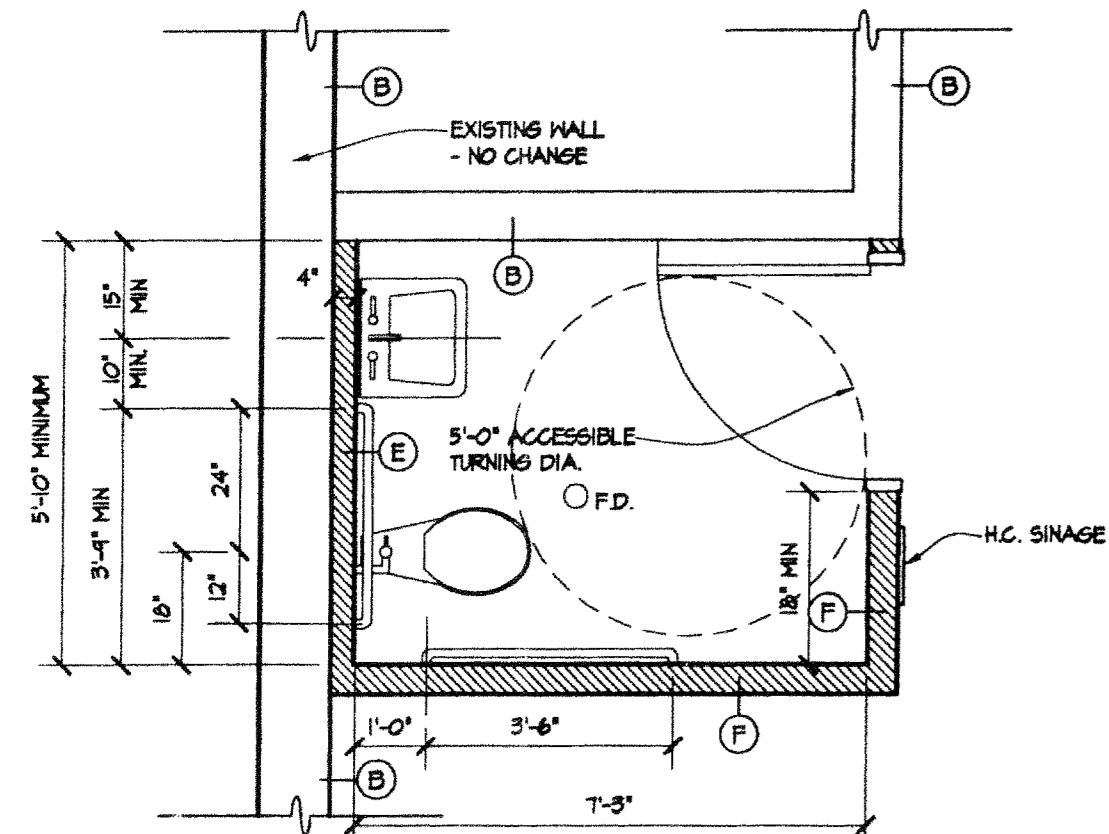
DRAWING NO. **2**  
JOB NO. **05-21**





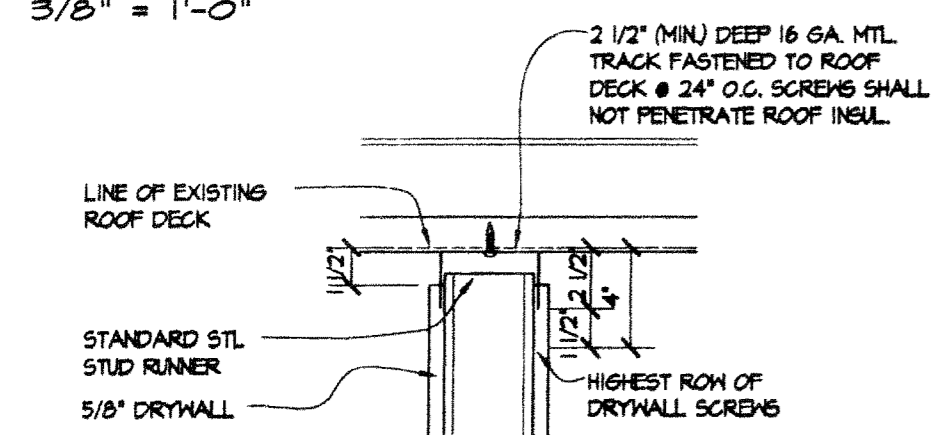
**KEY PLAN**

NO SCALE



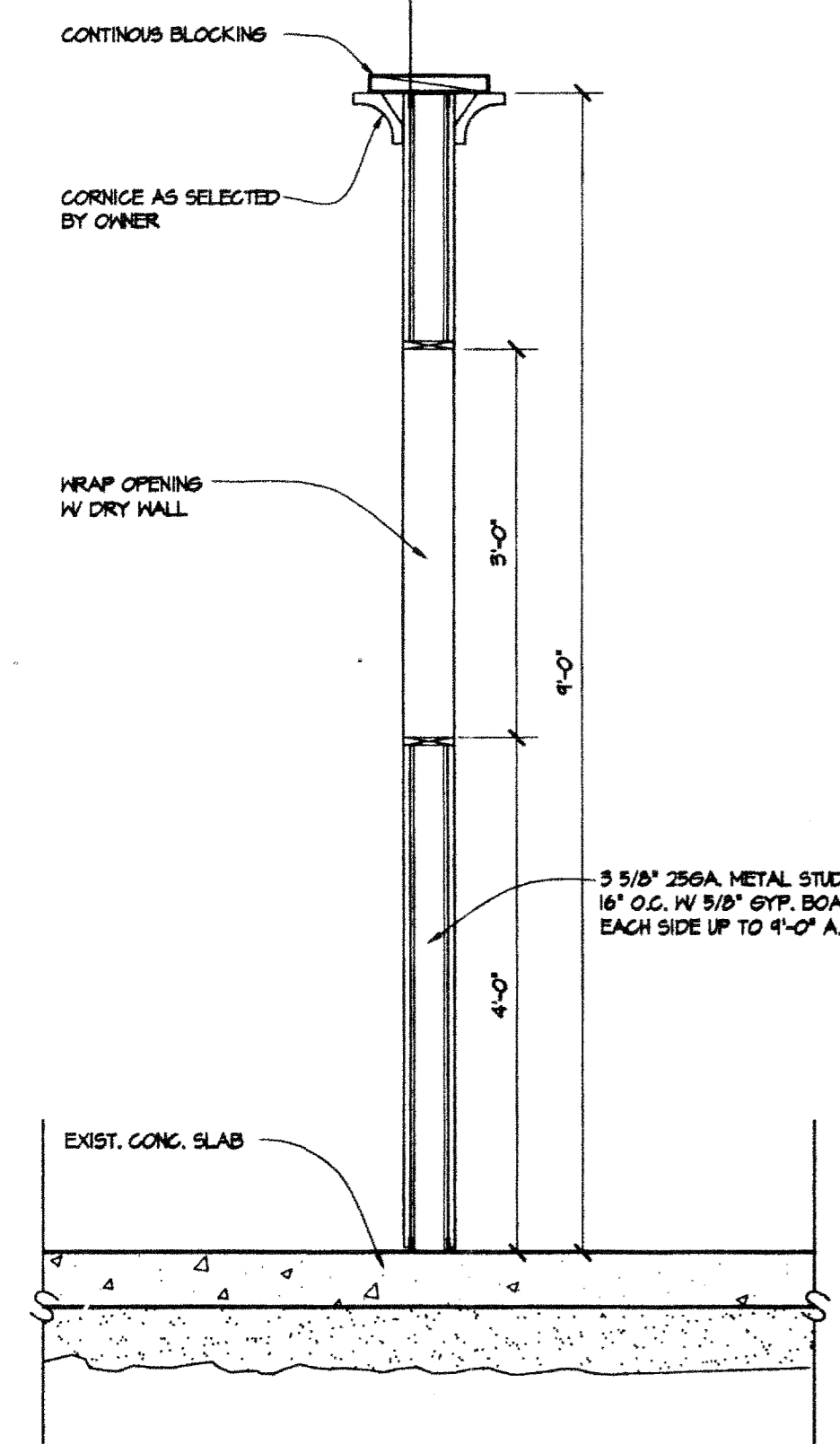
**ENL. TOILET PLAN**

3/8" = 1'-0"



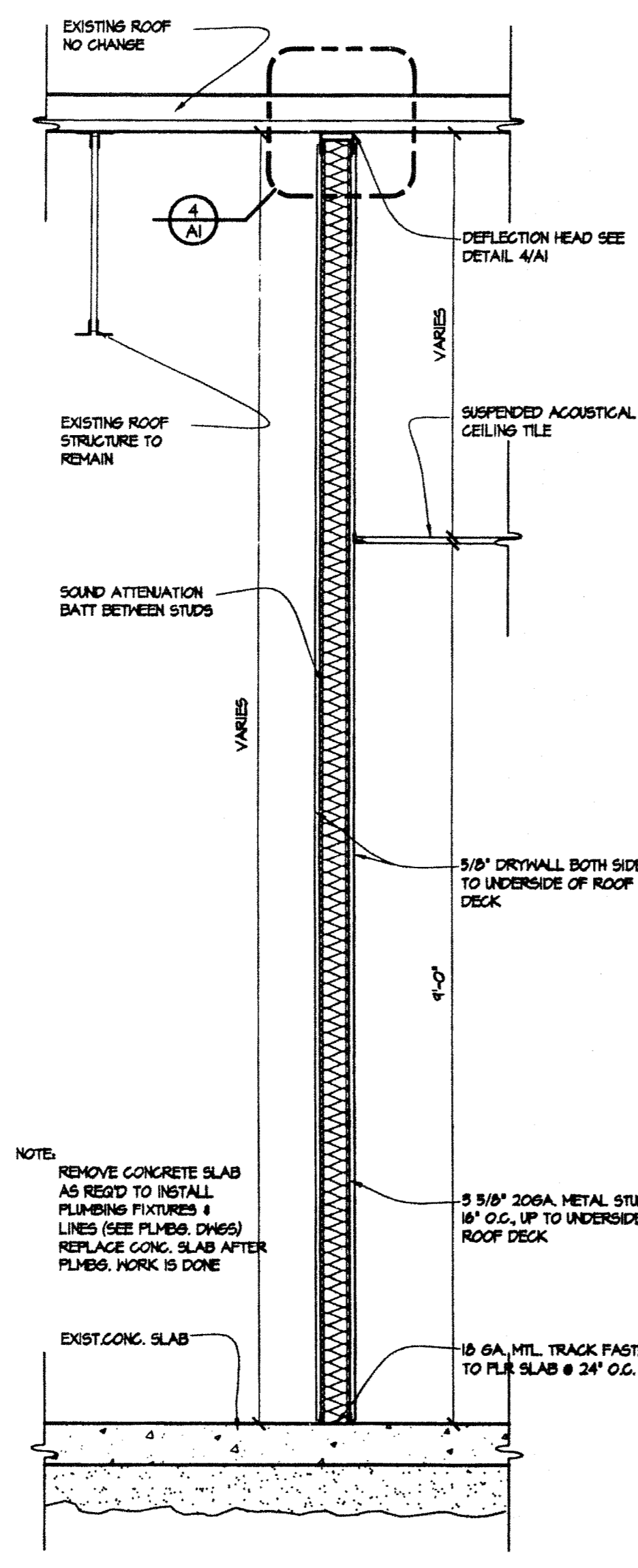
**DEFLECTION HEAD**

SCALE: 1/2" = 1'-0"



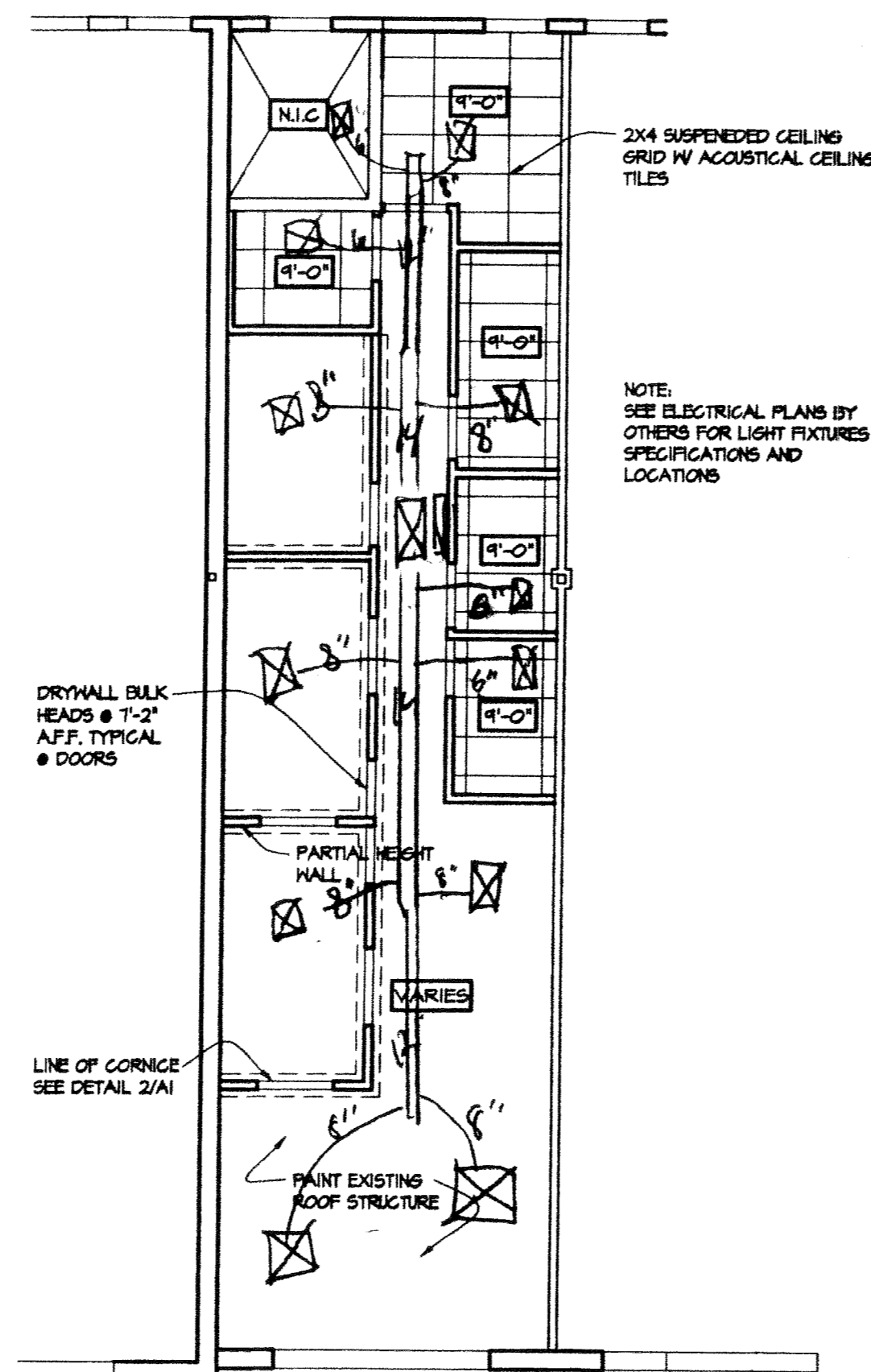
**WALL SECTION 2**

SCALE: 3/4" = 1'-0"



**WALL SECTION 1**

SCALE: 3/4" = 1'-0"

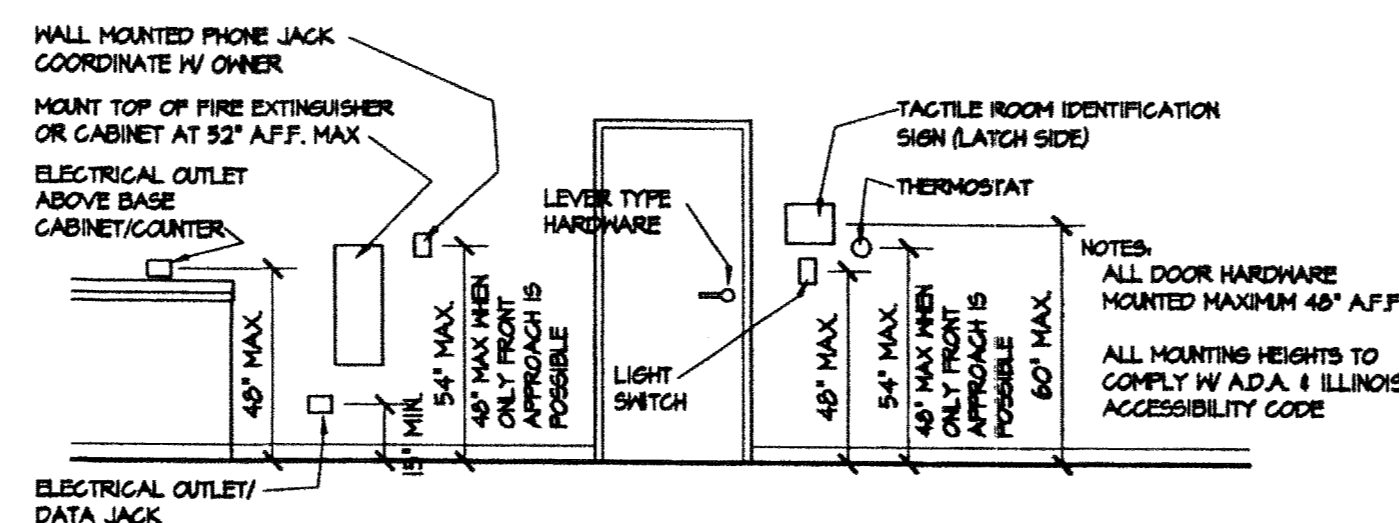


**HVAC**

DOOR SCHEDULE						
#	DOOR SIZE	TYPE	CONSTR.	FRAME	HARDWARE	REMARKS
01	EXISTING					EXISTING
02	3'-0"x7'-0"	FLUSH	H.M.	H.M.	L1,S1	
03	3'-0"x7'-0"	FLUSH	H.M.	H.M.	L1,S1	
04	3'-0"x7'-0"	FLUSH	H.M.	H.M.	L2,S1	
05	3'-0"x7'-0"	FLUSH	H.M.	H.M.	L2,S1,M1	
06	3'-0"x7'-0"	FLUSH	H.M.	H.M.	L1,S2	

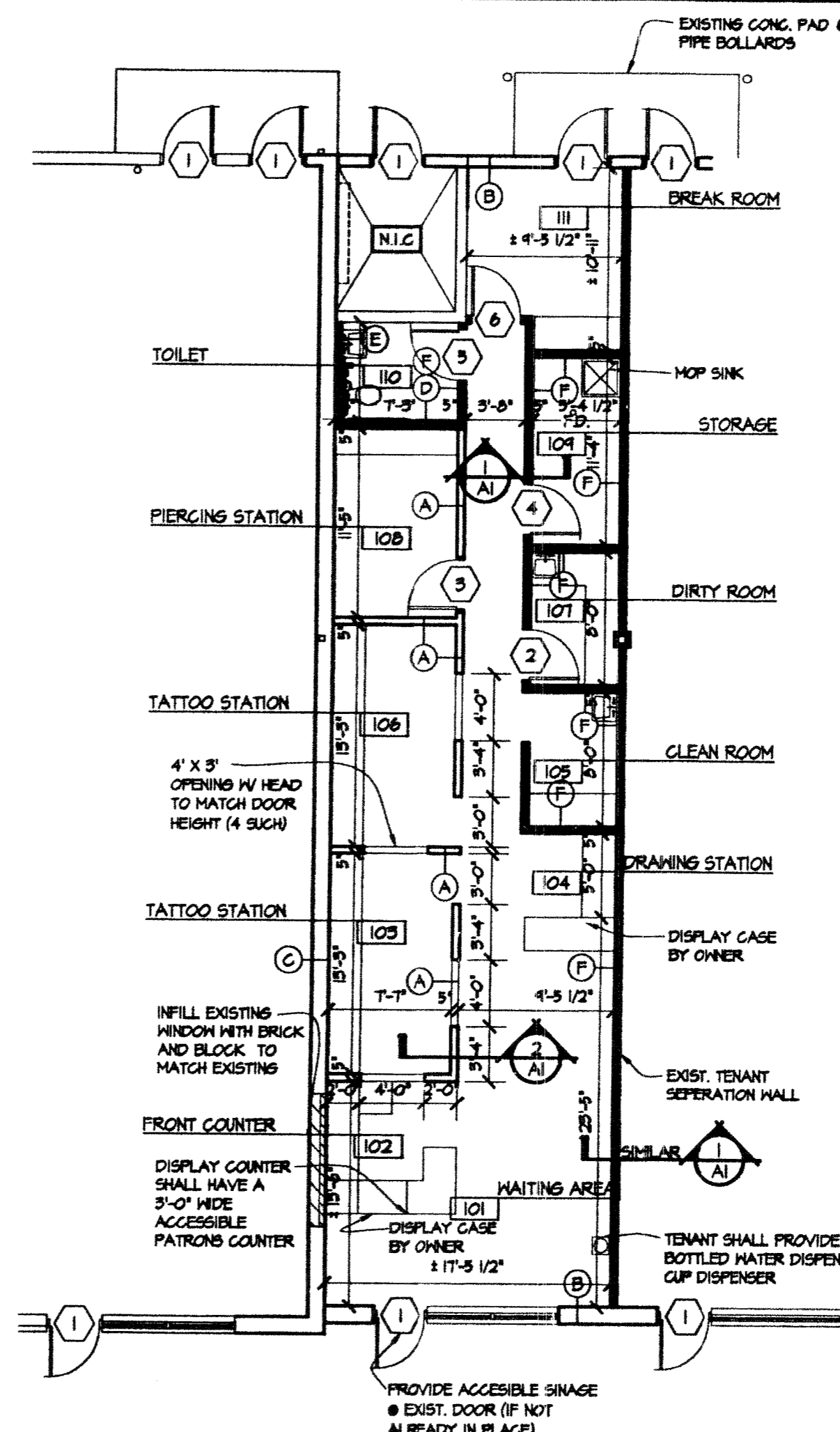
**DOOR NOTES**

ALL DOOR CLOSERS SHALL COMPLY W/ ANSI SECTIONS 4.13.10 & 4.13.11 AND ADA SECTIONS 4.13.10 & 4.13.11  
 DOOR CLOSERS SHALL ALLOW DOOR LATCH RELEASE WHEN SUBJECTED TO A 15 POUND MAXIMUM REQUIRED FORCE & THE DOOR TO BE SET IN MOTION WITH 50 POUND FORCE. AFTER INITIAL FORCE, CLOSER SHALL ALLOW DOOR TO BE FULLY OPENED WITH A 0.5 POUND FORCE.  
 ALL LOCKS AND LATCHES SHALL BE LEVER TYPE  
 ALL DOOR CONTROLS SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.  
 THRESHOLDS SHALL COMPLY W/ ANSI 4.13.8  
 REFER TO STANDARD MOUNTING HEIGHTS DETAIL FOR REQUIRED LOCATIONS OF HARDWARE AND SIGNAGE



**STANDARD MOUNTING HEIGHTS**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**HARDWARE NOTES**

L1- PASSAGE LATCH  
 L2- PRIVACY LOCK  
 M1- UNI-SEX RESTROOM SIGN  
 S1- WALL STOP  
 S2- FLOOR STOP

**FINISH NOTES:**

ALL CEILING & WALL COVERINGS SHALL HAVE A SMOKE DEVELOPED RATING OF LESS THAN 450. ALL CEILING & WALL COVERINGS SHALL HAVE A MINIMUM FLAME SPREAD AS FOLLOWS:  
 ROOMS & ENCLOSED SPACES CLASS C  
 EXIT ACCESS CORRIDORS CLASS C  
 STAIRWAYS & EXITS CLASS C  
 ALL FLOORS IN STAIR & EXIT CORRIDORS SHALL HAVE A MIN. OF CLASS II FLAME SPREAD RATING. FLOOR FINISHES IN OTHER SPACES SHALL COMPLY W/ DOC FF-1 "PILL TEST" (CPSC 1629R, 1630).  
 EXPOSED CEILING STRUCTURE SHALL BE PAINTED W/ ONE (1) COAT DRY-FALL PAINT, APPLIED AS PER SYSTEM INSTRUCTIONS.  
 INTERIOR METAL DOOR & FRAMES (SHOP PRIMED) SHALL BE PAINTED W/ TWO (2) COATS LATEX SEMI-GLOSS ENAMEL PAINT.  
 OWNER TO APPROVE FINAL COLOR SELECTION OF ALL INTERIOR FINISHES.

**WALL CONSTRUCTION:**

- (A) 3-5/8" METAL STUDS @ 16" O.C. W/ 5/8" GYP. BOARD BOTH SIDES UP TO 9'-0" A.F.F.
- (B) EXISTING HALL - NO CHANGE
- (C) EXISTING HALL - INFILL EXISTING WINDOW AS PER PLAN
- (D) INSULATE HALL CAVITY FOR SOUND PURPOSES.
- (E) NEW INTERIOR PARTITION WALL - STUD FRAMED, PLUMBING WALL. METAL STUDS AS PER PLAN @ 16" O.C. 5/8" MOISTURE RESISTANT GYP. BOARD ON NET FACE OF PLUMBING WALL @ FINISH (BALANCE OF WALL MAY BE REGULAR GYP. BOARD).
- (F) 3-5/8" METAL STUDS @ 16" O.C. 5/8" GYP. BOARD EA. FACE

**DESIGN CRITERIA**

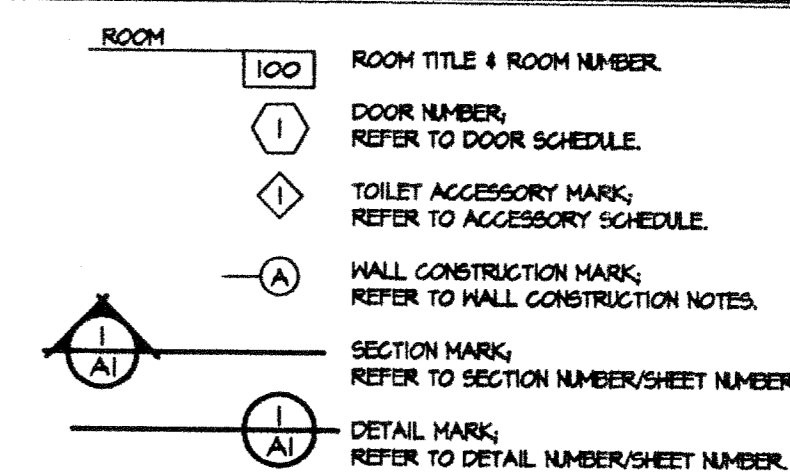
THE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED BASED UPON THE FOLLOWING CODES:  
 - 2000 INTERNATIONAL BUILDING CODE (IBC)  
 - 1991 ILLINOIS ACCESSIBILITY CODE (IAC)  
 THE PLUMBING AND ELECTRICAL DRAWINGS HAVE BEEN PREPARED BASED UPON THE FOLLOWING CODES:  
 - 2004 ILLINOIS PLUMBING CODE  
 - 1994 NATIONAL ELECTRICAL CODE (NEC)  
 THE MECHANICAL DRAWINGS (PREPARED BY OTHERS) SHALL COMPLY WITH:  
 - 2000 INTERNATIONAL MECHANICAL CODE (IMC)

BUILDING USE GROUP: NON-SEPARATED MIXED USE  
 TENANT USE GROUP: B (BUSINESS)  
 GROSS TENANT S.F.: 1,142 S.F.

**GENERAL NOTES**

THE ARCHITECT DOES NOT SUPERVISE, WILL NOT BE RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS.  
 MECHANICAL SYSTEM SHALL BE DESIGNED/ENGINEERED BY OTHERS.  
 FIRE ALARM SYSTEM DESIGNED BY OTHERS.  
 ALL CONTRACTORS SHALL BE RESPONSIBLE FOR WORK COMPLYING WITH LOCAL CODES.  
 ALL CONTRACTORS SHALL VERIFY DIMENSIONS (ON PLAN AND WORK DONE IN THE FIELD DONE BY PREVIOUS TRADES) PRIOR TO PERFORMING ANY WORK, NOTIFY ARCHITECT IN WRITING OF ANY CONFLICT(S).  
 DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. NOTIFY ARCHITECT IN WRITING OF ANY CONFLICT(S).  
 DIMENSIONS WITH "X" SYMBOL INDICATES A CONDITION WHICH IS TO BE FIELD MEASURED AND IF NEEDED ADJUST WITHIN REASONABLE LIMITS.  
 INTERIOR STUD PARTITIONS DIMENSIONED FINISH TO FINISH.  
 DIMENSIONS OF STUD PARTITIONS ARE NOMINAL FINISH TO FINISH.  
 -METAL STUD DIMENSION = 5" - ACTUAL DIMENSION = 4 1/8"  
 INSTALL FIRE BLOCKING AT CEILING PLANE WHERE DRYWALL DOES NOT EXTEND UP TO TOP PLATE OF WALL.  
 PROVIDE FIRESTOPPING WHERE ANY FIRE RATED ASSEMBLY HAS BEEN PENETRATED BY PIPING, DUCTWORK, ETC. ALL JOINT SYSTEMS IN RATED ASSEMBLY SHALL COMPLY W/ THE LOCAL CODE HAVING JURISDICTION.

**PLAN SYMBOLS**



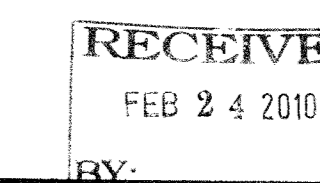
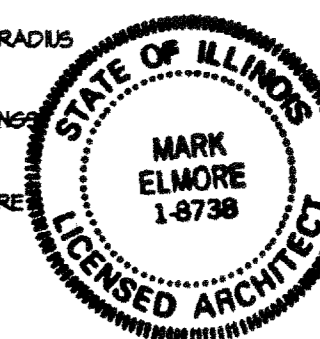
**CEILING NOTES:**

- (X-X) \* FINISHED CEILING SURFACE ABOVE FINISHED FLOOR ELEVATION (F.F. = 0'-0")
- 1) ALL CEILING FINISHES SHALL HAVE A MINIMUM OF CLASS III FLAME SPREAD AND SMOKE DEVELOPED RATING OF LESS THAN 450.
- 2) INSTALL CEILING HOLD DOWN CLIPS WITHIN A 20'-0" RADIUS OF EXTERIOR DOORS.
- 3) VERIFY LOCATION OF HVAC DIFFUSER & VENT OPENINGS AS PER MECHANICAL DRAWINGS.
- 4) REFER TO ELECTRICAL DRAWINGS FOR CEILING FIXTURE SPECIFICATIONS & LOCATION OF LIGHT SWITCHES.
- 5) REFER TO FINISH DRAWINGS FOR CEILING FINISHES NOT LISTED IN ROOM SCHEDULE.

**CERTIFICATION:**

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION THEY ARE IN COMPLIANCE WITH THE CODES AND ORDINANCES OF THE CITY OF CRYSTAL LAKE, ILLINOIS.

SIGNED *Mark Elmore* ARCHITECT  
 ILLINOIS REGISTRATION NUMBER: 008758



A NEW BUILD-OUT FOR:  
**BOLD LINE TATTOO STUDIO**  
 CRYSTAL LAKE, ILLINOIS

Mark Elmore Associates Architects

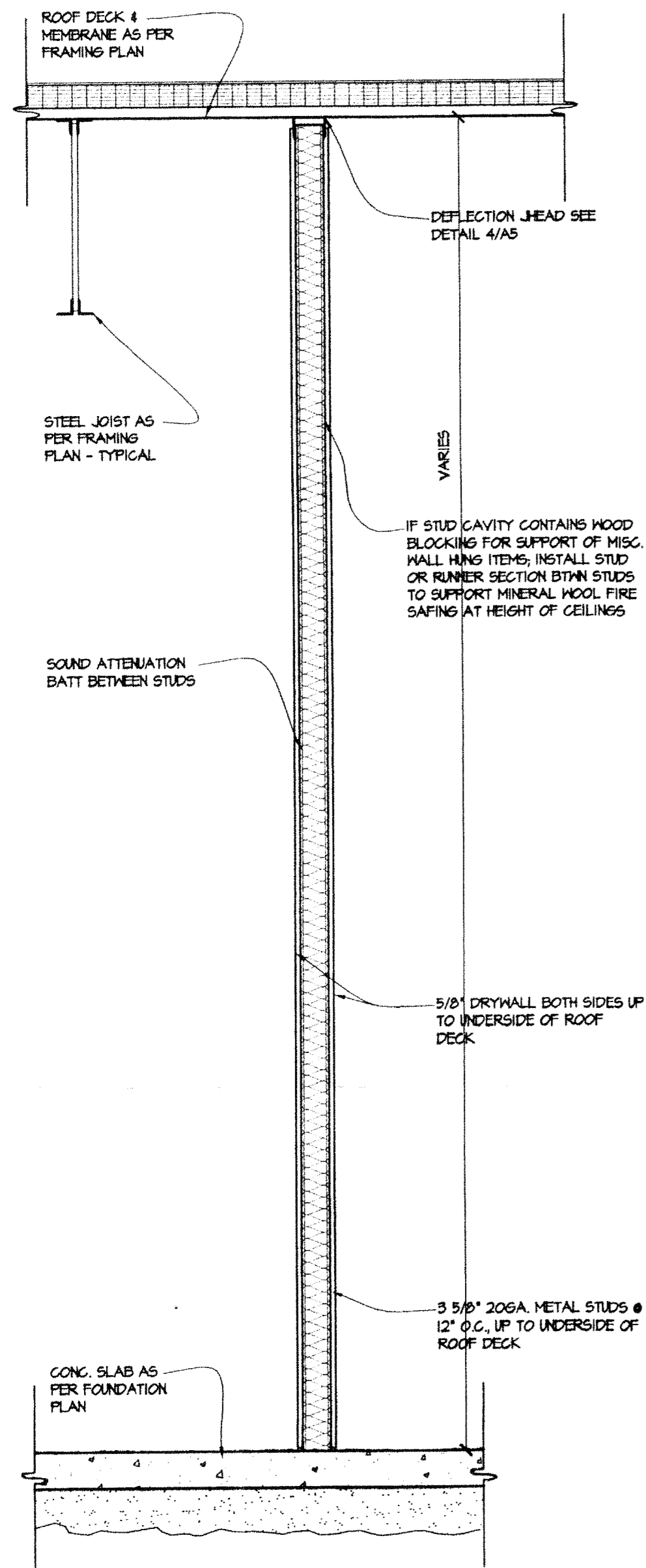
DRAWN BY: KT  
 APPROVED BY:

REVISIONS

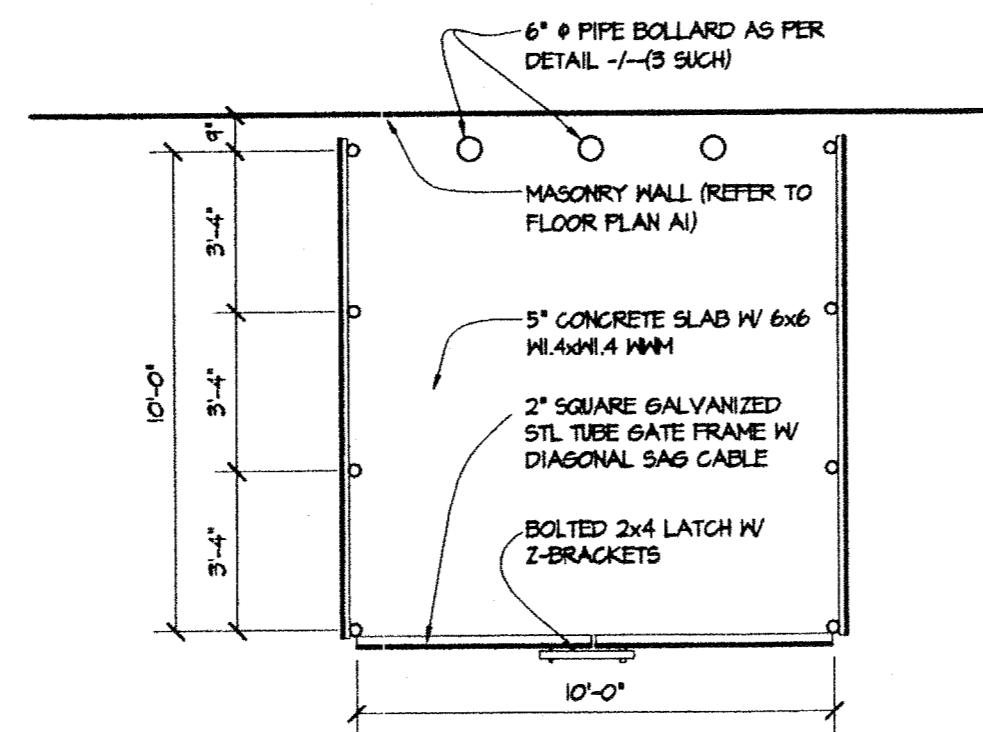
FLOOR PLAN  
 JOB NUMBER: 0714  
 DATE: 6-12-07

**MI**  
 OF 2

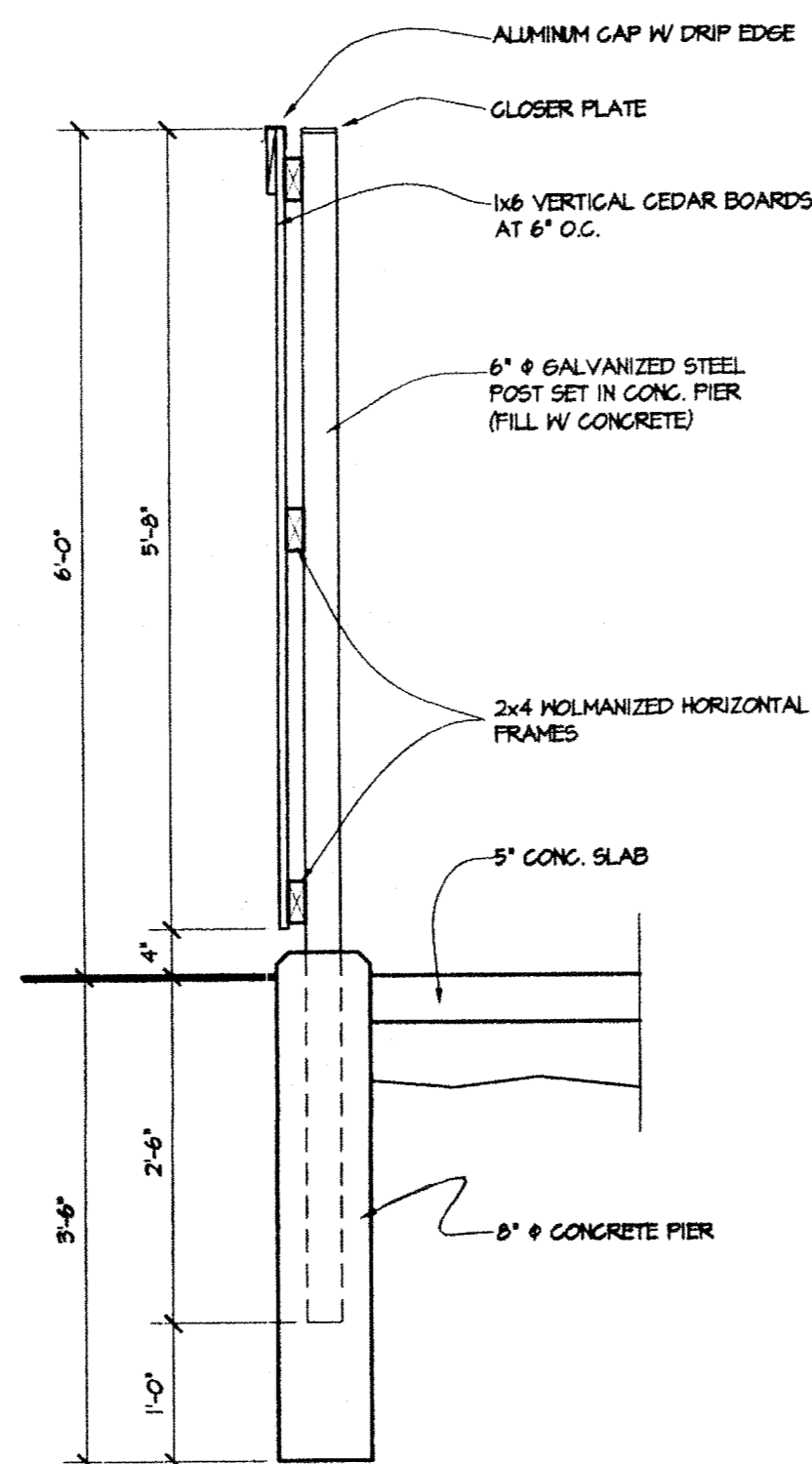
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BY: 2010-16



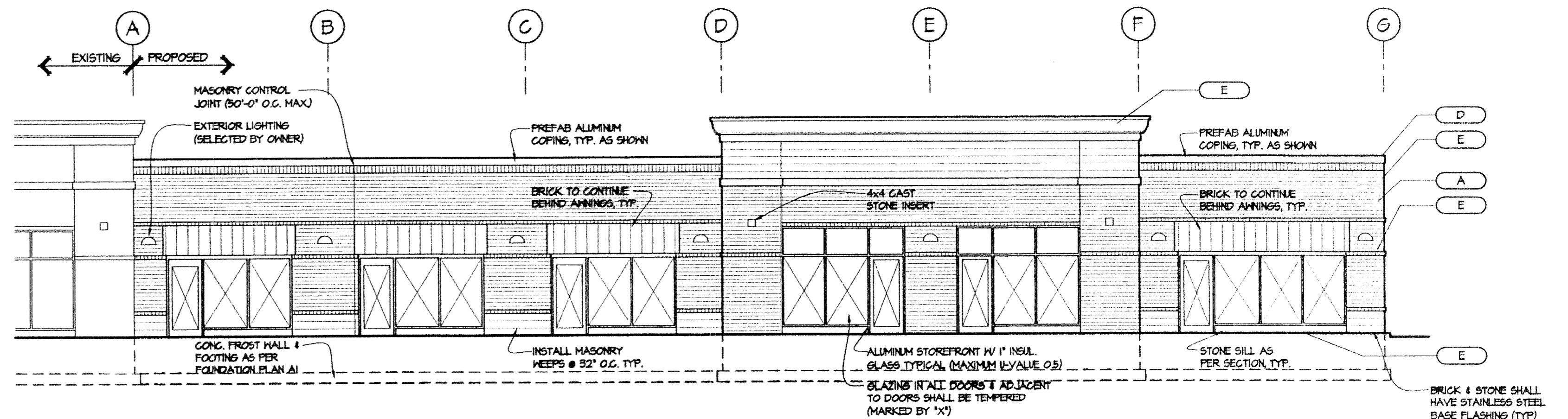
**WALL SECTION 3**  
SCALE: 3/4"=1'-0"



**TRASH ENCLOSURE PLAN 1**  
SCALE: 1/4"=1'-0"



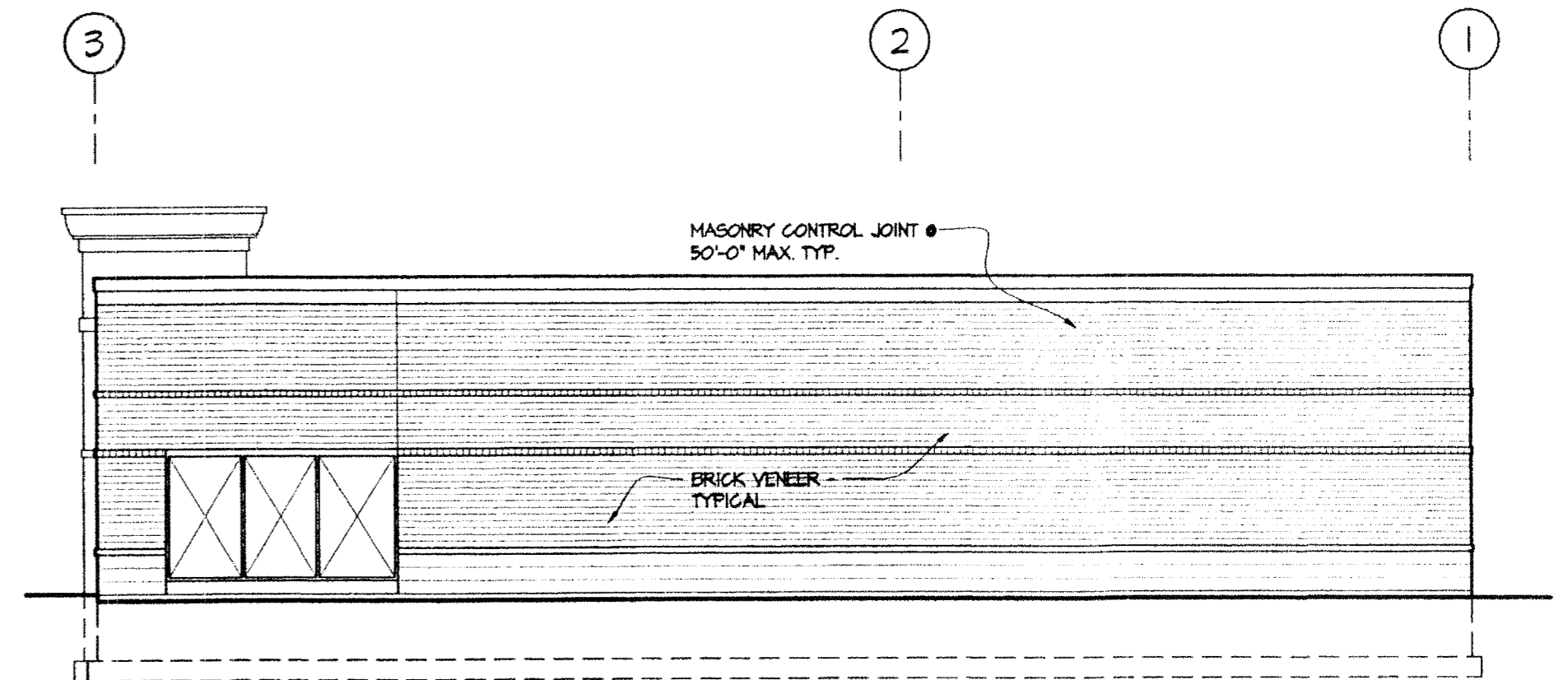
**TRASH ENCLOSURE SECTION 2**  
SCALE: 3/4"=1'-0"



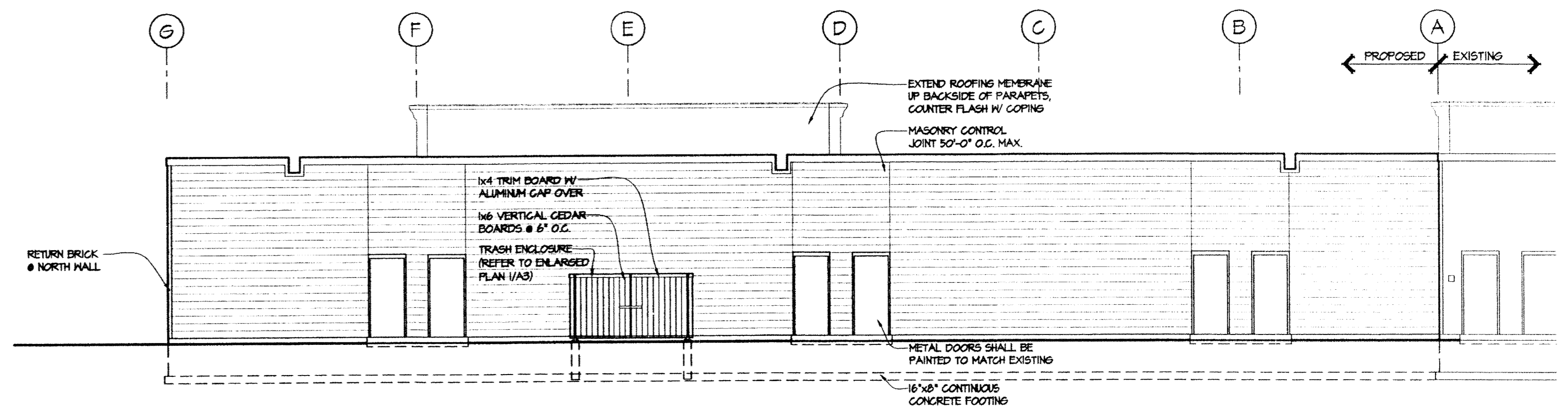
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EXTERIOR FINISHES**

- A UTILITY FACE BRICK LAID IN 1/3 RUNNING BOND TO MATCH EXISTING  
MFG: SIOUX CITY COLOR: CABERNET BURGUNDY
  - B 8" FACE BRICK SOLDIER COURSE TO MATCH EXISTING
  - C PROJECTED FACE BRICK ROWLOCK COURSE TO MATCH EXISTING
  - D GROUND FACE CONCRETE BLOCK TO MATCH EXISTING  
MFG: PREMIER COLOR: ANTIQUE WHITE R222
  - E CAST STONE TO MATCH EXISTING
  - F STANDING SEAM METAL CANOPY TO MATCH EXISTING
- FINAL COLOR SELECTIONS BY OWNER



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

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600 Dakota St. Suite B - Crystal Lake, Illinois 60012  
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**Terra Cotta Shops II**  
Crystal Lake, Illinois

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DRAWN BY: NJS  
APPROVED BY:

REVISIONS

103.05

ELEVATIONS  
JOB NUMBER: 0490  
DATE:

**A3**  
OF 5