



#2010-41

**Twin Ponds Marketplace Pep Boys
Project Review for Planning and Zoning Commission**

<u>Meeting Dates:</u>	June 16, 2010
<u>Requests:</u>	Final PUD Amendment to make modifications to the approved exterior elevations, wall signage and center signage.
<u>Location:</u>	4423 Northwest Highway
<u>Size:</u>	Tenant space is 10,605 square feet
<u>Existing Zoning:</u>	B-2 PUD General Commercial
<u>Surrounding Properties:</u>	North: B-2 PUD General Commercial South: B-2 PUD General Commercial East: B-2 PUD General Commercial West: County, D'Andrea banquet facility
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

The property is the Twin Ponds Marketplace, approved in 1996. In 2001, a Final PUD Amendment was approved for this end tenant space. The amendment was for the then proposed tenant, La-Z-Boy. The request permitted 208.5 square feet of wall signage. The property has two monument signs, one at the exit ramp from Route 31 and one at the intersection of Route 14 and Sands Road.

The petitioners are requesting a Final PUD Amendment to allow for the exterior changes to the elevations for the overhead doors and from the Tenant Sign Criteria to add additional wall signs and panels to the free-standing signs. They are also requesting variations in conjunction with the Final PUD Amendment to exceed the permitted wall signage square footage and free-standing sign square footage.

The request is to install six overhead doors on the north side of the building to allow for automotive repair. The use would be changing from a retail furniture store to an automotive retail store with major automotive repair service. The petitioners would install nine wall signs for a total of 428.04 square feet. They would also install two 30.2 square foot sign panels on each of the freestanding signs. The petitioners have requested 446.04 square feet of wall signage since the Aluminum Bay ID Signs were calculated using the overall panel size. Staff has calculated them at the actual size of the copy text reducing the square footage from 39 square feet to 10.5 square feet. The following chart illustrates the requested wall signage.

Sign	Requested Size
(A) Pep Boys Auto Service-Tires-Parts	160.89 SF
(B) Pep Boys Auto Service-Tires-Parts	160.89 SF
(C) Pep Boys Auto	85.26 SF
(E1) Repair	2.5 SF
(E2) Diagnostic	4.5 SF
(E3) Alignment	4.5 SF
(E4) Brakes	3 SF
(E5) Oil Change	4.5 SF
(E6) Tires	2 SF
Total Signage	428.04 SF

The Unified Development Ordinance permits up to 150 square feet of wall signage, which may be split among three signs for corner tenants. The La-Z Boy was approved a variation for up to 208.5 square feet of wall signage. The original Tenant Sign Criteria allowed larger wall signs for the major center anchors; Home Depot at 413 SF, PetsMart at 323 SF and Circuit City at 293 SF. The supporting tenants were to meet the sign ordinance which allowed 150 square feet of signage. Pep Boys is requesting 428.04 square feet of wall signage, which is a variation of 219.54 square feet.

Findings of fact:

Final Planned Unit Development Amendment

The petitioner is requesting approval of an amendment to a Final Planned Unit Development to allow exterior changes and additional signage. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City. Article 4-500 in the Unified Development Ordinance lists the standards for a PUD, this request complies with those standards. In addition Article 2 Section 2-400 B of the Unified Development Ordinance establishes general standards for all Special Uses in Crystal Lake. Briefly, the criteria are as follows:

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*

2. The use will not be detrimental to area property values.
 Meets *Does not meet*

3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*

4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*

5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*

6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*

7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*

8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*

9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*

10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

Planned Unit Development Variations

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. If the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation request be lessened or denied.

The petitioner is asking for two variations in conjunction with the PUD Amendment request:

- 1) Variation from Article 4 Section 4-1000 F Commercial Signs, to allow a total of 428.04 square feet of wall signage, and

- 2) Variation from Article 4 Section 4-1000 F Commercial Signs, to allow the two free-standing signs to have an additional 30.2 square feet of signage.

The original PUD Approval approved the elevations, signage and Tenant Sign Criteria. The original Tenant Sign Criteria are attached to this report. The minor tenants in the center were to have 150 square feet of wall signage. The previous PUD Amendment permitted 208.5 square feet of wall signage and now Pep Boys is requesting 428.04 square feet. This is a variation of 219.54 square feet. The Tenant Sign Criteria also restricted the content of the signage to the tenant name only, not products sold. The Pep Boys signs refer to “Service, Tires and Parts,” as well as the aluminum bay ID signs. Signs on end tenant suites are permitted to share their sign square footage among three signs; front, side and rear.

The existing free-standing signs have approximately 132 square feet of signage. The petitioners are proposing to add a 30.2 square foot panel to each sign; one at Route 31 ramp and one at Route 14 and Sands Road. In 1996 they measured the sign panels by a box around only the copy area. Today the sign panel is measured by the overall area on which copy may be placed. The proposed Pep Boys sign panel will be comparable to the other existing sign panels. Free-standing signs are restricted to a maximum of 80 square feet. The existing free-standing sign is approximately 132 square feet. The addition of the Pep Boys panel would put the free standing sign at approximately 162.2 square feet.

Recommended Conditions:

If a motion is made to recommend approval of the petitioner’s request, it shall be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Pep Boys Auto, received 6/1/10)
 - B. Sign Package (CimaNetwork, dated 5/25/10, received 5/26/10)
 - C. Elevations (Unnamed, undated, received 6/1/10)
 - D. Site Plan, Floor Plan and Elevation sheets (Pep Boys, undated, received 6/1/10)
2. All conditions from the original PUD Ordinance and subsequent Ordinances shall remain valid, as applicable, unless specifically modified by this request.
3. The petitioner shall comply with the Tenant Sign Criteria, as modified by this request.
4. The wall sign on the north wall (along Route 14) shall be changed to the 85.26 square foot sign which reads, “Pep Boys Auto,” for a total approved wall signage of 352.41 square feet.
5. The freestanding sign along Route 31 may be changed to provide the new 30.2 square foot tenant panel, but it is not allowed on the Route 14 freestanding sign.
6. The petitioner shall address any review comments of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

City of Crystal Lake Development Application

Office Use Only
File # _____

4 1 2010

Project Title: Pep Boys Auto

RECEIVED
JUN 08 2010

Action Requested

- Annexation
- Comprehensive Plan Amendment
- Conceptual PUD Review
- Final PUD
- Final PUD Amendment
- Final Plat of Subdivision
- Preliminary PUD
- Preliminary Plat of Subdivision
- Rezoning
- Special Use Permit
- Variation
- Other

Petitioner Information

Name: Pep Boys Auto
Address: 3111 West Allegheny Avenue
Philadelphia, PA 19132
Phone: 251-430-9667
Fax: _____
E-mail: Allison_Mathern@PepBoys.com

Owner Information (if different)

Name: Twin Ponds Development LLC
Address: 4104 N. Harlem Avenue
Norridge IL 60634
Phone: (773)-625-3036
Fax: (773)625-0056
E-mail: gfix@harlemirving.com

Property Information

Project Description: Request for approval of an amendment to a special use permit
which granted a planned unit development to allow an auto parts store
and for approval of a sign variance.

Project Address/Location: 4423 Route 14, Crystal Lake, IL 60014

PIN Number(s): 19-10-201-012

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: _____

Attorney: Kelly A. Cahill, Zukowski, Rogers, Flood & McArdle, 50 Virginia Street, Crystal Lake, IL 60014; 815-459-2050; 815-459-9057 (F); kcahill@zrfmlaw.com

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

Kelly A. Cahill Kelly A. Cahill 5/25/10
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.
TwinPonds Development L.L.C., by The Bank Irving Company, Manager 6-4-2010
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICATION OF Twin Ponds Development LLC, as Owner and Pep Boys Auto, as Lessee

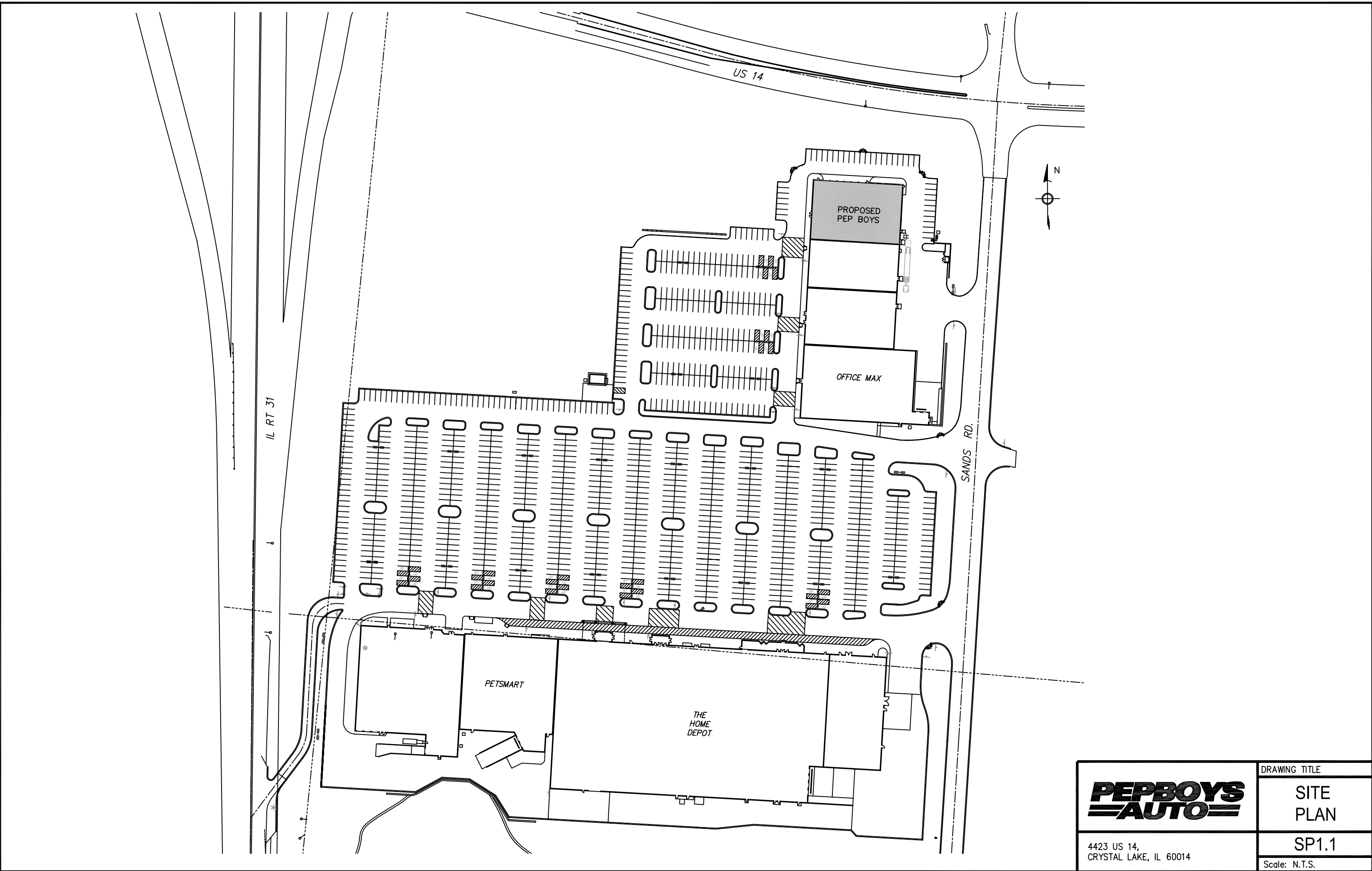
LEGAL NOTICE


Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Twin Ponds Development LLC, Owner and Pep Boys Auto, the Lessee, for a Special Use Permit Amendment for a Planned Unit Development Amendment relating to the property located at 4423 Route 14, Crystal Lake, IL 60014 consisting of 6.91 acres, PIN No. 19-10-201-012, currently zoned B-2 PUD.

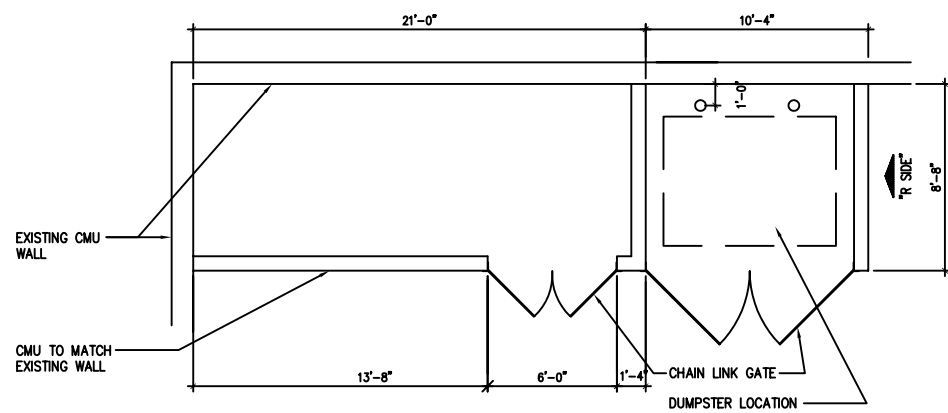
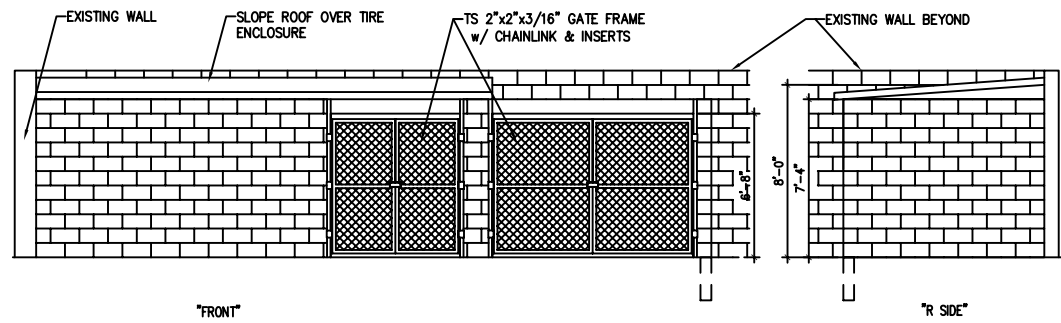
This application is filed for the purposes of seeking an amendment to a Special Use Permit, which had granted approval of a Planned Unit Development, to allow a tire service and auto parts store, pursuant to Article 4, Section 4-500, Planned Unit Development Standards of the Unified Development Ordinance, and a variation from Article 4, Section 4-1000 F, Commercial Signs, to allow an additional 30.2 sq. ft. panel on the existing monument sign and allow a total 446.04 sq. ft. of wall signage, which exceeds the previously approved signage of 208.50 sq. ft. and any and all variances and amendments necessary for development of this project. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday, June 16, 2010, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person desiring to be heard may be present.

Tom Hoyden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
May 28, 2010.)

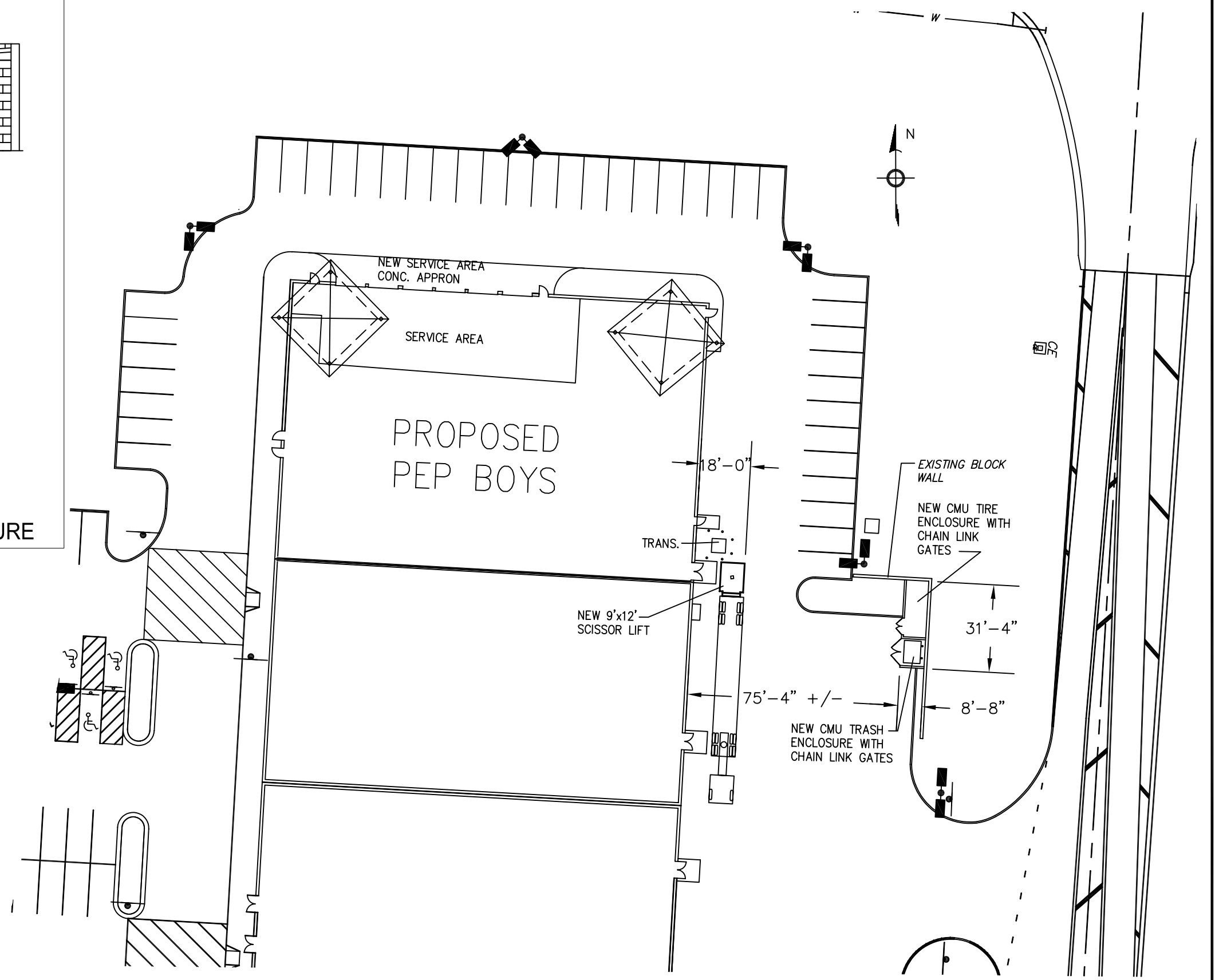


	DRAWING TITLE
	SITE PLAN
	SP1.1
4423 US 14, CRYSTAL LAKE, IL 60014	Scale: N.T.S.

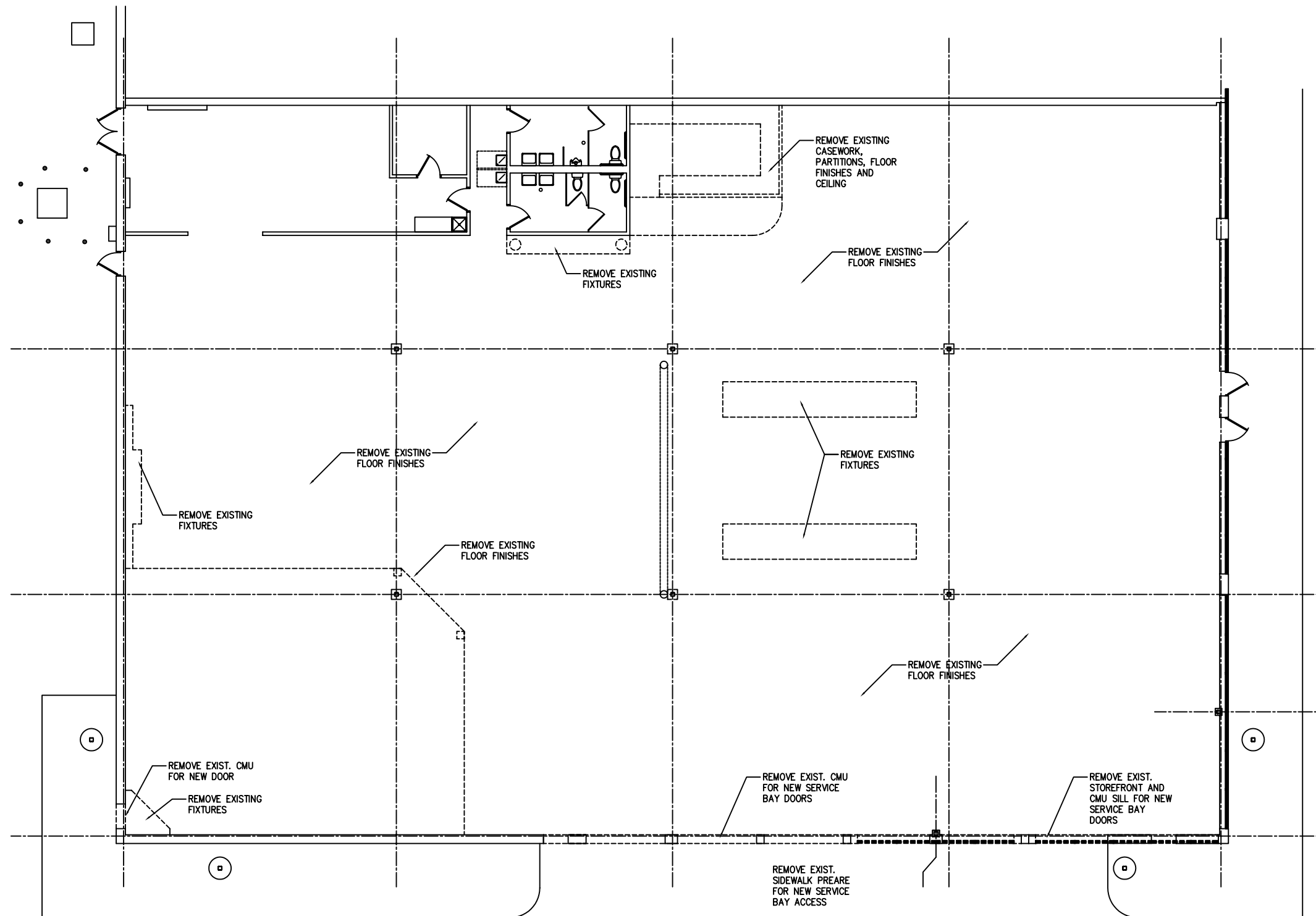



NOTE:
REFER TO SITE PLAN FOR LOCATION.

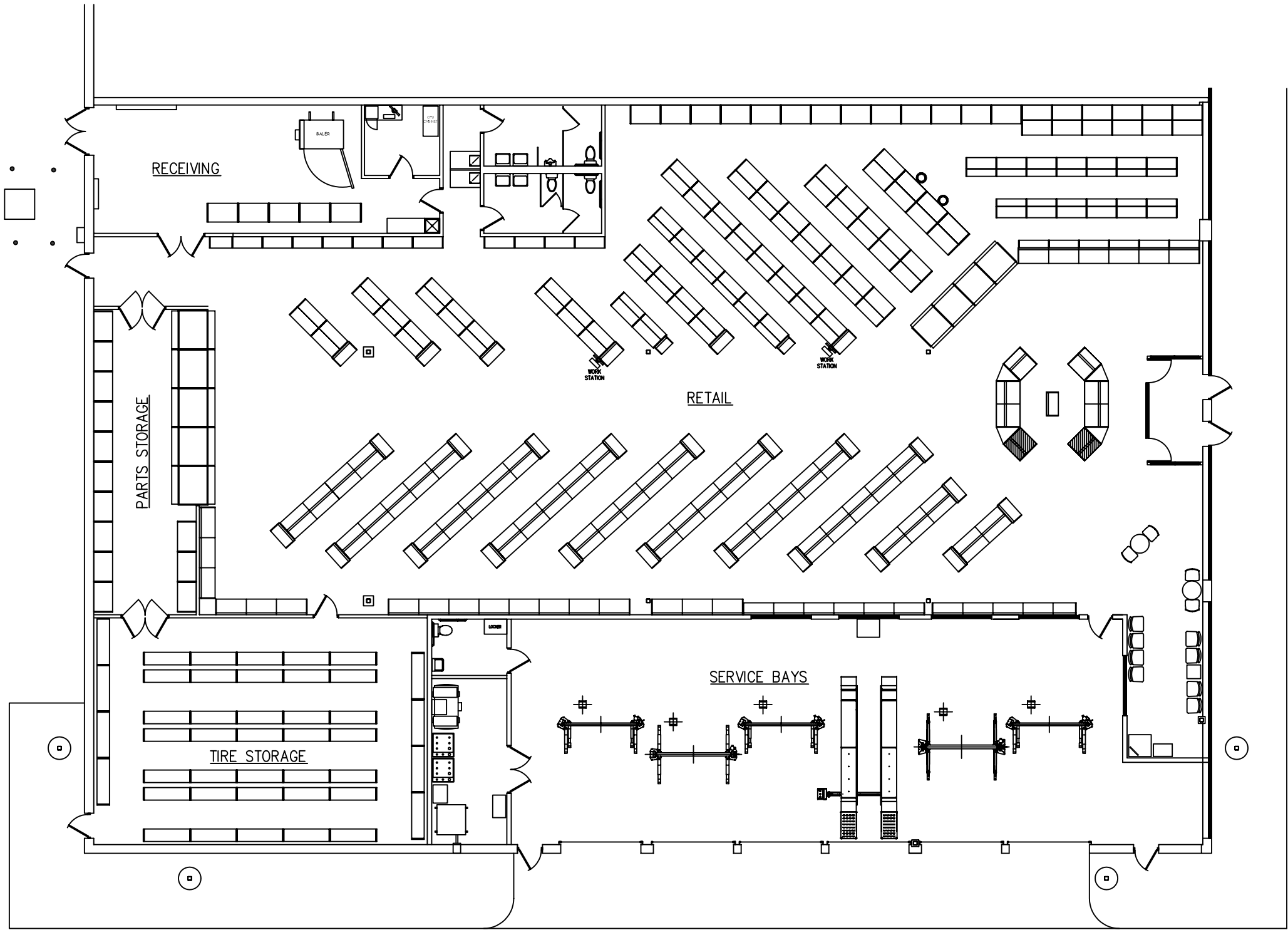
TIRE AND TRASH ENCLOSURE




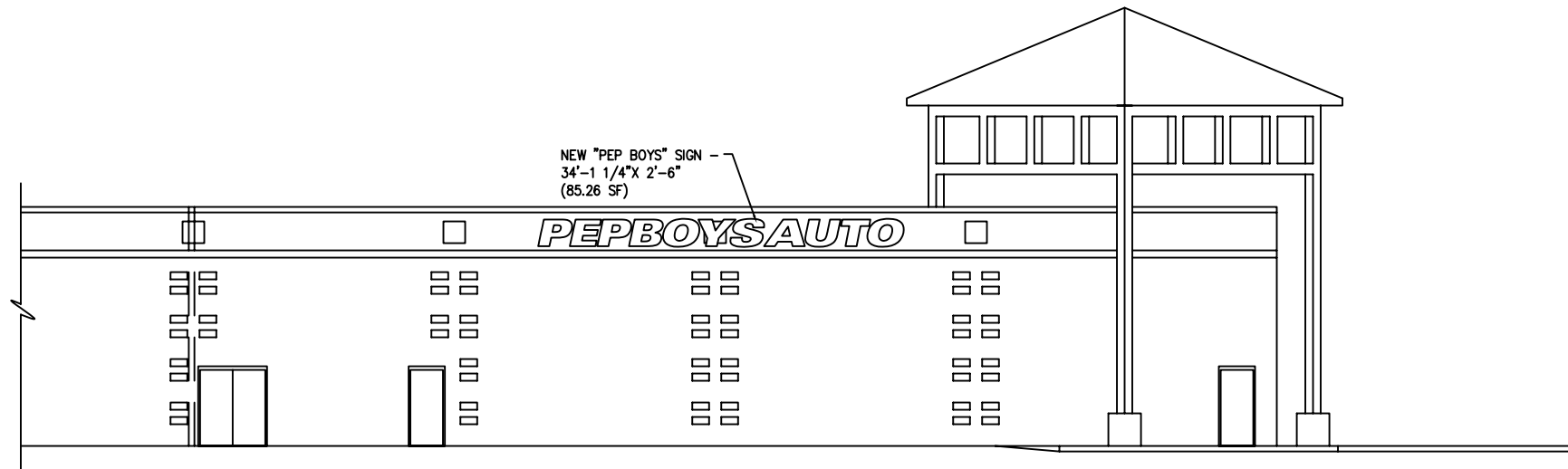
	DRAWING TITLE
	PARTIAL SITE PLAN
4423 US 14, CRYSTAL LAKE, IL 60014	SP2.1
	Scale: N.T.S.



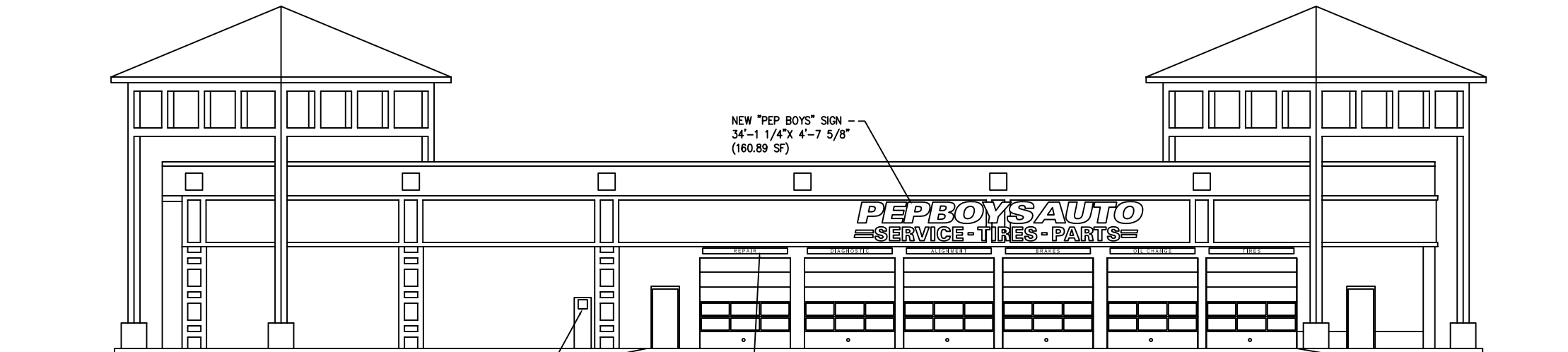
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	DEMOLITION PLAN
	A1.1
4423 US 14, CRYSTAL LAKE, IL 60014	Scale: 1/16" = 1'-0"



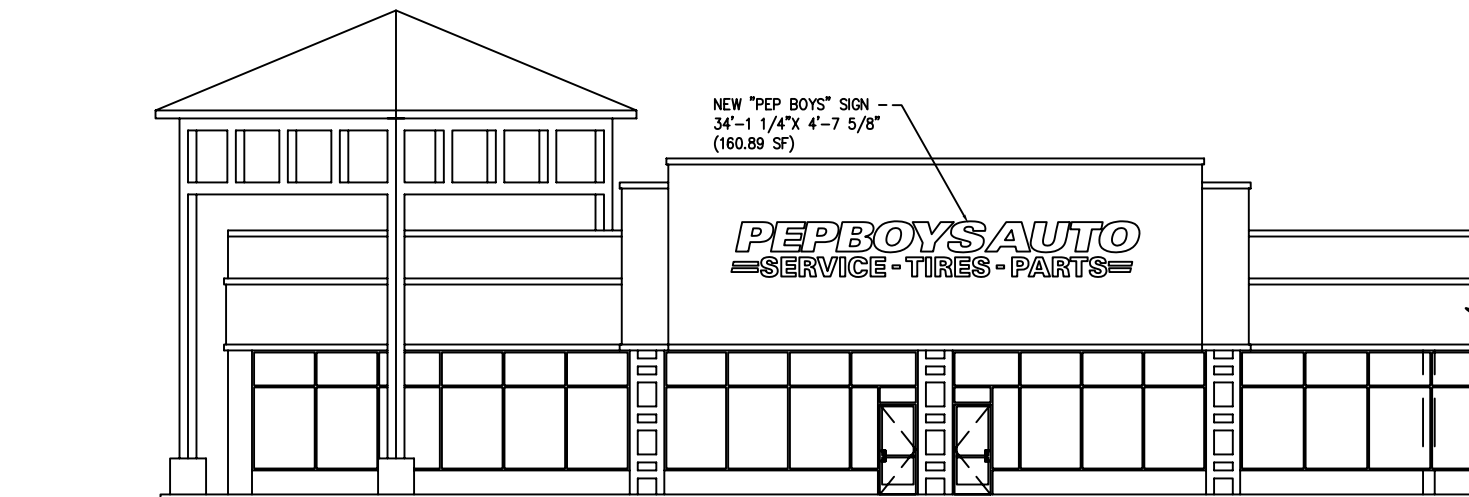
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	FLOOR PLAN
	A2.1
4423 US 14, CRYSTAL LAKE, IL 60014	Scale: 1/16" = 1'-0"



REAR ELEVATION



SIDE ELEVATION



FRONT ELEVATION

	DRAWING TITLE
	EXTERIOR ELEVATION
	A4.1
4423 US 14, CRYSTAL LAKE, IL 60014	Scale: 1/16" = 1'-0"









TWIN PONDS MARKETPLACE SHOPPING CENTER
IL. ROUTE 31 & U.S. ROUTE 14
CRYSTAL LAKE, ILLINOIS

THE HARLEM IRVING COMPANIES, INC.

TENANT SIGN CRITERIA

1.0 GRAPHICS AND SIGNAGE CRITERIA

Conformance with these standards will be strictly enforced. Any installed nonconforming or unapproved signs must be brought into conformance at the expense of the Tenant. Landlord's interpretation of these criteria shall be final and governing.

2.0 GENERAL

- A. All signs shall be constructed and installed at Tenant's expense.
- B. All Tenant signs and graphics shall be subject to the approval of the Landlord, the Landlord's Architect, and the City of Crystal Lake.
- C. All permits for signs and their installation, if required, shall be obtained and paid for by the Tenant.
- D. The Tenant shall be fully responsible for the operations/activity of the Tenant's sign contractor(s).
- E. No labels will be permitted on the exposed surface of the signs except those required by local ordinance, which shall be positioned in an inconspicuous location.

3.0 SUBMISSION

Tenant shall submit for approval:

- A. One (1) complete set of sign drawings (sepia reproducibles) and three (3) complete sets of sign drawings (prints) to the Landlord prior to sign fabrication.
- B. Sign drawings shall also be submitted to the City of Crystal Lake prior to sign fabrication.

In addition to detailed sign drawings, such submission must include:

- A. Elevation of storefront showing design, location, size, and layout of sign, drawn to scale (not less than 1/8" = 1'-0") and indicating dimensions, attachment/anchorage devices and construction details.
- B. Sample board showing colors and materials for fascia, letter faces, returns, caps, etc.
- C. Section through letter and/or sign panel showing the dimensioned projection of the face of the letter and/or sign panel from the sign raceway assembly.

WOW NO. 9475

Following review of the signage submittal, the Landlord's Architect shall return to the Tenant, one (1) set of such sign drawings with comments, suggested modifications and/or approval.

4.0 LOCATION OF SIGNS

- A. The Tenant shall be permitted to install one (1) sign on the raceway assemble above the Tenant storefront area.
- B. Unless specifically stated otherwise herein, no signs will be permitted on the Tenant storefront or in back of the storefront using suspension systems, pylons or other methods.

5.0 DESIGN CRITERIA

- A. Tenant signs shall be limited to the store name. Wording of signs shall not include the product sold except as part of Tenant's tradename. The use of corporate crests, shields, logos or other established corporate insignia which is customarily displayed or associated with the store name shall be permitted and its area shall be included within the total allowable sign area. Such corporate logos, shields, etc., shall not exceed the stipulated average height for sign letters.

B. SIGNAGE SIZES

1. Outlot Building

- a. Sign Band: 5'-0" high
- b. Tenant Sign Letters: 4'-0" max. height
- c. Tenant Sign Area: 150 sq. ft. max.
- d. End Tenant may have second sign on side elevation.

2. Major Tenants

- a. Home Depot
 - 1. 413 s.f. main
 - 2. 30 s.f. secondary

Total 443 s.f. allowable maximum

- b. Petsmart
 - 1. 323 s.f. main
 - 2. 26 s.f. secondary

Total 349 s.f. allowable maximum

- c. Circuit City
 - 1. 293 s.f. main
 - 2. 140 s.f. side

Total 492 s.f. allowable maximum

Note: If any major tenant moves out, then future tenant will be subject to allowable areas.

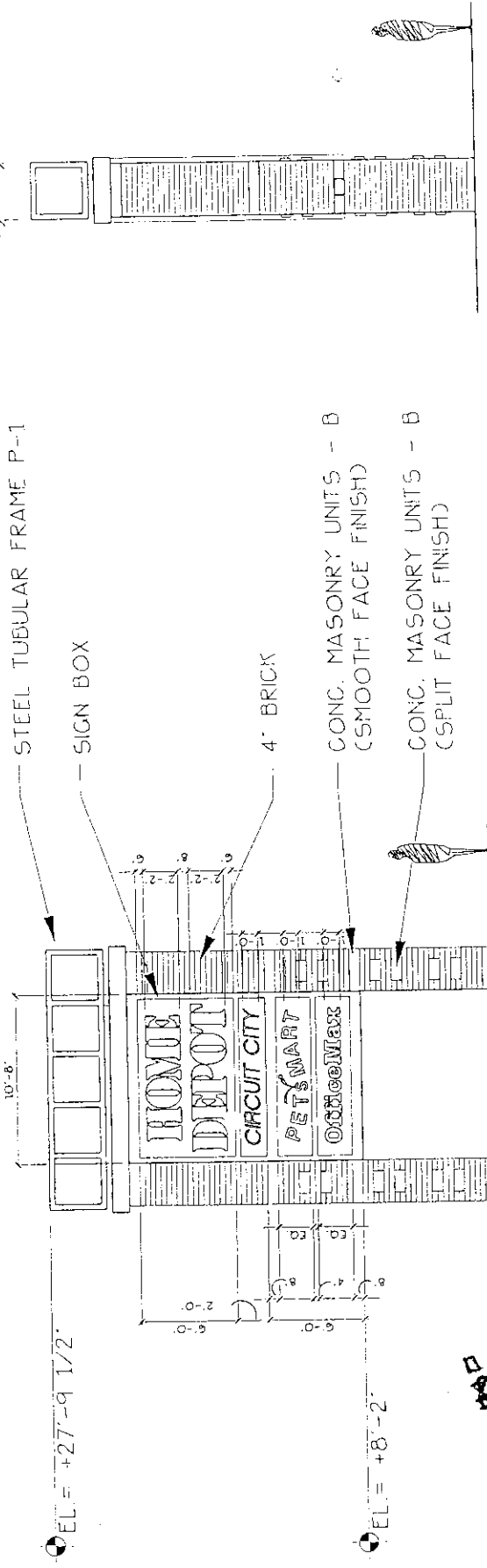
- C. The following type of signs and/or sign components will not be permitted:
1. Boxed or cabinet type.
 2. Moving, rotating or flashing.
 3. Free standing.
 4. Noise or odor producing.
 5. Cloth, paper, wood, cardboard, stickers, decals, or painted signs.
 6. Signs employing unedged or uncapped plastic letters or letters with no returns and exposed fastenings.
 7. Signs employing exposed ballast boxes or transformers.
 8. Signs exhibiting the names, stamps or decals of the sign manufacturer or installer.
 9. Exposed lamps except decorative neon.
 10. No sign, pennants, insignia, trademarks, advertisement, notice, or other lettering or descriptive material shall be exhibited, inscribed, painted or affixed on any part of Tenant storefront, doors or glass panes.
 11. Signs employing luminous vacuum formed type plastic letters.
 12. Signs painted directly to sign band fascia.
 13. No simulated materials (i.e. wood grained plastic laminates, etc.) or wall covering may be used in the sign area.
- D. A seven calendar-day, 24 hour time clock shall be provided by Tenant for illumination of Tenant's sign and storefront during required hours designated by Landlord.
- E. Tenant signs should be compatible with and complimentary to adjacent and facing storefronts.
- F. Sign letters shall be lighted with lamps or tubes concealed entirely within the depth of the letter with opaque metal sides and translucent acrylic plastic faces. Brightness of signs is subject to approval by Landlord and must comply with all applicable codes. Surface brightness of all translucent material shall be consistent in all letters and components of the sign. Light leaks will not be permitted.
- G. All signs have disconnect switches as required and in a location per the building code.

4.5 CONSTRUCTION REQUIREMENTS

- A. All letters shall be fabricated using full-welded construction.
- B. Location of all openings for conduit sleeves and supports in sign panels of building walls shall be indicated by the sign contractor on drawings submitted to the Landlord. Sign Contractor shall install same in accordance with the approved drawings.
- C. Sign installation will be coordinated with the Landlord prior to commencement of any work by the Tenant's sign contractor. Sign Contractor shall repair any damage to any work caused by his work.
- D. All electrical signs shall bear the U.L. Label; their fabrication and installation must comply with all national and local building and electrical codes.

- E. All conduit, raceways, crossovers, wiring, ballast boxes, transformers and other equipment necessary for sign connection shall be concealed.
- F. Each letter or graphic symbol must return to sign fascia by means of independent PK housings - "linked" letters, except for cursive typefaces, are prohibited.
- G. Threaded rods or anchor bolts shall be used to mount sign letters which are spaced out from background panel. Angle clips attached to letter sides are not permitted.

3'-6 1/2"



STEEL TUBULAR FRAME P-1

SIGN BOX

4" BRICK

CONC. MASONRY UNITS - B (SMOOTH FACE FINISH)

CONC. MASONRY UNITS - B (SPLIT FACE FINISH)

SITE IDENTIFIER

END ELEVATION

SITE IDENTIFIER (QUANTITY=2)

FRONT ELEVATION

SITE IDENTIFIER SIGNAGE	
ALLOWABLE S.F. _____	50 S.F. per side
HOME DEPOT _____	43 S.F.
CIRCUIT CITY _____	10 S.F.
PETSMART _____	10 S.F.
OFFICE MAX _____	10 S.F.
PROPOSED TOTAL: 73 S.F. per side	

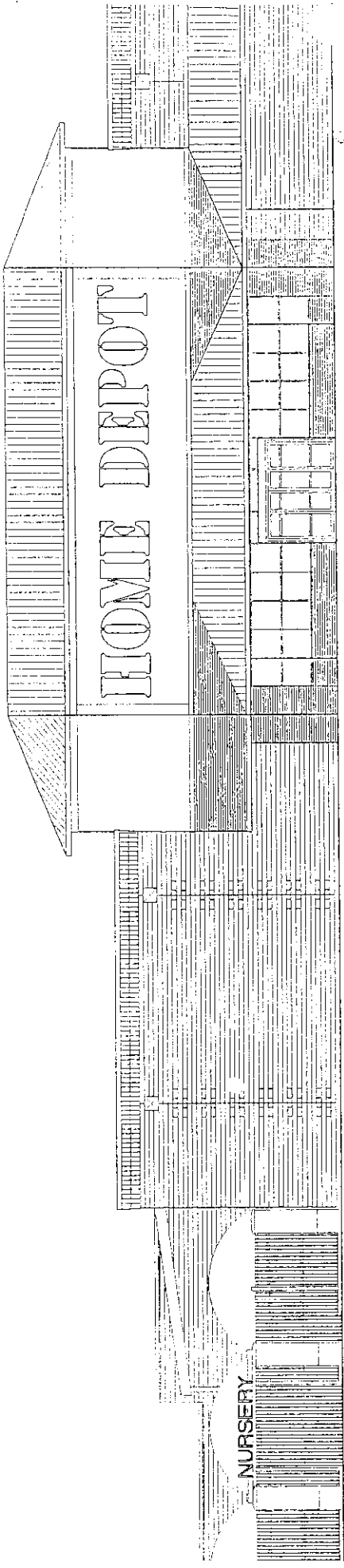
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

SIGNAGE / TENANTS

Revised 7/9/96

TWIN PONDS MARKETPLACE
CRYSTAL LAKE, ILLINOIS
WOW No. 9475

HOME DEPOT	59' X 7'-0" = 413 SF	MAIN
	14'-8" X 2'-0" = 30 SF	SECONDARY
	TOTAL = 443 SF	
PETSMART	35'-3" X 9'-2" = 323 SF	MAIN
	2 X 10'-4" X 1'-3" = 26 SF	SECONDARY
	TOTAL = 349 SF	
CIRCUIT CITY	27'-10" X 10'-6" = 293 SF	MAIN
	31' X 3'-0" = 93 SF	SIDE
	7'-0" X 1'-4" = 9 SF	AUXILARY SIGN
	TOTAL = 442 SF	
OFFICE MAX	32'-6" X 4'-0" = 130 SF	MAIN
	TOTAL = 130 SF	
SUPER TRAK WAREHOUSE	50'-0" X 3'-0" = 150 SF	MAIN
	TOTAL = 150 SF	
SUPER CROWN	34'-9" X 3' = 105 SF	MAIN
	34'-9" X 3' = 105 SF	SECONDARY
	TOTAL = 210 SF	
SPECIALTY STORE (MAX.)	37'-6" X 4'-0" = 150 SF	MAIN
	TOTAL = 150 SF	



PARTIAL ELEVATION

—ORANGE LETTERS—

59'-0"

HOME DEPOT

MAIN SIGN

14'-8"

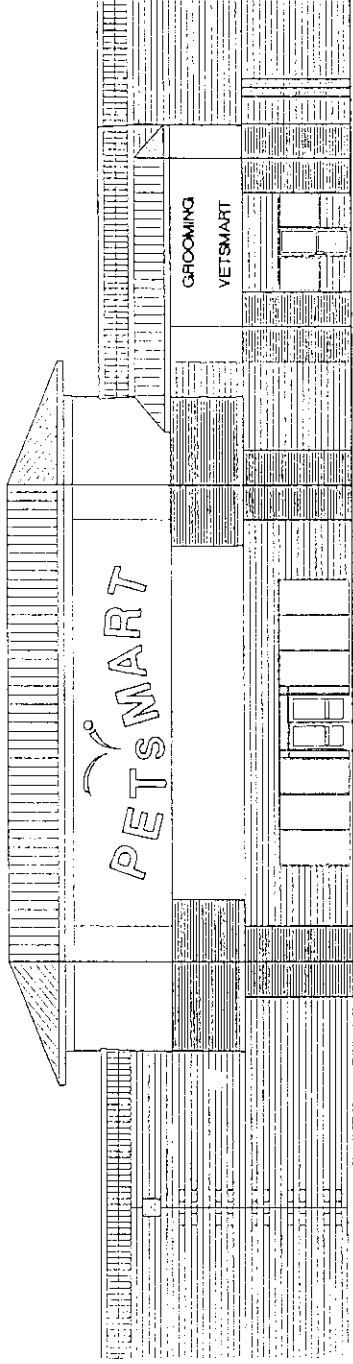
NURSERY

SECONDARY SIGN

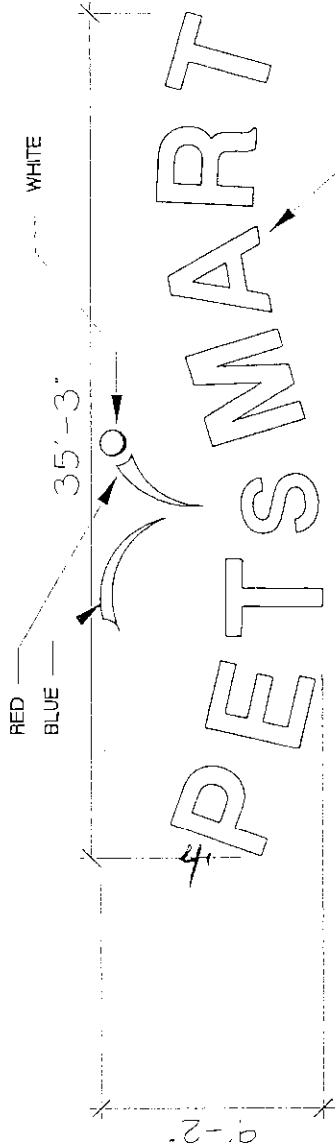
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:
 MAIN:
 SECONDARY:
 TOTAL:

THE HOME DEPOT
 59' x 7' = 413 SF
 14'-8" x 2' = 30 SF
 443 SF



PARTIAL ELEVATION



MAIN SIGN

RED LETTERS

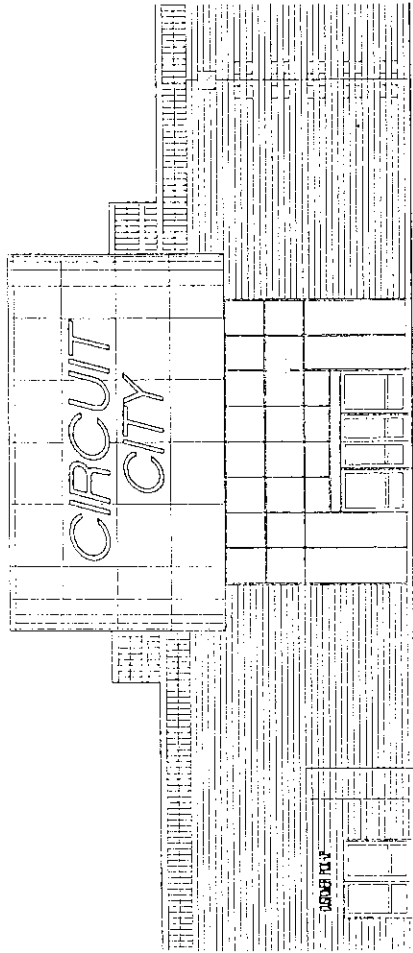


SECONDARY SIGN

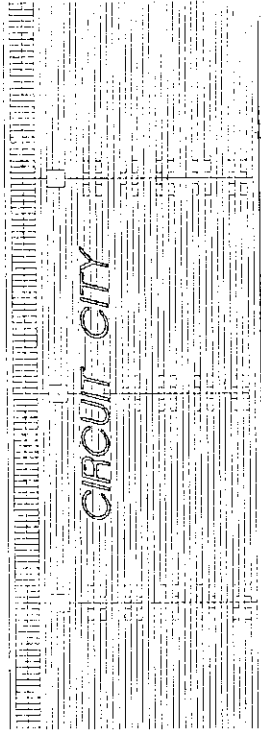
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:
 MAIN:
 SECONDARY:
 TOTAL:

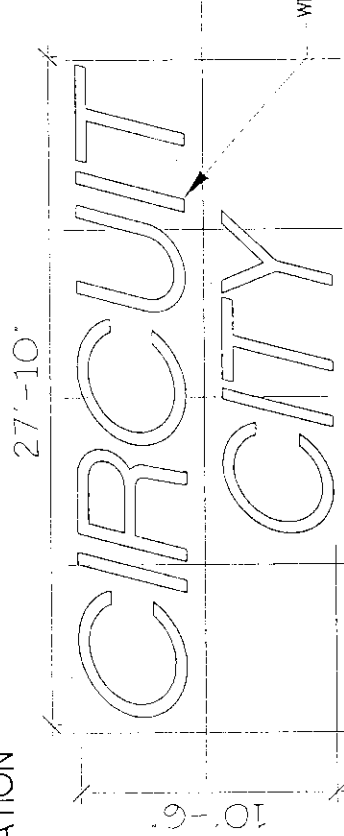
PETSMART
 35'-3" x 9'-2" = 323 SF
 (2) 10'-4" x 1'-3" = 26 SF
 349 SF



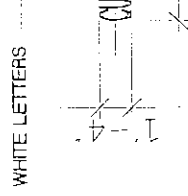
PARTIAL ELEVATION



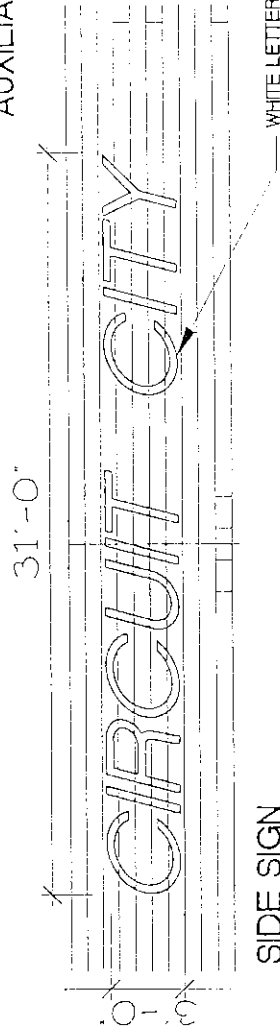
PARTIAL SIDE ELEVATION



MAIN SIGN



AUXILIARY SIGN

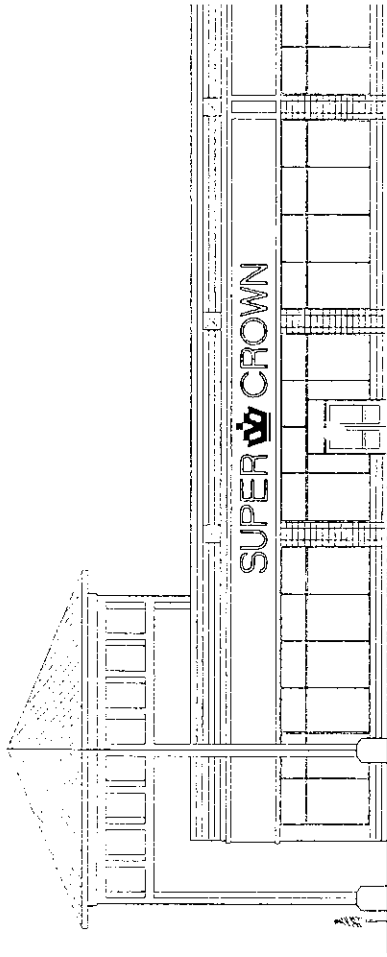


SIDE SIGN

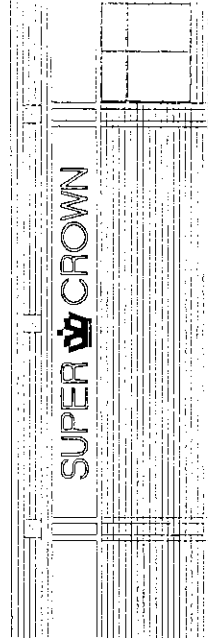
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:
 MAIN:
 SIDE:
 AUXILIARY:
 TOTAL:

CIRCUIT CITY
 27'-10" x 10'-6" = 293 SF
 31' x 3'-0" = 93 SF
 7'-0" x 1'-4" = 9 SF
 395 SF



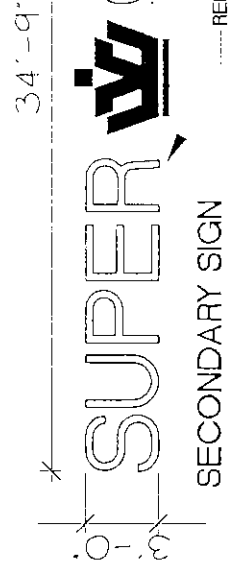
PARTIAL ELEVATION



PARTIAL SIDE ELEVATION



MAIN SIGN

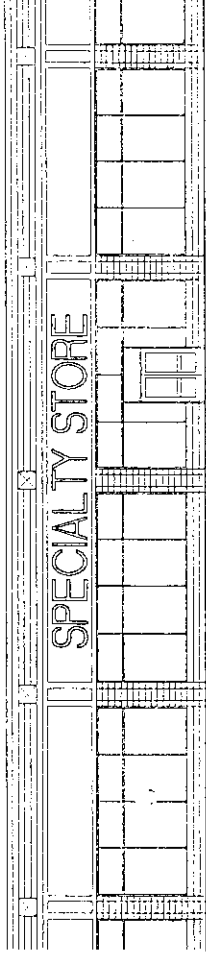


SECONDARY SIGN

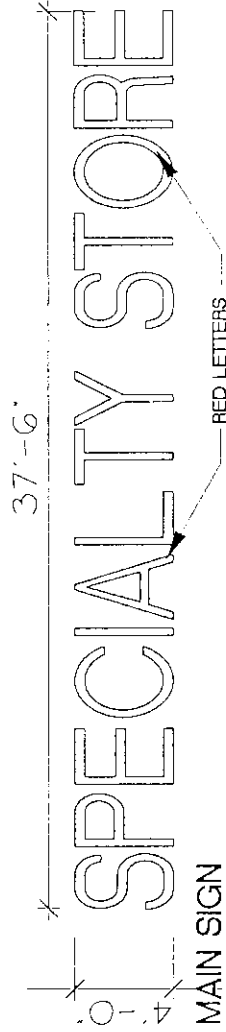
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:
 MAIN:
 SECONDARY:
 TOTAL:

SUPER CROWN
 34'-9" x 3'-0" = 105 SF
 34'-9" x 3'-0" = 105 SF
 210 SF

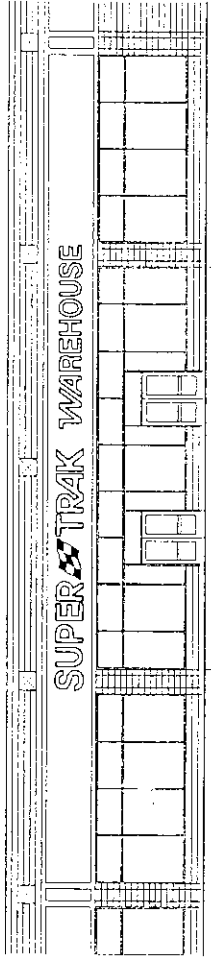


PARTIAL ELEVATION



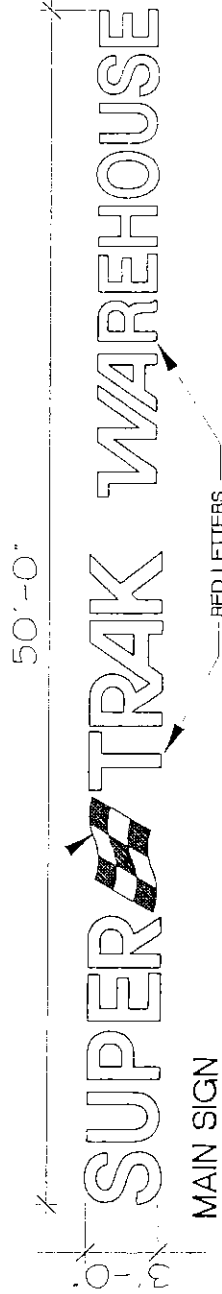
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:	SPECIALTY STORE
MAIN (MAX):	50'-0" x 3'-0" = 150 SF
TOTAL:	150 SF



PARTIAL ELEVATION

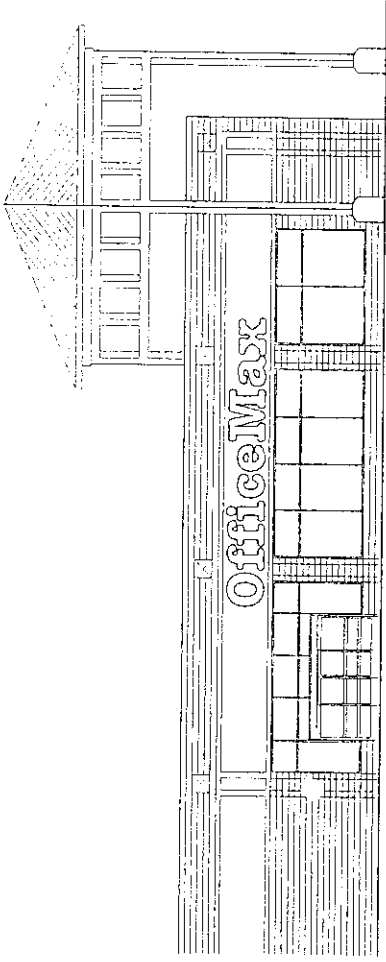
WHITE AND BLUE FLAG —



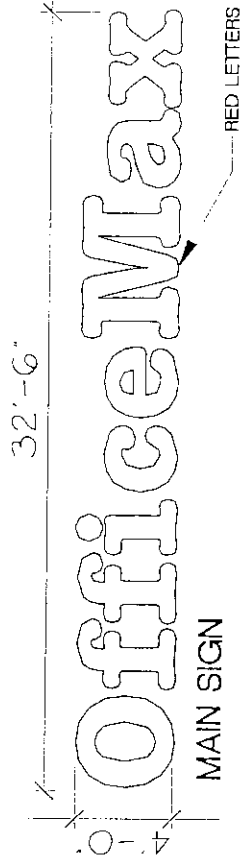
TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:
 MAIN:
 TOTAL:

SUPER TRAK
 50'-0" x 3'-0" = 150 SF
 150 SF

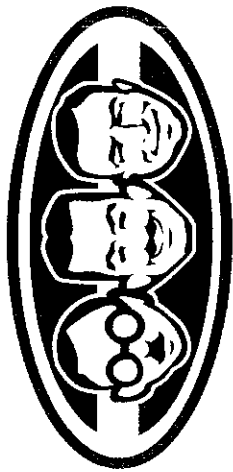


PARTIAL ELEVATION

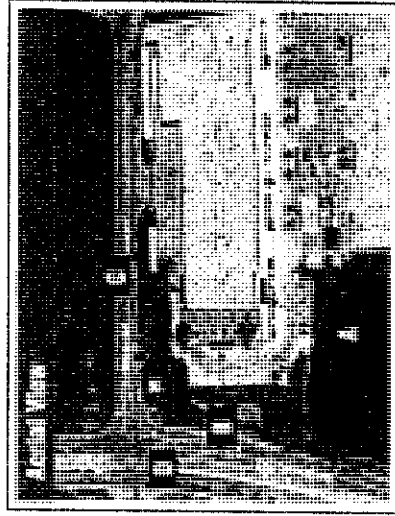
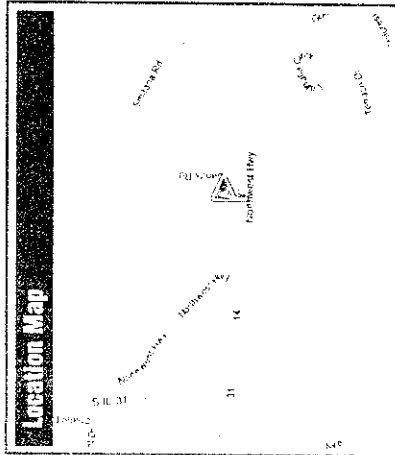


TWIN PONDS MARKETPLACE
 CRYSTAL LAKE ILLINOIS
 TENANT SIGNAGE SPECIFICATIONS

TENANT:	OFFICE MAX
MAIN:	32'-6" x 4'-0" = 130 SF
TOTAL:	130 SF



PEPBOYS AUTO
=SERVICE - TIRES - PARTS=



Existing Sign Inventory			Sq. Ft.
Item	Qty.	Description	
E1	1	D/F Pylon Sign	

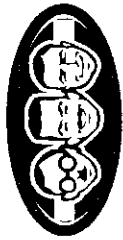
Proposed Sign Schedule			Sq. Ft.
Item	Qty.	Description	
A	1	New Channel Letters	160.89
B	1	New Channel Letters	160.89
C	1	New Channel Letters	85.26
D	1	New D/F Pylon Cabinet	30.2
E	6	Alum. Bay ID Panels	39.46 16.5

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014

SUBMITTED BY
CIMANETWORK
image focused

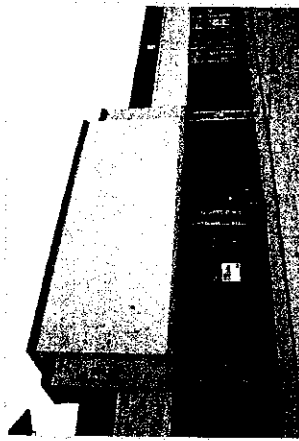
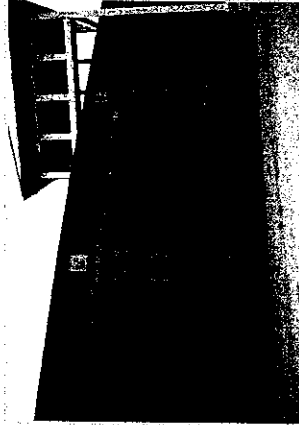
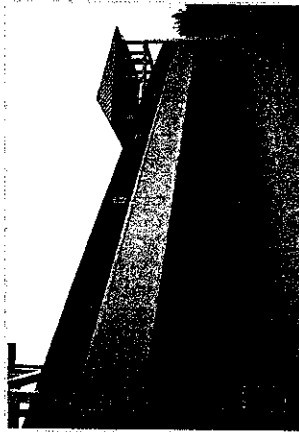
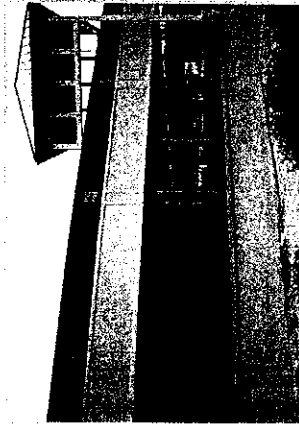
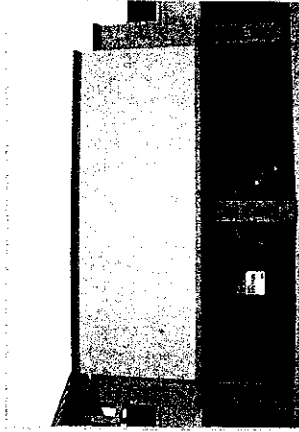
THE SIGNAGE DESIGN AND CONSTRUCTION OF THIS PROJECT WAS COMPLETED BY CIMANETWORK

RECEIVED
 5/26/19



PEPBOYS AUTO
=SERVICE-TIRES-PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



Site Photos

CIMA NETWORK
image focused

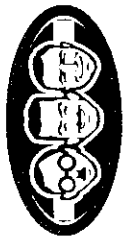
200 West York Drive, Suite 300, P.O. Box 188, East Windsor, NJ 07830
610.778.9903 17477108@pic.com www.cimainetwork.com

CLIENT
PEPBOYS
4423 US 14, Crystal Lake, IL 60014

PROJECT
5/25/10
CRYSTAL LAKE, IL

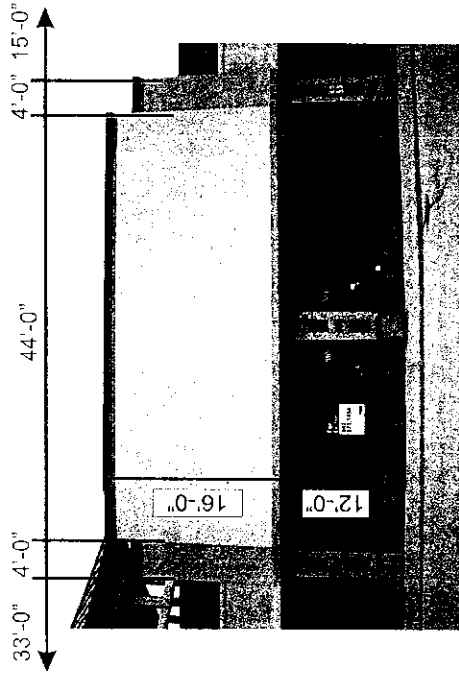
REVISIONS
2
=SERVICE-TIRES-PARTS=
Crystal Lake, IL

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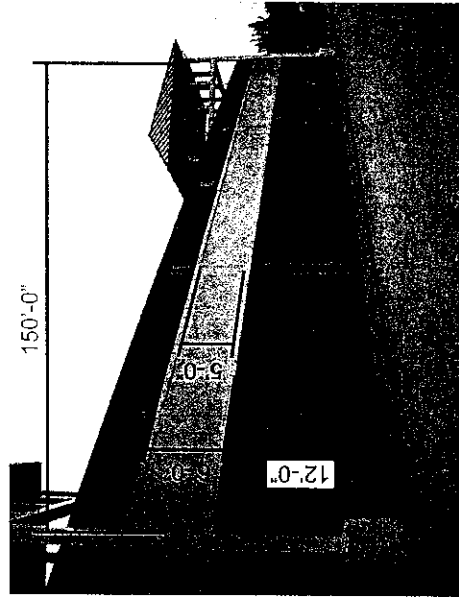


PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



Entrance Elevation



Northwest Hwy Elevation



Sands Rd. Hwy Elevation

Survey Info - Overview

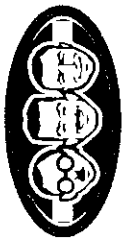
CIM NETWORK
image focused
200 New York Ave., Suite 300, Ft. Washington, PA 19103
© 2007 CIM NETWORK, INC. TEL: 215-267-7068 FAX: 215-267-7069 WWW.CIMNETWORK.COM

PROJECT
PROJECT # 4423 US 14, Crystal Lake, IL 60014
DATE 5/22/10
LOCATION US 14
NOISE 4423

PEPBOYS AUTO
=SERVICE - TIRES - PARTS=
Crystal Lake, IL

SHEET
3
REVISION #

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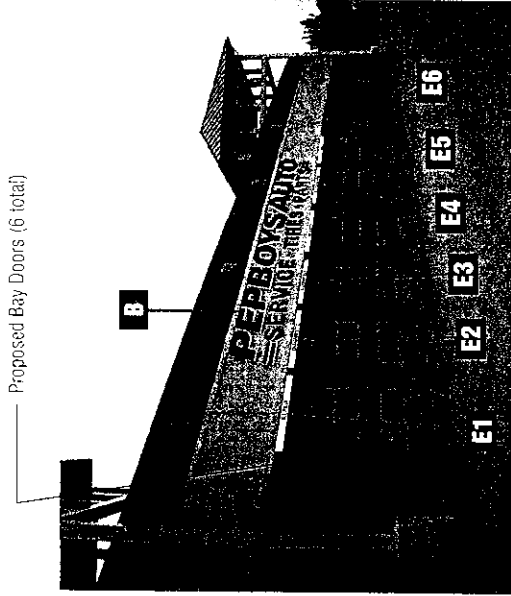


PEPBOYS AUTO
=SERVICE-TIRES-PARTS=

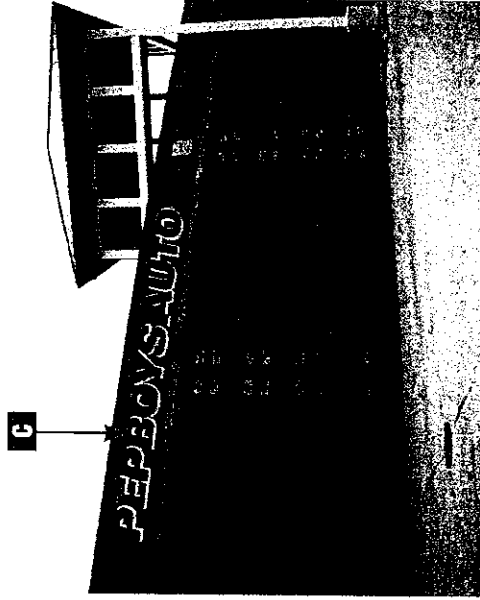
Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



Entrance Elevation



Northwest Hwy Elevation



Sands Rd. Hwy Elevation

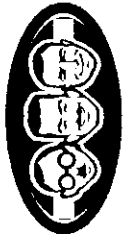
Proposed Rendering - Overview

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240 794-1043 (t) • Shop 24 • P.O. Box 185 • East Washington, PA 15110
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CLIENT
PEP BOYS
4423 US 14, Crystal Lake, IL 60014
DATE
5/25/10
DESIGNER
J. J. JORD
PROJECT NO.
4423
SCALE
1/4"

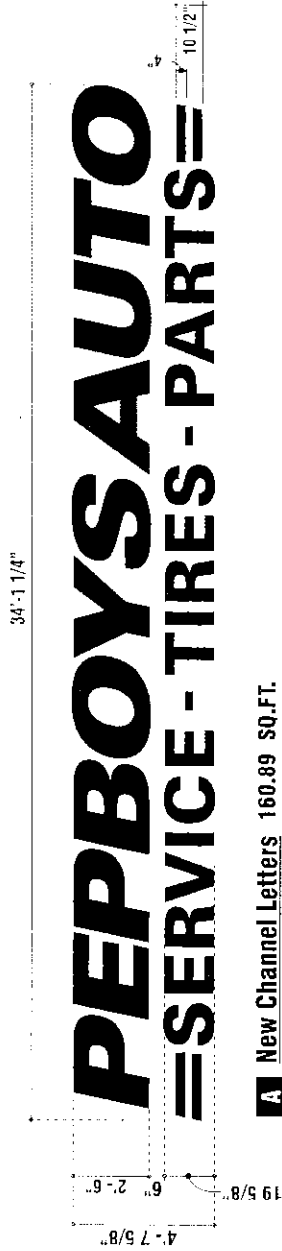
SHEET
4
REVISION #
PEPBOYS AUTO
=SERVICE-TIRES-PARTS=
Crystal Lake, IL

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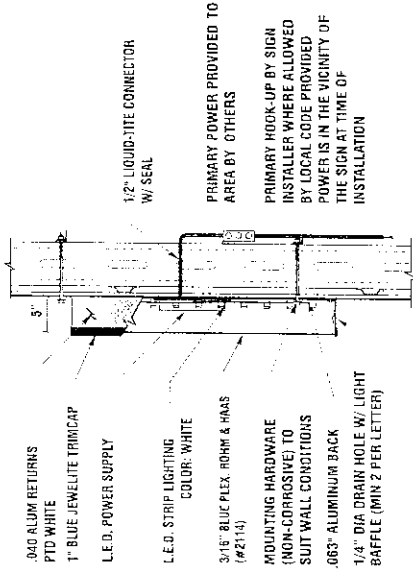
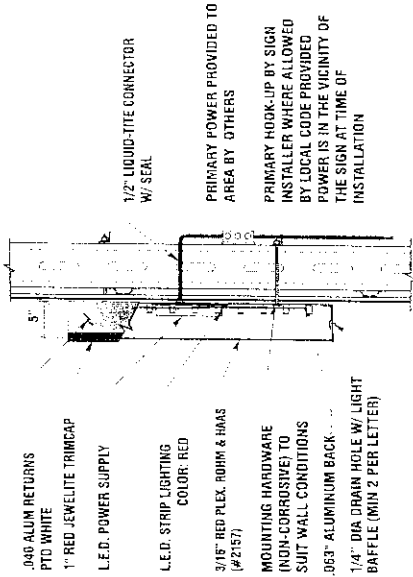
PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



A New Channel Letters 160.89 SQ.FT.

Scale: 1/4" = 1'-0"



Signage Details - Channel Letters SECTION @ PEP BOYS

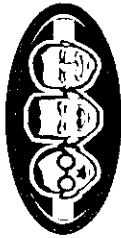
SECTION @ AUTO

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image focused
240 New York Street, Suite 2, P.O. Box 287, East Windsor, PA, 18829
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PEPBOYS
PeP-Boys
ADDRESS 4423 US 14, Crystal Lake, IL 60014
CITY STATE ZIP
5/25/10 JOREL
PEPBOYS, IL 4423

PEPBOYS AUTO
=SERVICE - TIRES - PARTS=
Crystal Lake, IL

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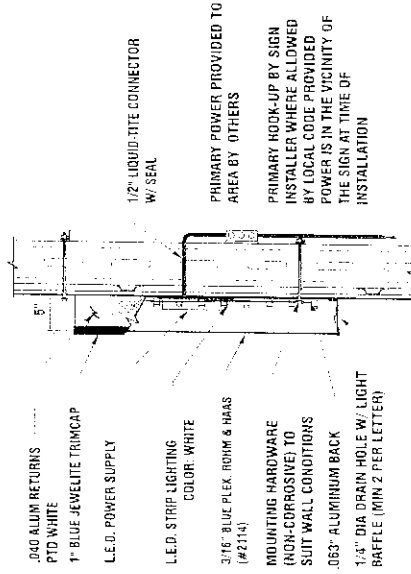
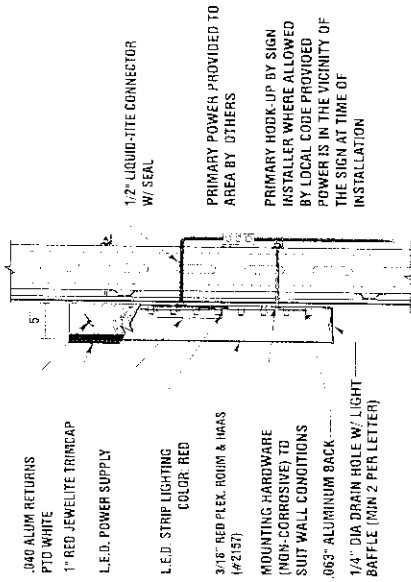


PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



B New Channel Letters 160.89 SQ.FT.
Scale: 1/4" = 1'-0"



Signage Details - Channel Letters SECTION @ PEP BOYS

SECTION @ AUTO

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PROJECT: PEP BOYS
4423 US 14, Crystal Lake, IL 60014
DATE: 5/25/16
DRAWN BY: [Redacted]
KIT

PEPBOYS AUTO
=SERVICE - TIRES - PARTS=
Crystal Lake, IL

SHEET
6
REVISION #

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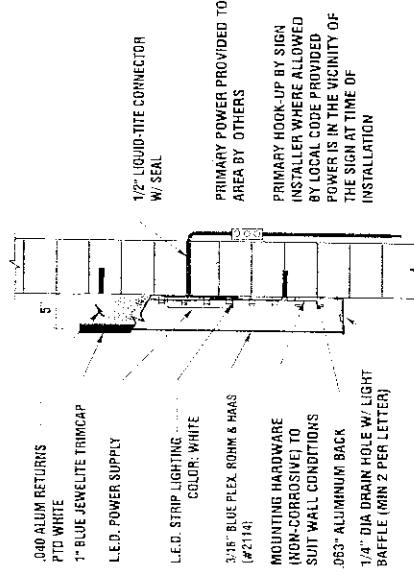
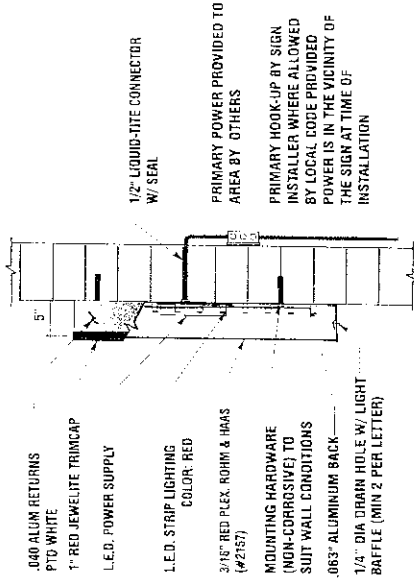


PEPBOYS AUTO
=SERVICE-TIRES-PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



G New Channel Letters 85.26 SQ. FT.
Scale: 1/4" = 1'-0"



Signage Details - Channel Letters SECTION @ PEP BOYS

SECTION @ AUTO

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230 Hwy 74, Peapack, N.J. 07655-1800
2342 206 095 1747 fax 984 www.cimanetwork.com

PEPBOYS

4423 US 14, Crystal Lake, IL 60014

3/25/10
REVISED BY: JMD
DATE: 3/25/10

PEPBOYS AUTO
=SERVICE-TIRES-PARTS=
Crystal Lake, IL

REVISION 7

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PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



Survey Info - D/F Pylon Sign



Proposed Rendering - D/F Pylon Sign

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PEPBOYS

4423 US 14, Crystal Lake, IL 60014

5/25/10

None

PEPBOYS AUTO SERVICE - TIRES - PARTS

4423

SHEET

8

REVISION #

PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

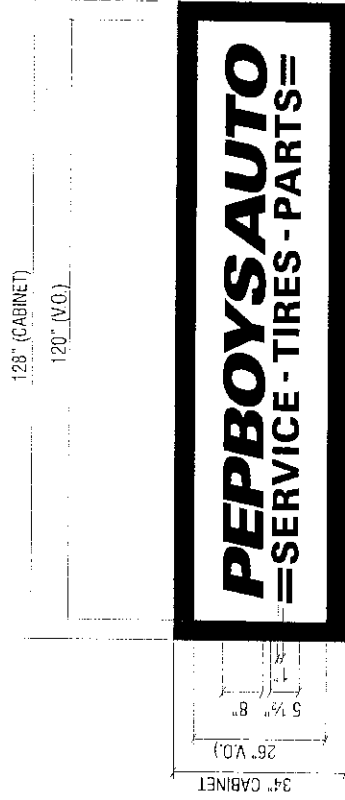
Crystal Lake, IL

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PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014



D New Face Replacement 30.2 SQ. FT.

Scale: 1/4" = 1'-0"

- Aluminum cabinet & retainers finished to match existing cabinets
- New fluorescent lamps
- (2) new white flex faces w/ applied vinyl as follows:

"PEPBOYS": TRANS. RED (3630-33)

"AUTO & STRIPES": TRANS. SULTAN BLUE (3630-157)

"SERVICE CENTER": TRANS. SULTAN BLUE (3630-157)

Side View

Scale: 1/4" = 1'-0"



Signage Details - D/F Pylon Sign

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PROJECT: Pep Boys

ADDRESS: 4423 US 14, Crystal Lake, IL 60014

DATE: 5/25/10

BY: [Signature]

PROJECT NO: 4423

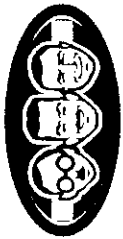
RD: 4423

SHEET

9

REVISION #

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PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Exterior Branding Project
4423 US 14, Crystal Lake, IL 60014

Handwritten: p. 5 of Signage Detail

118" (VERIFY)

REPAIR

E1

DIAGNOSTIC

E2

ALIGNMENT

E3

BRAKES

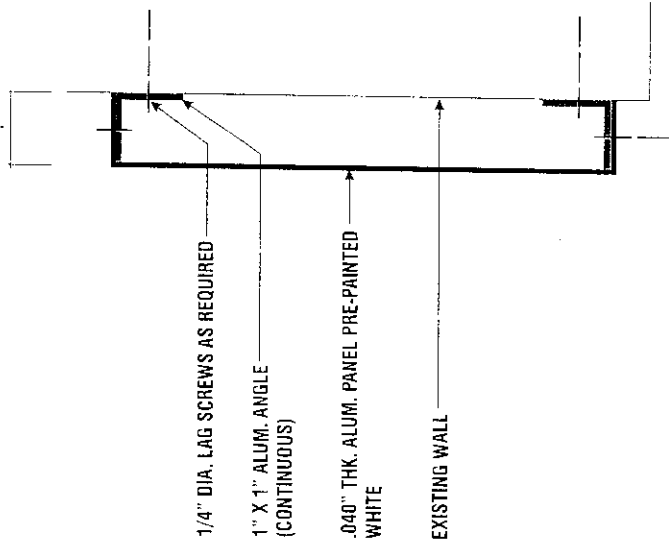
E4

OIL CHANGE

E5

TIRES

E6



E White Alum. Service Bay Panels

.040" THK. PRE-PAINTED WHITE
ALUM. PANELS WITH 1" RETURNS
AND BLACK VINYL COPY.
FONT: UNIVERS 55

6 PANELS @ 6.5 SQ. FT. EACH = 39 SQ. FT.

SECTION

Signage Details - Service Bay Panels

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240 New 19th Ave. Suite 100, Erie, PA 16590
C: 412.708.9915 F: 412.708.9940 www.cimanetwork.com

PEPBOYS

PEPBOYS
4423 US 14, Crystal Lake, IL 60014
S: 815.410.1100
E: 815.410.1100
F: 815.410.1100

PEPBOYS AUTO
=SERVICE - TIRES - PARTS=

Crystal Lake, IL

REVISIONS

SHEET **10**
REVISION #

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