



#2010-50
McHenry County Mental Health Board
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	September 1, 2010
<u>Zoning Request:</u>	Final Planned Unit Development Amendment to allow an addition to the existing McHenry County Mental Health Building.
<u>Location:</u>	620 Dakota Street
<u>Acreage:</u>	0.886 acres
<u>Existing Zoning:</u>	O-PUD
<u>Surrounding Properties:</u>	North (M-L), Vacant land South (O-PUD), Office East (O-PUD), Office West (M), Office
<u>Staff Contact:</u>	Elizabeth Maxwell 815-356-3615

Background: This parcel was annexed and zoned in early 2009. The petitioners came through and requested a height variation in August of 2009 from the maximum permitted height of 25-feet in the Office Zoning District to allow up to 45-feet. The rear portion of the lot has a slope to the grade so the height of the building varies. The height of the building is 21-feet at the lowest portion and up to a total height of 31-feet where the ground slopes away. McHenry County Mental Health is proposing an expansion onto the existing building and additional parking. The petitioners are requesting the Final PUD Amendment to allow the addition to the existing building.

Land Use Analysis:

Site Plan

This lot was landlocked surrounded by office buildings and the County Health building. The new building is a two-story 22,560 square foot addition and would create additional office space. The new addition is located behind the existing building, which fronts on Dakota Street. The required parking for office space is 126 spaces; the site would provide 114 spaces. A portion of the parking lot, 16 spaces, is planned as an alternate and would be paved if additional parking is needed. McHenry County Health shall be responsible for providing the necessary parking on site. Staff shall monitor the parking in this area and if it is noticed that there is a parking problem the owner shall be required to provide the additional parking immediately.

Elevation

The new building would match the exterior materials, style and roof slope of the existing building. The building would be brick with concrete banding. The windows are aluminum clad wood windows to match the existing windows. Staff is suggesting that one window be added on the south elevation at the second-story corner office to match the look of the other corner office. The existing building will hide most of the new addition from Dakota Street. Any roof mounted mechanical equipment shall be painted to blend with the roof color and screened as necessary.

Signage

McHenry County Health currently has a free-standing sign along Dakota Street. The sign base matches the brick on the building and in an internally illuminated sign. No changes are proposed to this sign.

Landscape

The new parking lot area will be landscaped with a variety of deciduous and evergreen shrubs. Several new Honey Locust trees and Prairiefire Crabapple trees will be planted in the parking lot islands. The new building will have foundation base landscape plantings around the west and north sides. The new landscape will complement the existing landscape.

Findings of fact:

Final Planned Unit Development Amendment

The petitioner is requesting approval of an amendment to a Final Planned Unit Development to allow the building addition and parking variation. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City. Article 4-500 in the Unified Development Ordinance lists the standards for a PUD, this request complies with those standards. In addition Article 2 Section 2-400 B of the Unified Development Ordinance establishes general standards for all Special Uses in Crystal Lake. Briefly, the criteria are as follows:

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*

2. The use will not be detrimental to area property values.
 Meets *Does not meet*

3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*

4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*

5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*

6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*

7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*

8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*

9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*

10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

Planned Unit Development Variation

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. If the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation request be lessened or denied.

Parking variation

The city's parking requirements are based on typical standards for parking. They do not necessarily reflect the needs of an actual business. Using the square footage of the building requires 126 parking spaces, the McHenry County Health offices do not need that amount of parking for their employees. To reduce initial costs and to retail open space, the petitioners are proposing an additional parking area that can be constructed if necessary. The total parking that would be provided on site would be 114 spaces, this is a variation of 12 spaces.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Office, which is defined as: "representing existing office areas and indicates areas for future office uses." The petitioner's request would be consistent with the Comprehensive Land Use Plan.

Within the Commerce/Office/Industry Land Use section of the Comprehensive Plan, the following goal and objective is related to the petitioner's requests:

Objective #2: Encourage business development that maximizes links to related businesses, infrastructure, and customers.

- Encourage the reuse and redevelopment of existing buildings and facilities instead of growth into undeveloped land
- Encourage the redevelopment of "brownfield" sites, underused or abandoned industrial properties in the city, and either to reuse already existing structures or draw upon existing infrastructure.

Recommended Conditions:

A motion to recommend approval of the petitioner's request with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (McHenry County Mental Health Board, received 08/16/10).
 - B. Site Plans (Gillespie Design Group, dated 08/16/10, received 08/16/10)
2. The following Variation is hereby granted as part of this PUD:
 - A. The reduction in the required parking from 126 spaces to allow 114 spaces, with 98 of those spaces to be constructed with the building addition construction.
3. Should the City Building Division find insufficient parking onsite through routine inspection or complaint McHenry County Mental Health Board shall immediately construct the additional 16 parking spaces.
4. The petitioner shall address all of the review comments and requirements of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

City of Crystal Lake Development Application

Office Use Only
File # 50200

Project Title: ADDITION AND ALTERATION TO McHENRY COUNTY MENTAL HEALTH BOARD

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input checked="" type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

RECEIVED
AUG 16 2010

Petitioner Information

Owner Information (if different)

Name: McHenry County Mental Health Board
Address: 620 DAKOTA ST.
CRYSTAL LAKE, IL 60012
Phone: 815.455.2828
Fax: 815.455.2925
E-mail: slewis@mc108.org

Property Information

Project Description: CONSTRUCTION OF A TWO STORY PRECAST BUILDING W/BRICK VENEER EXTERIOR ADDITION TO 620 DAKOTA ST. ALSO CONVERT EXISTING MONUMENT SIGN FROM EXTERNALLY ILLUMINATED TO INTERNALLY ILLUMINATED.
Project Address/Location: 620 DAKOTA STREET
CRYSTAL LAKE, IL 60012
PIN Number(s): 14-33-276-017 & 14-33-276-015

Development Team

Please include address, phone, fax and e-mail

Developer: _____

GILLESPIE DESIGN GROUP; 5307 BUSINESS PARKWAY; STE 101; RINGWOOD, IL

Architect: _____

815.653.7100; 815.653.7700(F); dgillespie@gillespiedesigngroup.com
FRANK GOSSET; 105 E. VAN BUREN ST; WOODSTOCK, IL 60098

Attorney: _____

815.338.5400; 815.338.5400(F); frankgossert@sbcglobal.net
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.; 1110 LAKE COOK ROAD, BUFFALO GROVE, IL

Engineer: _____

847.520.8410; 847.520.8461(F); dhavlin@tds.net

Landscape Architect: _____

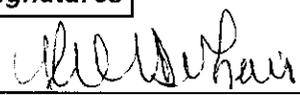
GILLESPIE DESIGN GROUP

Planner: _____

Surveyor: _____

Other: _____

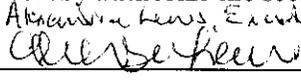
Signatures

 Executive Director for
The McHenry County Mental Health Board 8/10/2010

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

McHenry County Mental Health Board
 Alexandra Lewis, Executive Director 8/10/2010

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION OF McHenry County Mental Health Board

LEGAL NOTICE

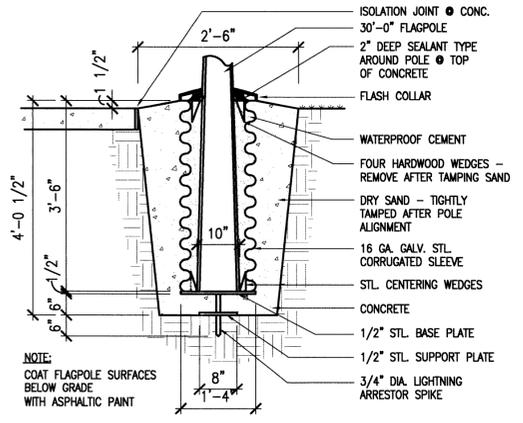
Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application by Charles River Development Group on behalf of McHenry County Mental Health Board, for a Planned Unit Development Amendment relating to the real estate commonly known as 620 Dakota Street and the vacant lot behind 620 Dakota Street, Crystal Lake, Illinois PIN: 14-33-276-017

This application is filed for the purposes of seeking an amendment to a Special Use Permit, which granted a Planned Unit Development approval, to allow the addition of a two-story building connected to the existing office building pursuant to Article 4 Section 4-500 of the Unified Development Ordinance, a variation from the required parking of 126 spaces to allow 114 spaces pursuant to Article 4 Section 4-200 Table 4-200A of the Unified Development Ordinance, and any other variations as necessary to approve the application as presented. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall.

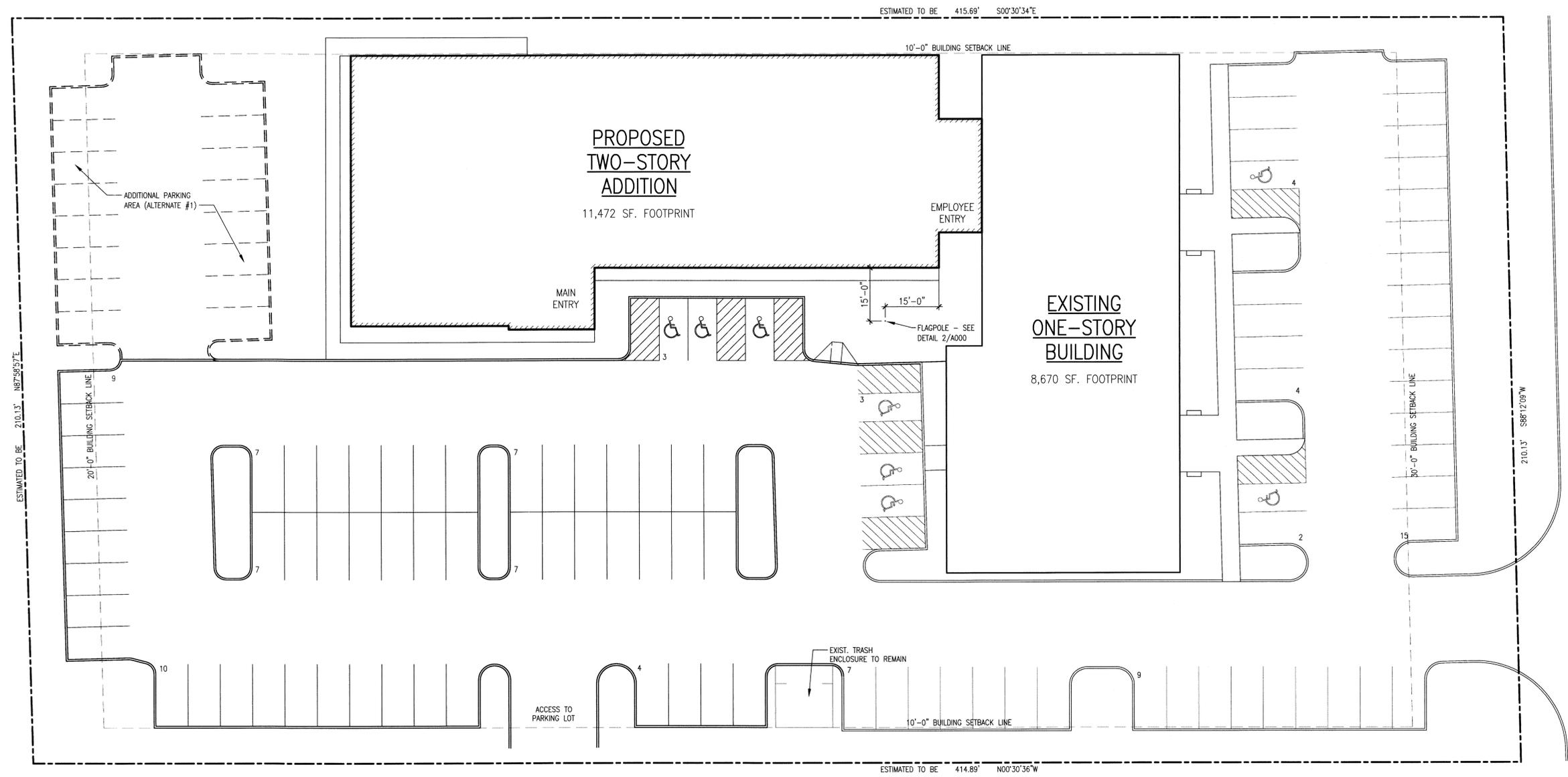
A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday September 1, 2010, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
August 14, 2010)

date	description
08/05/10	REVIEW



2 FLAGPOLE BASE
 3/4" = 1'-0"



1 SITE PLAN
 1/16" = 1'-0"

SITE DATA:

SITE AREA	87,242 SF (2.00 ACRES)
EXISTING BUILDING AREA	8,670 SF
PROPOSED ADDITION AREA	22,560 SF
TOTAL BUILDING AREA	31,230 SF
FLOOR AREA RATIO	0.358
PARKING REQUIRED	117 STALLS (5/1,000 SF USABLE AREA - 75%)
PARKING PROVIDED	115 STALLS (INCLUDING 8 ACCESSIBLE STALLS)

MCHENRY COUNTY ENVIRONMENTAL HEALTH BOARD

EXPANSION PROJECT 620 DAKOTA STREET CRYSTAL LAKE, ILLINOIS

A DEVELOPMENT OF
CHARLES RIVER DEVELOPMENT GROUP, INC.
600 DAKOTA STREET
CRYSTAL LAKE, ILLINOIS 60012
815-477-3123

GENERAL NOTES AND SPECIFICATIONS

- All roadway and pavement construction shall comply with the requirements of the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction", latest edition, except as may be modified by the project plans and specifications.
- All underground construction shall comply with the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois", Illinois Municipal League, latest edition, except as may be modified by project plans and specifications.
- Water mains shall be protected in accordance with the requirements of the Illinois EPA. See Water Main Protection Specifications, this sheet.
- All sewer and water main trenches under or within 2 feet of existing or proposed curbs or roadway pavement shall be backfilled with compacted porous granular backfill (DOT gradation CA-6).
- Commonwealth Edison, AT&T Telephone, Nicor Gas and other utility company facilities are not necessarily shown on the drawings and must be located in the field prior to construction. Call J.U.L.I.E. (1-800-892-0123) at least 48 hours prior to the start of construction.
- Any pavement or other improvements disturbed by contractor's operations shall be replaced in kind at no additional cost.
- Valve vault, catch basin, and manhole covers and rings shall be set in workmanlike manner in mastic bed.
- All elevations shown are U.S.G.S. datum.
- The City of Crystal Lake Building, Public Works, and Engineering Departments shall be notified at least two working days prior to the start of construction. Inspections by the Crystal Lake Engineering Department shall be requested 24 hours in advance.
- All structures shall be clean at time of final acceptance by the City at no additional cost.
- All work to meet all State and local codes and requirements.
- Water and sewer locations are shown on the drawing from the best available information and must be located in the field by the contractor prior to construction. Any discrepancy that the contractor may find with the plan shall be immediately reported to the engineer and the City for resolution prior to proceeding with construction.
- Valve vault lids shall be stamped "City of Crystal Lake Water, storm manhole covers shall be stamped "City of Crystal Lake Storm", and sanitary manhole covers shall be stamped "City of Crystal Lake Sanitary".
- PVC sewer pipe to be PVC SDR 26 pipe meeting the requirements of ASTM D 3034 with flexible elastomeric joints per ASTM D3212, unless otherwise noted on the drawings.
- D.I. sewer pipe to be cement-lined ductile iron, Class 52 conforming to ANSI specification A21.51 with push-on rubber gasket joints, ANSI A21.11.
- Crushed stone bedding 1/4" to 1" in size (class 1A ASTM 2321-00), with a minimum of 12" above pipe and 4" below pipe shall be provided for all sewer construction (DOT gradation CA-11). See City Standard "Typical Trench Cross Section" detail on sheet C-7.
- All floor drains shall be connected to the sanitary sewer system. All down spouts and footing drains shall discharge into the storm sewer system.
- "Band Seal" or similar flexible type couplings shall be used in the connection of sewer pipe of dissimilar materials.
- Concrete thrust blocks to prevent movement of water main under pressure shall be placed at all tees, valves, and bends of 11 1/4" and greater.
- Only City of Crystal Lake Water Department personnel may operate water valves.
- Concrete and reinforced concrete storm sewer to be type and class noted on the drawing with rubber gasket joints conforming to ASTM C-443.
- Water service lines (2" and smaller) shall be copper water tube, type K, soft temper, for underground service conforming to ASTM B-88 and B251 and also conforming to all City of Crystal Lake requirements. Water mains and service lines larger than 2" shall be cement-lined ductile iron, Class 52, conforming to ANSI specification A21.51 with push-on rubber gasket joints. All fittings to be cement lined. Sterilization and pressure testing in accordance with the local governing authority's requirements is included.
- The contractor(s) shall indemnify, hold harmless and defend the owner, Northwestern Engineering Consultants, P.C. and the municipality, their agents, etc. from all liability involved with the construction, installation and testing of the work on this project.
- All concrete used shall be I.D.O.T. Class SL, except for concrete pavement which shall be I.D.O.T. Class PV.
- When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole, the following method shall be used:
 - Circular saw-out of sewer main by proper tools ("Sewer-Top" machine or similar) and proper installation of hub-wye saddle or hub-tee saddle.
 - Remove an entire section of pipe (breaking only the top of one bell) and replace with a wye or tee branch section.
 - With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band-Seal" or similar couplings to hold it firmly in place.
- All existing field drainage tile encountered or damaged during construction are to be restored to their original condition, properly rerouted, and/or connected to the storm sewer system. The contractor shall keep a record of all locations of field drainage tile encountered, and shall notify the City Engineer whenever encountering a drainage tile.
- The contractor is responsible for maintaining a clean construction area and shall remove debris resulting from his operations. Open trenches or other construction hazards shall be protected with barricades at the end of each day's operations.
- The contractor shall be responsible for compliance with all of the requirements of the Occupational Safety and Health Act including those requirements for open cut trenches and sheeting and bracing as required. At no time will the engineer or any of his employees be held liable, either directly or indirectly, to any third party participants in any litigation connected with the construction project.
- All existing buildings, foundations, utilities, landscaping, fences, and other improvements on adjacent properties shall be protected at all times during construction. The contractor is responsible to provide and install any materials, equipment, and/or manpower necessary to accomplish this.
- In order to prevent damage due to settlement, structural support shall be provided for the upper pipe at all water main/sewer crossings in accordance with standard drawings 19, 20, 21, 22, and/or 23 (whichever is applicable to the particular situation) as shown in the "Standard Specifications for Water and Sewer Main Construction in Illinois", 2009 edition.
- The sanitary sewers shall be tested in accordance with City of Crystal Lake Engineering Department requirements per ASTM C-828 (low pressure air test), with services installed and plugged at property line. All services are to be tested also. If PVC pipe is used, it shall be tested in accordance with all Crystal Lake (City Ordinance No. 2954) and EPA Requirements (deflection testing shall be performed per Sect. 31-1.11 of the Standard Specifications for Water and Sewer Main Construction in Illinois).
- All construction and traffic control within the highway right-of-ways shall comply with all IDOT, McHenry County Highway Department and City requirements. Pavement, curb, concrete walk or any other improvements disturbed by contractor's operations shall be replaced in kind.
- All excess excavated material shall become the property of the contractor and shall be removed from the site and legally disposed of by him. The contractor shall have a meeting with the developer prior to the start of earthwork operations to discuss his schedule and plan for the earthwork operations.
- The contractor and its employees are responsible to comply with all the requirements of the IDOT "Confined Space Entry Policy" as published by IDOT in January, 1993, insofar as it relates to entry into manholes, sewers, pipes, lift stations, vaults, wet wells, tanks, and other confined spaces that may be involved with this project.
- Any damage to perimeter street curbs and/or pavement caused by the contractor's activity shall be repaired by the contractor.
- Subgrade preparation for all pavements shown on the drawings shall include topsoil stripping and removal of any underlying unstable/deteriorated material. Fill placement under all paved areas shall be compacted to 95% Modified Proctor density ASTM D-1557 in 9" thick maximum lifts and shall comply with all the recommendations of the soils engineer. Testing and certification as to required subgrade compaction will be required.
- All work shall comply with the IEPA "Standard Specifications for Soil Erosion and Sediment Control" current edition. The contractor shall take whatever steps are necessary to control erosion on the site. Erosion control features shall be constructed concurrently with other work on the site. The contractor shall take sufficient precaution to prevent pollution of streams, lakes and reservoirs with fuels, oils, bitumens, calcium chloride or other harmful materials. He shall conduct and schedule his operations so as to avoid or minimize siltation of streams, lakes and reservoirs. Hauling will not be allowed when the work site is too wet to maintain acceptable conditions on adjacent streets. Adjacent streets and driveways shall be manually or mechanically swept periodically as may be required to maintain clean conditions. See Erosion and Sedimentation Control Plan on Sheet C-5.
- All streetlighting material and construction shall comply with the State of Illinois "Standard Specifications for Road and Bridge Construction" current edition, "American Standard Practice for Roadway Lighting" current edition, the National Electric Code, current edition, and the current City of Crystal Lake standards.
- All water boxes are to be located, where possible, out of sidewalks and driveways. Manholes shall be located out of sidewalks. Curb inlets shall be located out of crosswalks.
- All bidders for water main work on this project shall note that some segments of water main will be tested against existing valves.
- The contractor shall prepare, and obtain approval for from the City Public Works Department, a flushing and chlorination plan for the water mains before this work is commenced. The cost of corporation stops, copper water pipe, etc. required for chlorination, testing, and flushing will not be paid for separately but shall be included in the contractor's total price bid for water main items.
- The contractor shall videotape all sanitary sewer prior to acceptance. Copies of the videotapes shall be supplied to the City Engineering Department. A report must accompany the video tape when submitted to the City.
- All sanitary manholes shall be tested for leakage in accordance with ASTM G124-02 (vacuum test).
- The design engineer shall not be responsible for the means, methods, procedures, techniques, or sequences of construction not specified herein, nor for the safety on the job site, nor shall the design engineer be responsible for the contractor's failure to carry out the work in accordance with the contract documents.
- The contractor is advised that the site contains some areas of trees and brush. The contractor shall make his own investigation and shall include the cost of the tree and brush removal as required for the proposed construction in his total price bid.
- Where there is a conflict between the "General Notes and Specifications" and the City of Crystal Lake Standard Notes, Specifications and Details, the City of Crystal Lake Standard Notes, Specifications and Details shall govern.
- A preconstruction meeting with applicable City officials, contractors and the owner/developer shall be scheduled prior to the commencement of construction.
- Proofrolling of the parking lot subgrade in the presence of the City Inspector is required prior to the installation of the base course.

WATER MAIN PROTECTION SPECIFICATIONS
Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains as follows:

A. HORIZONTAL SEPARATION - WATER MAINS AND SEWERS

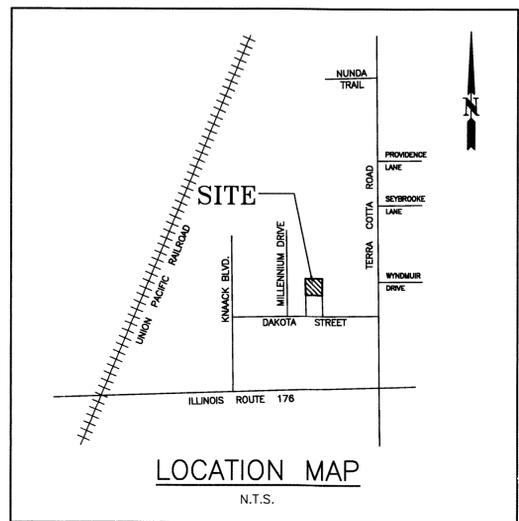
- Water mains shall be located at least ten (10) feet horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer or sewer service connection.
- Water mains may be located closer than ten (10) feet to a sewer line when permitted in writing by a local code official and when:
 - local conditions prevent a lateral separation of ten (10) feet
 - the water main invert is at least eighteen (18) inches above the crown of the sewer; and
 - the water main is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.
- When it is impossible to meet (1) or (2) above, both the water main and drain or sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe, or PVC pipe equivalent to water main standards of construction. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling.

B. VERTICAL SEPARATION - WATER MAINS AND SEWERS

- A water main shall be separated from a sewer so that its invert is a minimum of eighteen (18) inches above the crown of the drain or sewer whenever water mains cross storm sewers, sanitary sewers or sewer service connections. The vertical separation shall be maintained for that portion of the water main located within (10) feet horizontally of any sewer or drain crossing. A length of water main pipe shall be centered over the sewer to be crossed with joints equidistant from the sewer or drain.
- Both the water main and sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe, or PVC pipe equivalent to water main standards of construction when:
 - it is impossible to obtain the proper vertical separation as described in (1) above; or
 - the water main passes under a sewer or drain.
- A vertical separation of eighteen (18) inches between the invert of the sewer or drain and the crown of the water main shall be maintained where a water main crosses under a sewer. Support the sewer or drain lines to prevent settling and breaking the water main.
- Construction shall extend on each side of the crossing until the perpendicular distance from the water main to the sewer or drain line is at least ten (10) feet.

GENERAL DEVELOPMENT NOTES

- All work shall be performed in a manner so as not to unreasonably impair or interfere with the use, occupancy or enjoyment of, or with any business conducted on, any adjacent property.
- At all times during the performance of any Work all areas other than the construction site proper and the staging area shall be kept free from any loose dirt, debris, equipment or construction materials relating to the work.
- Upon completion of the Work, Constructing Party shall promptly restore the area to as good or better condition than existed before the use of the area commenced. Restoration shall include, without limitation, clearing the areas of all loose dirt, debris, equipment and construction materials, the repair or replacement of paving, striping and landscaping, and the repair or replacement of any and all damaged areas or improvements.



INDEX OF DRAWINGS

C-1	TITLE SHEET
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C-6	DETAILS-DRAINAGE AND STORM SEWER
C-7	DETAILS-GENERAL UTILITIES & EROSION CONTROL
C-8	DETAILS-SANITARY
C-9	DETAILS-WATER MAIN & STANDARD NOTES & SPECS.
C-10	DETAILS-ROADWAY AND TRAFFIC
C-11	DETAILS-ROADWAY AND TRAFFIC

LEGEND

EXISTING OR BY OTHERS	PROPOSED
W=631.75	W=631.75
D=630.82	C=630.82
G=630.39	G=630.39
P=631.25	P=631.25
633.75	632.51
639	639
CONCRETE CURB	CONCRETE CURB
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
WATERMAIN	WATERMAIN
CHAIN LINK FENCE	CHAIN LINK FENCE
DITCH FLOWLINE	DITCH FLOWLINE
MANHOLE	MANHOLE
CATCH BASIN	CATCH BASIN
INLET BASIN	INLET BASIN
VALVE VAULT	VALVE VAULT
VALVE BOX	VALVE BOX
LIGHT POLE	LIGHT POLE
WOOD POLE	WOOD POLE
FIRE HYDRANT	FIRE HYDRANT
DIRECTION OF DRAINAGE	DIRECTION OF DRAINAGE
CONCRETE WALK OR PAVEMENT	CONCRETE WALK OR PAVEMENT
SILT FENCE	SILT FENCE
DRY WELL	DRY WELL
OVERLAND FLOW ROUTE	OVERLAND FLOW ROUTE

BENCHMARK:
BENCHMARK #1=892.11(U.S.G.S. DATUM)=ELEVATION OF NORTHWEST CORNER OF TOP OF CONCRETE HEADWALL LOCATED ON THE NORTH SIDE OF ILLINOIS ROUTE 176 APPROXIMATELY 390 FEET EAST OF THE CENTERLINE OF KNAACK BOULEVARD.
BENCHMARK #2=904.00(U.S.G.S. DATUM)=ELEVATION OF RAILROAD SPIKE IN WEST FACE OF UTILITY POLE ON THE EAST SIDE OF KNAACK BOULEVARD APPROXIMATELY 1165 FEET NORTH OF THE CENTERLINE OF ILLINOIS ROUTE 176.

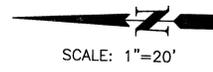
REVISIONS

NO.	DATE	DESCRIPTION

PREPARED BY
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002695
LICENSE EXPIRES 4-30-11
1110 LAKE COOK ROAD
BUFFALO GROVE, ILLINOIS 60089
(847) 520-8410
AUGUST 13, 2010

OPERATES 24 HOURS 365 DAYS
CALL JULIE 1-800-892-0123
WITH THE FOLLOWING:
MCHENRY COUNTY CRYSTAL LAKE
CITY-TOWNSHIP SEC. 33-44-B
48 HOURS BEFORE YOU DIG EXCLUDING SAT., SUN. & HOLIDAYS

THE ENGINEER HAS REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ILLINOIS PROFESSIONAL ENGINEERING ACT AND THE ILLINOIS PROFESSIONAL ENGINEERING BOARD. THE ENGINEER HAS REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ILLINOIS PROFESSIONAL ENGINEERING ACT AND THE ILLINOIS PROFESSIONAL ENGINEERING BOARD. THE ENGINEER HAS REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ILLINOIS PROFESSIONAL ENGINEERING ACT AND THE ILLINOIS PROFESSIONAL ENGINEERING BOARD.

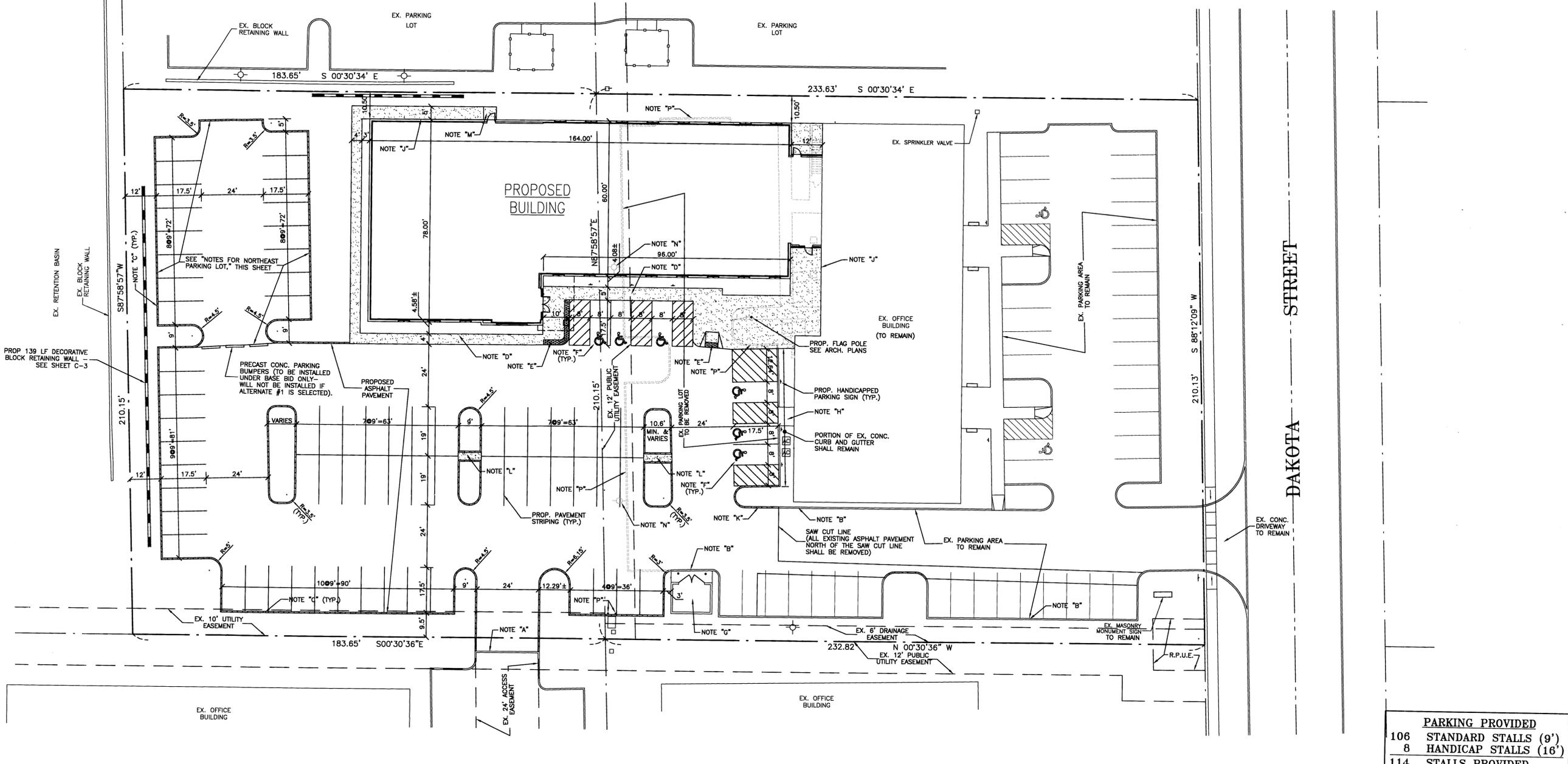


SPECIAL NOTE:
Existing grades and improvements are shown from the best information available and must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.

NOTES FOR NORTHEAST PARKING LOT
1. UNDER THE BASE BID, THE PROPOSED NORTHEAST PARKING LOT WILL BE GRADED TO 4" BELOW FINISH GRADES SHOWN ON SHEET C-3. A 4" THICK TOPSOIL LAYER AND SEEDING SHALL THEN BE INSTALLED, AND GRADED TO DRAIN. UNDER THIS BASE BID SCENARIO, PRECAST CONCRETE PARKING BUMPERS SHALL BE INSTALLED AS SHOWN AT THE FUTURE WEST ENTRANCE TO THIS PARKING AREA.
2. UNDER ALTERNATE #1, CURBING, PAVEMENT AND STRIPING SHALL BE INSTALLED IN THIS AREA AS SHOWN ON THE DRAWINGS. UNDER THIS ALTERNATE #1 SCENARIO, THE PRECAST CONCRETE PARKING BUMPERS WILL NOT BE INSTALLED.

OPERATES 24 HOURS 365 DAYS
CALL JULIE 1-800-892-0123
WITH THE FOLLOWING:
COUNTY: McHENRY
CITY-TOWNSHIP: CRYSTAL LAKE
SEC. & 1/4 SEC. NO.: 33-44-B
48 HOURS BEFORE YOU DIG EXCLUDING SAT., SUN. & HOLIDAYS

SPECIAL DEMOLITION NOTES FOR EXISTING PARKING AREA NORTH OF EXISTING MCHHB BUILDING
1. All utility companies are to be contacted to permit marking their facilities before any work is done on the site.
2. The contractor shall be fully responsible for the demolition of existing on site facilities in the area north of the existing MCHHB building as indicated on these drawings. All foundations, pavements, driveways, walks, fences, signs, and disposed of off-site by the contractor, excepting that which is approved for re-use in the new construction.
3. The contractor is responsible for the removal from the site of all demolished materials, the filling of all depressions caused by demolition, and the grading of these areas so as not to be objectionable to view. The contractor shall observe all required safety precautions in the performance of his work. The contractor shall comply with any recommendations in the Soils Report for the site for the removal of existing facilities.
4. The contractor is to verify that all existing utility service lines specified for removal have been shut off or disconnected at their respective main lines before beginning structure and pavement removal on the site.
5. All existing buildings, foundations, utilities, landscaping and other improvements on adjacent properties (in addition to the existing MCHHB building) shall be protected at all times during demolition and construction work. The contractor is responsible to provide and install any materials, equipment, and/or manpower necessary to accomplish this.
6. The owner shall be provided with copies of all demolition permits and utility information prior to the commencement of the work.
7. Any excavations caused by the removal of existing underground improvements shall be backfilled with compacted structural fill material in accordance with the soils engineer's requirements.
8. The contractor may at his option remove and stockpile existing stone base course material on the site. Stockpiled material approved by the soils engineer may be reused as part of the structural fill material required on the site. The balance of the material shall be removed from the site and legally disposed of by the contractor.
9. The existing sanitary sewer and water services for the site shall remain and be protected as necessary during the course of the demolition and construction work.
10. Any existing wells on the site shall be capped and abandoned in accordance with all IEPA and County Health Department requirements.



PARKING PROVIDED	
106	STANDARD STALLS (9')
8	HANDICAP STALLS (16')
114	STALLS PROVIDED

SPECIAL NOTE
Prior to the commencement of construction, the contractor shall meet with the owner's construction representative to discuss the construction schedule for the project. The existing office building (with the exception of the portion to be remodelled) shall remain in full operation and open to visitors and employees at all times during the course of this project. Work shall be scheduled and performed so as not to interrupt the operation of the office building. The contractor shall provide and maintain barricades, warning devices, flag men, etc. as required to insure safe passage for vehicular and pedestrian traffic to and from the facility. The contractor shall so conduct and stage his work such that there is always an adequate parking area available during construction, except for those areas shown on the plans as being removed and replaced. Saw cutting, removal and replacement of pavement shall be conducted so as to minimize inconvenience to vehicles and pedestrians, and shall allow safe access to entrances at all times. The contractor shall use only rubber tired equipment on and over those areas of existing pavement to remain, and shall remove and replace in kind any sections of existing pavement shown to remain that are damaged by his operations at no additional cost.

- NOTE "A": SAW CUT AND REMOVE EXISTING CONCRETE CURB AND GUTTER ACROSS NEW DRIVEWAY.
- NOTE "B": EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- NOTE "C": PROP. 86.12 CONCRETE CURB AND GUTTER (TYP.)
- NOTE "D": PROPOSED CONCRETE SIDEWALK WITH INTEGRAL CURB.
- NOTE "E": CONSTRUCT NEW HANDICAP RAMP IN ACCORDANCE WITH ALL CITY, STATE AND ADA REQUIREMENTS (TYPICAL). RAMP SHALL HAVE 24" WIDE TRUNCATED DOME DETECTABLE WARNING SURFACE OF BRICK RED COLOR. SEE DETAIL.
- NOTE "F": PROPOSED HANDICAPPED PARKING STALL WITH PAINTED SYMBOL AND POLE SIGN.
- NOTE "G": EXISTING TRASH ENCLOSURE TO REMAIN.
- NOTE "H": EXISTING CONCRETE STOOP TO REMAIN.
- NOTE "I": WHERE CONCRETE WALK OR PAVEMENT IS ADJACENT TO FOUNDATION WALL, INSTALL COMPRESSIBLE FILLER (3/4" MAXIMUM) BETWEEN PAVEMENT AND FOUNDATION WALL. CUT BACK AND PROVIDE SEALANT AT BUILDING WALL.
- NOTE "J": EXISTING CONCRETE CURB AND GUTTER AROUND ISLAND SHALL BE SAW CUT AND REMOVED, AND REPLACED AT A HIGHER ELEVATION TO FACILITATE ACCEPTABLE PAVEMENT SLOPES IN THE PROPOSED HANDICAPPED STALLS.
- NOTE "K": PROVIDE A 3" WIDE, 5" THICK CONCRETE WALK FOR DRAINAGE PURPOSES.
- NOTE "L": PROPOSED CONCRETE LANDING. SEE ARCH. DRAWINGS.
- NOTE "M": EXISTING LIGHT POLE TO BE REMOVED.
- NOTE "N": EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
- NOTE "O": INSTALL PIPE BOLLARDS TO PROTECT UTILITY BOX.

NOTE: ALL TRAFFIC SIGNS ARE TO BE INSTALLED AT 7' MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.
NOTE: SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, PARKING LOT LIGHTING, SIGNAGE AND LANDSCAPING.
NOTE: ALL DIMENSIONS ARE TO THE FACE OF SIDEWALK OR FACE OF CURB UNLESS OTHERWISE NOTED.

PAVEMENT MARKING (STRIPING) FOR PARKING LOTS
A. After paving operations are completed, or when directed by the General Contractor, marking as designated on the drawings may proceed. Marking shall consist of 4" wide lines configured as indicated on drawings, in "Traffic Yellow" color. Traffic paint shall be manufactured by Sherwin Williams, (Pro-Mark traffic marking paint yellow TMS495), or approved equal. Apply in strict conformance with manufacturer's instructions.
B. Paint striping work shall include painting of international handicap symbol at designated parking for handicapped, as indicated on drawings.
C. Protect area against traffic for at least 48 hours after application of striping.

THE ENGINEER HAS CONDUCTED A VISUAL GENERAL VERIFICATION OF THE DATA SUBMITTED TO HIM BY THE CLIENT. HE HAS NOT CONDUCTED A FIELD SURVEY OF THE DATA. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT. HE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA SUBMITTED TO HIM BY THE CLIENT. THE ENGINEER'S DESIGN IS BASED ON THE DATA SUBMITTED TO HIM BY THE CLIENT. HE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA SUBMITTED TO HIM BY THE CLIENT. THE ENGINEER'S DESIGN IS BASED ON THE DATA SUBMITTED TO HIM BY THE CLIENT. HE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA SUBMITTED TO HIM BY THE CLIENT.

CIVIL ENGINEERS SITE PLANNERS LAND SURVEYORS

NORTHWESTERN ENGINEERING CONSULTANTS, P.C.

1110 LAKE COOK ROAD BUFFALO GROVE, ILLINOIS 60089 (847) 620-6410
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 194-002695

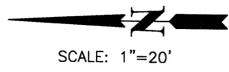
SITE PLAN

MCHENRY COUNTY MENTAL HEALTH BOARD
DAKOTA STREET & TERRA COTTA RD.
CRYSTAL LAKE, ILLINOIS

NO.	DATE	DESCRIPTION

DRAWN BY: KRL
CHECKED BY: DMH
DATE: 8-13-10
SCALE: 1"=20'

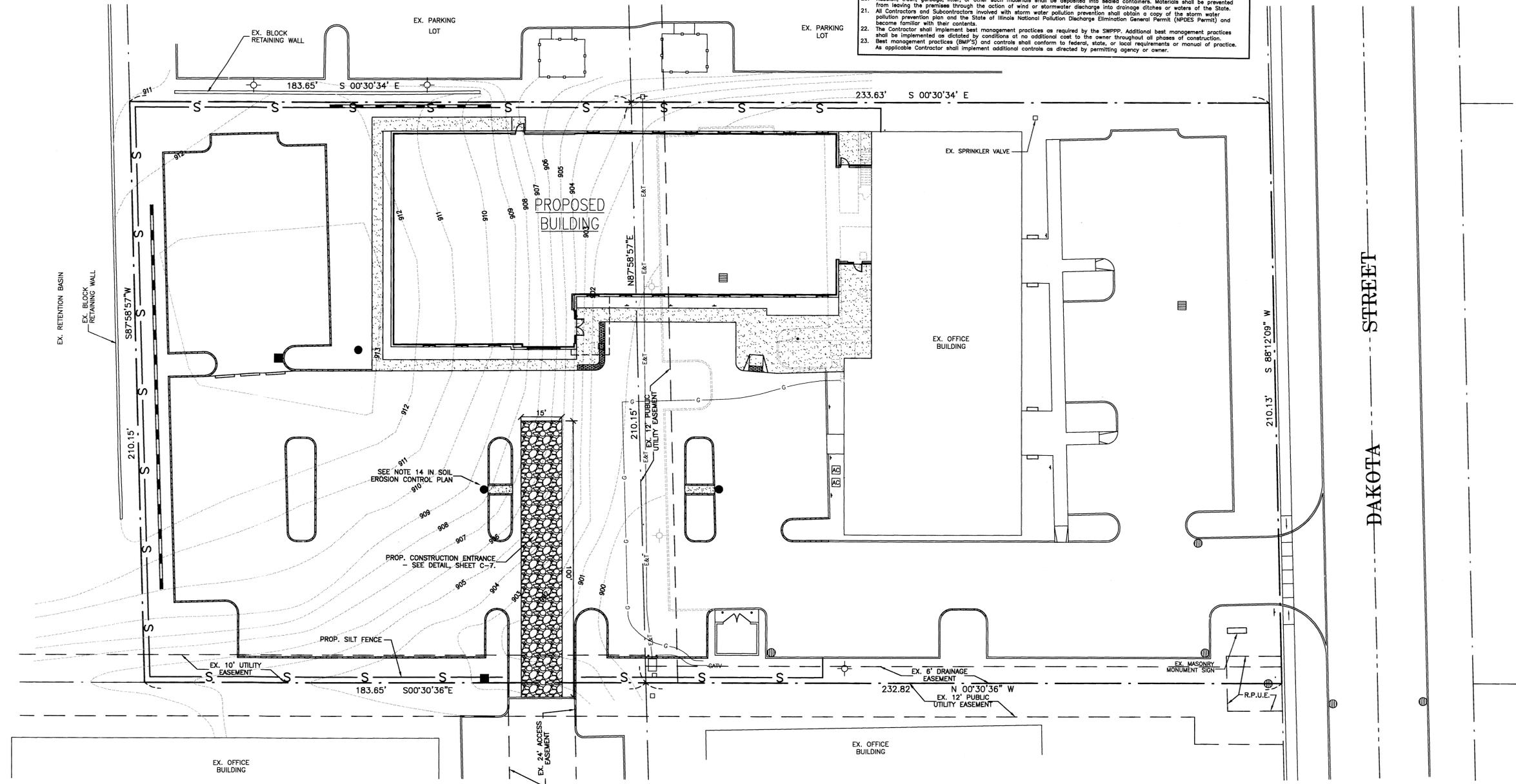
DRAWING NO. C-2
JOB NO. 07-38



SPECIAL NOTE:
Existing grades and improvements are shown from the best information available and must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.

OPERATES 24 HOURS 365 DAYS
CALL JULIE 1-800-892-0123
WITH THE FOLLOWING:
COUNTY MCHENRY
CITY-TOWNSHIP CRYSTAL LAKE
SEC. & 1/4 SEC. NO. 33-44-B
48 HOURS BEFORE YOU DIG EXCLUDING SAT., SUN. & HOLIDAYS

- SOIL EROSION CONTROL PLAN**
- The following Soil Erosion Control Plan has been prepared in compliance with the requirements of the City of Crystal Lake. The work to be done is staking, stockpiling and grading of the project site shown in detail on the contract drawings.
- Hauling will not be allowed when the work site is too wet to maintain acceptable conditions on adjacent streets.
 - Adjacent streets will be manually or mechanically swept periodically as may be required, minimum of end of each working day or as directed by City Inspector. City streets are to be kept free from mud and debris.
 - Soil stockpile areas shall be designated and surrounded by a geotextile fabric silt fence to intercept sediment-laden runoff from the stockpiles. The fence shall be continuously maintained and sediment shall be removed to restore planned capacity as required. Temporary vegetative cover.
 - If the stockpiles will not be used for construction activity for a period of more than 14 days, they shall be protected with construction traffic shall enter and exit the project using a Stabilized Construction Entrance. See detail sheet C-7.
 - Watering shall be used as required by the City to control dust on the construction project. A water truck shall be kept on site at all times during mass earthwork construction, if required by the City.
 - Each catch basin will be installed with a sump as indicated on the drawings. The rim will be set at final grade. A temporary 1 foot deep sump shall be excavated in a 10 foot diameter area around the structure to act as a silt trap. Both sumps will be inspected after each rain and cleaned as required.
 - The contractor shall take whatever other steps are deemed necessary by the City Inspector to prevent erosion from taking place during the course of the construction project.
 - The contractor shall comply with all requirements of this plan and shall include the cost of such compliance in the total price bid for his contract.
 - All temporary and permanent erosion control measures must be maintained and repaired as needed. Erosion control features shall be inspected every 7 days or after 1/2" of rainfall. The general contractor will be responsible for inspection and repair during construction. The owner will be responsible if erosion control is required after the contractor has completed the project.
 - All work shall conform to NRCS Standards as described in the December 2002 edition of the Illinois Urban Manual. The name and telephone number of the individual in charge of erosion control measures shall be given to the Crystal Lake Engineering department prior to the start of construction.
 - Disturbed areas shall be protected with seeding according to the "Typical Soil Protection Chart" on this sheet.
 - Install filter fabric erosion control material under the rim of the new storm structures to prevent eroded material from entering the storm sewer system during the construction project. Filter fabric shall be 7/16" or equal, shall extend a minimum of 12" beyond the rims in all directions, and shall be checked after each rain and replaced if covered with dirt or torn.
 - All erosion control measures shall comply with the standards and requirements noted in the City Ordinance No. 3994 File No. 390.
 - A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
 - Soil Erosion and sediment control features shall be constructed prior to the commencement of upland disturbance.
 - All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be retained and properly treated or disposed of. Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or stormwater discharge into drainage ditches or waters of the State.
 - All Contractors and Subcontractors involved with storm water pollution prevention shall obtain a copy of the storm water pollution prevention plan and the State of Illinois National Pollution Discharge Elimination General Permit (NPDES Permit) and become familiar with their contents.
 - The Contractor shall implement best management practices as required by the SWPPP. Additional best management practices shall be implemented as dictated by conditions of no additional cost to the owner throughout all phases of construction. Best management practices (BMPs) and controls shall conform to federal, state, or local requirements or manual of practice. As applicable Contractor shall implement additional controls as directed by permitting agency or owner.

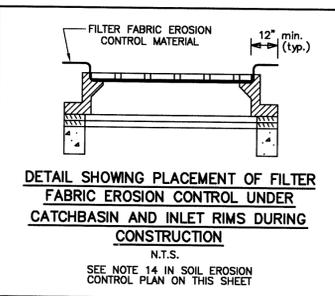


Owner Certification Statement: "I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Owner _____

Contractor Certification Statement: "I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) General Permit ILR-10 that authorizes the storm water discharges associated with activity from the construction site identified as part of this certification."

Contractor _____



TYPICAL SOIL PROTECTION CHART

Stabilization Type:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding	A					XXX	XXX	X				
Dormant Seeding	B											
Temporary Seeding	C				XXX	XXX	X					
Sodding	E	XXX										
Mulching												

A= Kentucky Bluegrass @ 90 lbs/ac. Mixed with Perennial Ryegrass @ 30 lbs/ac.
 B= Kentucky Bluegrass @ 135 lbs/ac. Mixed with Perennial Ryegrass @ 45 lbs/ac.
 C= Spring Oats @ 100lb/ac.
 D= Wheat or Cereal Rye @ 150 lbs/ac.
 E= Sod
 F= Straw Mulch @ 2 tons/ac.
 XXX= Irrigation needed
 Irrigation should be provided as necessary to thoroughly establish grass.

THE RECIPIER OF ELECTRONIC DATA TRANSMISSIONS SHALL BE THE ENGINEER, ARCHITECT, AND/OR CONSULTANT AS INDICATED IN THE ATTACHED LIST OF ADDRESSES. THE RECIPIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE SECURITY OF THE INFORMATION. THE RECIPIER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO ANY OTHER PARTY. THE RECIPIER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO ANY OTHER PARTY. THE RECIPIER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO ANY OTHER PARTY.

STORM WATER POLLUTION PREVENTION PLAN
MCHENRY COUNTY MENTAL HEALTH BOARD
DAKOTA STREET & TERRA COTTA RD.
CRYSTAL LAKE, ILLINOIS

CIVIL ENGINEERS SITE PLANNERS LAND SURVEYORS
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD BUFFALO GROVE, ILLINOIS 60089 (647) 520-8410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 164-005685

NO.	DATE	DESCRIPTION

DRAWN BY: KRL
CHECKED BY: DMH
DATE: 8-13-10
SCALE: 1"=20'

DRAWING NO.
C-5

JOB NO.
07-38

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CASTING SCHEDULE

LOCATION	EJW	NEENAH
B or M 8.12 C&G	7235 M2	R3202-A
DEPRESSED CURB	7210 M3	R2811
PAVED	1000	R-1713
NON-PAVED	1000	R-2525

ALTERNATE MATERIALS FOR WALLS

	T
PRE-CAST REINFORCED CONCRETE SECTIONS	3'

DRAINAGE STRUCTURES: INLET, TYPE A

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-01a Date: 4/15/2007 Drawn: EM Checked: LZ

NOTES

- ALL CATCH BASINS SHALL BE 4'-0" IN DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
- IN ADDITION TO THE REQUIREMENTS OF ART. 602.15 OF THE STANDARD SPECIFICATIONS THE CONTRACTOR SHALL FURNISH AND COMPACT THE SPECIFIED BACKFILL MATERIAL.
- DIMENSION 12" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS OR MINUS INCHES.

CASTING SCHEDULE

LOCATION	EJW	NEENAH
B or M 8.12 C&G	7235 M2	R3202-A
DEPRESSED CURB	7210 M3	R2811
PAVED	1000	R-1713
NON-PAVED	1000	R-2525

ALTERNATE MATERIALS FOR WALLS

	D	C	T
PRE-CAST REINFORCED CONCRETE SECTIONS	2'-0"	2'-0"	3'
CONCRETE MASONRY UNITS	2'-0"	2'-0"	3'
CAST-IN-PLACE CONCRETE	2'-0"	2'-0"	3'

CATCH BASIN, TYPE A

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-01b Date: 4/15/2007 Drawn: EM Checked: LZ

CASTING SCHEDULE

LOCATION	EJW	NEENAH
B or M 8.12 C&G	7235 M2	R3202-A
DEPRESSED CURB	7210 M3	R2811
PAVED	1000	R-1713
NON-PAVED	1000	R-2525

ALTERNATE MATERIALS FOR WALLS

	T
PRE-CAST REINFORCED CONCRETE SECTIONS	2'
CONCRETE MASONRY UNITS	2'
CAST-IN-PLACE CONCRETE	2'
BRICK MASONRY	2'

CATCH BASIN, TYPE C

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-01c Date: 4/15/2007 Drawn: EM Checked: LZ

CASTING SCHEDULE

LOCATION	EJW	NEENAH
B or M 8.12 C&G	7235 M2	R3202-A
DEPRESSED CURB	7210 M3	R2811
PAVED	1000	R-1713
NON-PAVED	1000	R-2525

ALTERNATE MATERIALS FOR WALLS

	T
PRE-CAST REINFORCED CONCRETE SECTIONS	2'
CONCRETE MASONRY UNITS	2'
CAST-IN-PLACE CONCRETE	2'
BRICK MASONRY	2'

STORM MANHOLE TYPE A

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-01d Date: 4/15/2007 Drawn: EM Checked: LZ

CASTING SCHEDULE

LOCATION	EJW	NEENAH
B or M 8.12 C&G	7235 M2	R3202-A
DEPRESSED CURB	7210 M3	R2811
PAVED	1000	R-1713
NON-PAVED	1000	R-2525

ALTERNATE MATERIALS FOR WALLS

	T
PRE-CAST REINFORCED CONCRETE SECTIONS	3'

4-FOOT INLET WITH CONCRETE FLAT TOP

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-01e Date: 4/15/2007 Drawn: EM Checked: LZ

CITY REQUIREMENTS

- BARRIER CURB USE NEENAH R-3202-A, EJW 7235 / TYPE M2 GRATE, OR APPROVED EQUAL.
- MANHOLE CURB OR DRIVEWAYS USE NEENAH R-3202-A, EJW 7235 / TYPE M2 GRATE, OR APPROVED EQUAL.
- CONCRETE MUST BE POLISHED TO A MINIMUM OF #4 AROUND THE CIRCUMFERENCE OF THE FRAME AND AT LEAST #4 BELOW THE FRAME TO ENSURE THERE WILL BE NO INFILTRATION BETWEEN THE FRAME AND STRUCTURE.

CURB INLET FRAME AND GRATE

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-02a Date: 11/20/2007 Drawn: EM Checked: TH

NOTES

- PRE-CAST FLAT TOPS SHALL CONFORM TO SECTION 804 OF THE STANDARD SPECIFICATIONS.
- REINFORCEMENT BARS OR WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ARTICLE 1002.10 OF THE STANDARD SPECIFICATIONS.
- JOINT CONFIGURATION AND DIMENSIONS SHALL MATCH AND FIT THE RISER JOINT DETAIL.
- LIFTING DEVICES OTHER THAN THAT SHOWN MAY BE USED SUBJECT TO APPROVAL BY THE ENGINEER.
- THE FLAT SLAB TOP MAY BE USED IN LIEU OF THE TAPERED TOPS SHOWN ON STANDARD 154, 155, 157, OR 168, AT THE OPTION OF THE CONTRACTOR OR WHEN FIELD CONDITIONS PROHIBIT THE USE OF TAPERED TOPS.
- THE COST OF FURNISHING AND INSTALLING THE FLAT SLAB TOP SHALL BE INCLUDED IN THE UNIT PRICE FOR CATCH BASIN OR MANHOLE.

ECCENTRIC FLAT TOPS FOR CURB INLET STORM MANHOLES

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-02b Date: 4/15/2007 Drawn: EM Checked: LZ

NOTES

- SEE STANDARD DETAILS FOR MANHOLE OR CATCH BASIN.
- STEPS SHALL NOT BE PLACED OVER ANY SEWER PIPE.

RESTRICTOR

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-02c Date: 4/15/2007 Drawn: EM Checked: LZ

NOTES

- CONCRETE FLARED END SECTIONS SHOULD BE CONSIDERED FOR USE WITH CONCRETE PIPE COLLECTORS HAVING SKEWS NO GREATER THAN 15 DEGREES.
- PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 170 CLASS III, WALL 9 REINFORCED CONCRETE PIPE.
- PRECAST CONCRETE FLARED END SECTION FOR PIPE DIAMETER REQUIRED SHALL BE AS INDICATED ON DETAIL PLAN FOR EACH INDIVIDUAL INSTALLATION.
- THE END BLOCK SHALL BE PLACED PRIOR TO THE INSTALLATION OF THE FLARED END SECTION. THE END BLOCK SHALL BE BACKFILLED IN ACCORDANCE WITH ART. 602.10 OF THE STANDARD SPECIFICATIONS. THIS COST SHALL BE INCIDENTAL TO EACH END SECTION.
- PIPE RAMP SHALL CONFORM TO SECTION 811 OF THE STANDARD SPECIFICATIONS EXCEPT ONLY 4" IF STEPS WILL BE ALLOWED. INSTALL FABRIC UNDER.
- STANDARD 1001 GALVANIZED GRATE REQUIRED FOR 18" DIAMETER AND LARGER.

FLARED END SECTION (PRECAST CONCRETE PIPE)

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-02d Date: 4/15/2007 Drawn: EM Checked: LZ

NOTES

- ADDITIONAL REQUIREMENTS FROM THE CITY'S STORMWATER MANAGEMENT ORDINANCE MAY APPLY.
- LOCAL SOIL CONDITIONS MAY NECESSITATE DEEPER EXCAVATION TO PENETRATE GRANULAR SUBSOIL.
- ALL DRYWELLS SHALL BE PRECEDED BY A CATCH BASIN.
- THE CATCH BASIN RIM SHALL BE RAISED 3" TO 12" ABOVE THE SURROUNDING GRADE.

DRYWELL

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-03 Date: 4/15/2007 Drawn: EM Checked: LZ

NOTES

- A POINT WILL BE REQUIRED FOR ANY CONNECTION INTO A CITY UTILITY A SCALED DRAWING IS REQUIRED.
- DRAIN LINE IS PRIVATE AND OWNER IS RESPONSIBLE FOR ALL MAINTENANCE AND REPAIR TO LINE.
- RESTORATION OF THE PAROVY (WHEN APPLICABLE) WILL REQUIRE USE OF A TOP SOIL, SOIL AND WATERING TO ENSURE GROWTH.
- CONNECTION TO STORM SEWER PIPE SHALL BE CORDED CONNECTION MUST BE INSPECTED PRIOR TO BEING BACKFILLED.
- "JALIE" LOCATES ARE REQUIRED PRIOR TO ANY EXCAVATIONS.
- WHEN CONNECTING TO A PVC STORM SEWER, THE USE OF A SADDLE IS MANDATORY.
- ALL EXCAVATIONS MUST BE BARRICADED SECURELY.
- USE CITY STANDARD LOGS FOR TRENCH CROSS SECTION WHEN INSTALLING UNDER OR WITHIN 2' OF PAVED SURFACE.
- IF WORK IS TO BE SUBCONTRACTED CONTRACTOR MUST HAVE \$100,000 LICENSE AND PERMIT BOND ON FILE WITH THE BUILDING DIVISION.

SUMP PUMP CONNECTION TO STORM SEWER

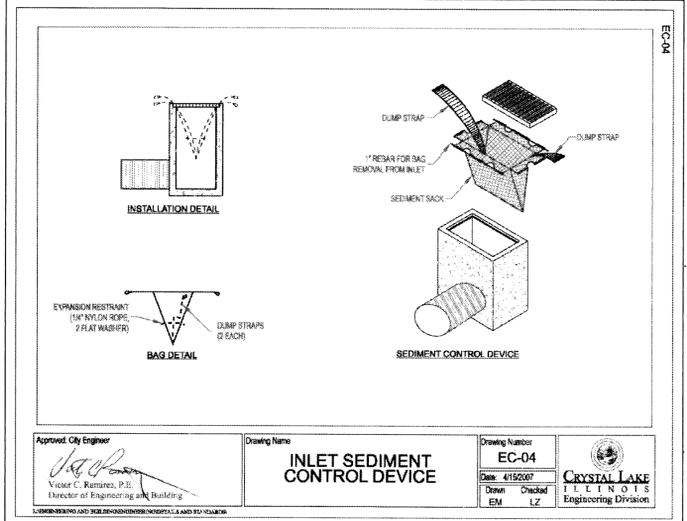
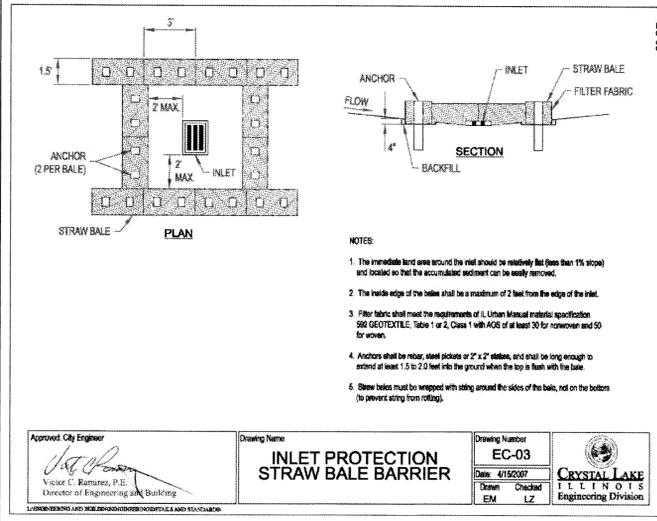
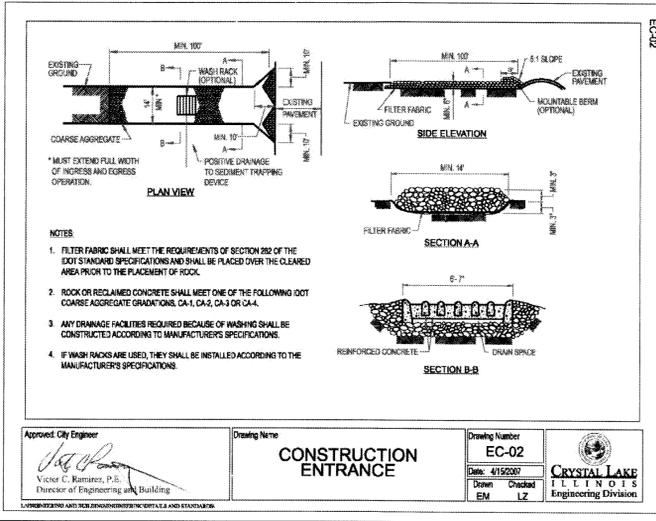
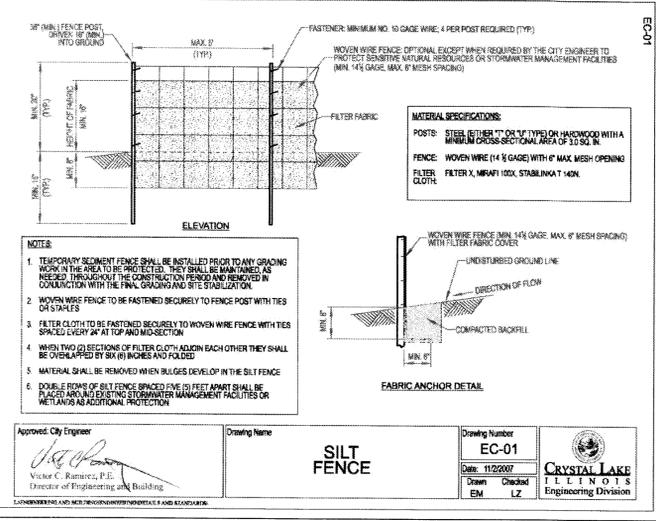
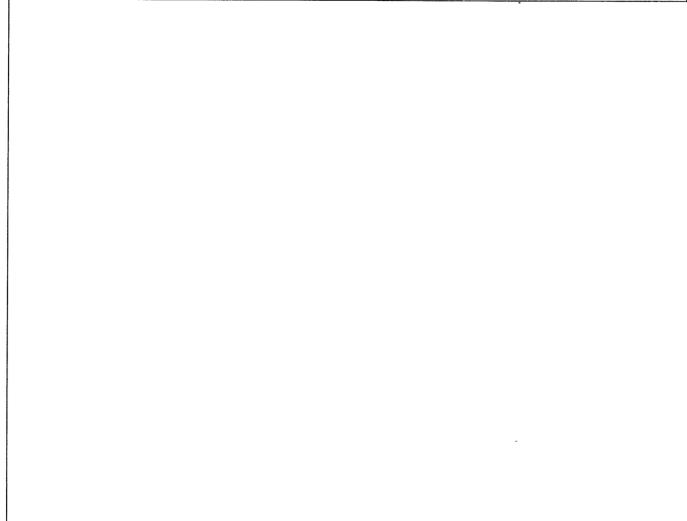
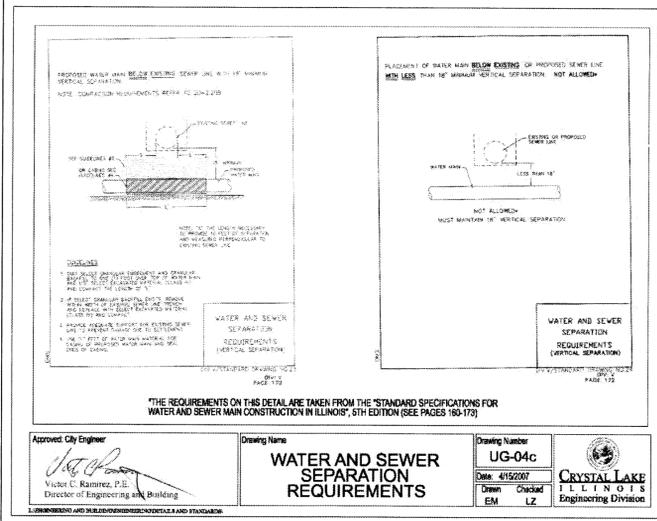
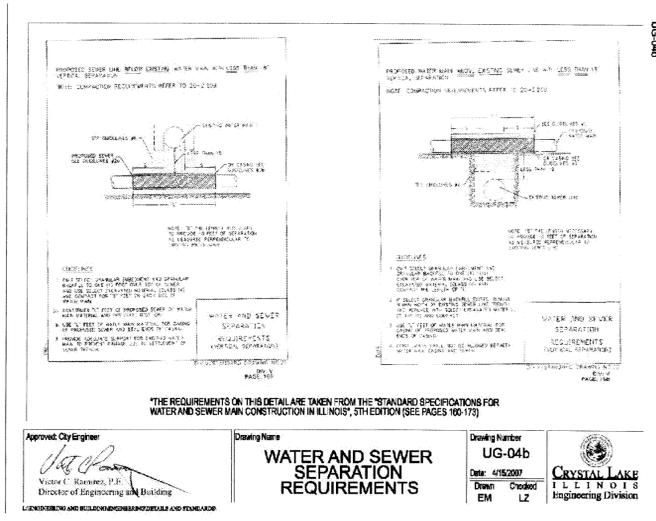
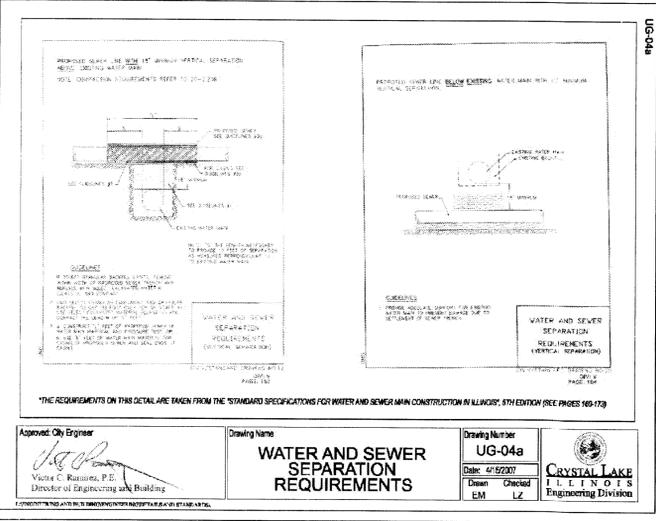
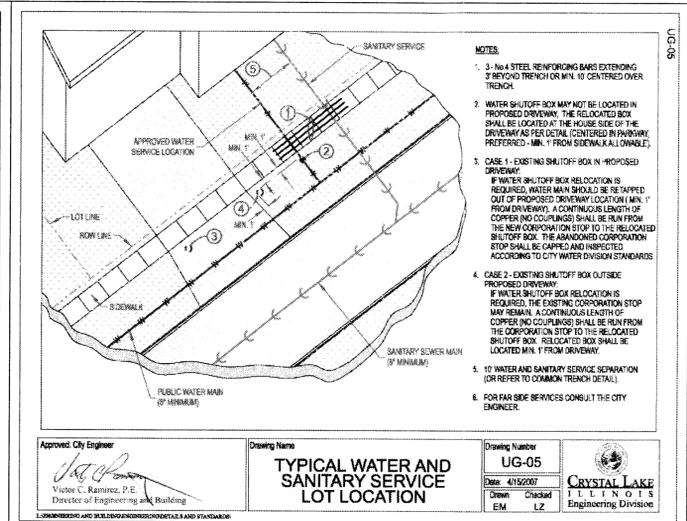
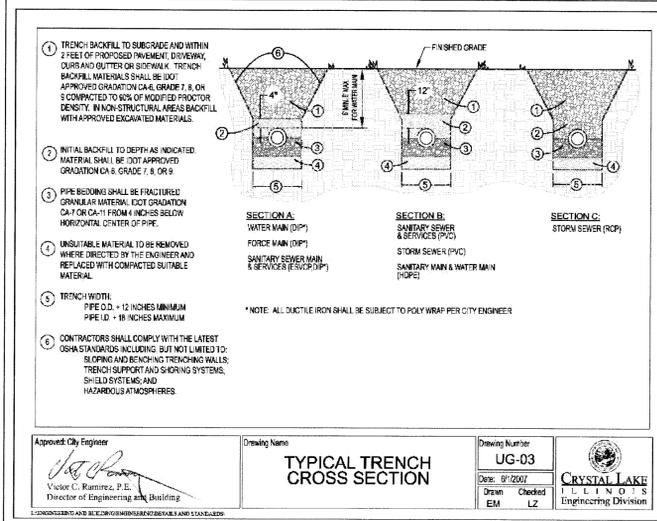
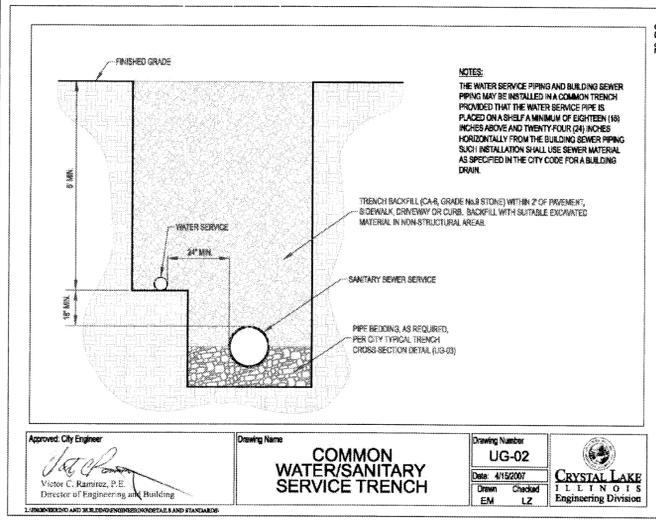
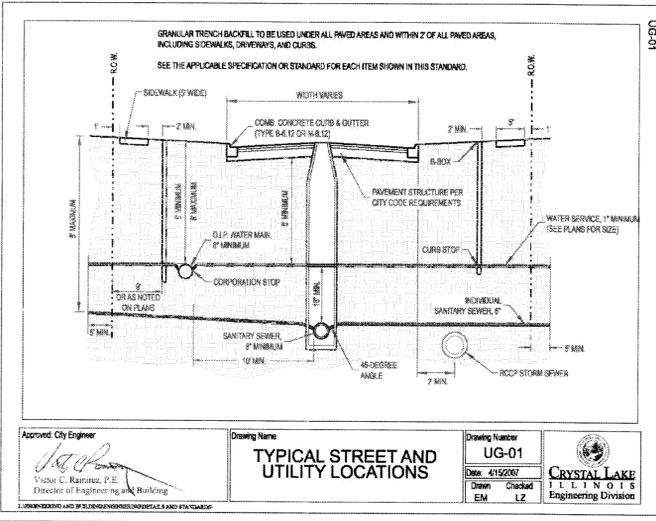
Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-04 Date: 4/15/2007 Drawn: EM Checked: LZ

NOTES

- City Engineer may permit a shallow trench 24"-36" deep, depending on soil conditions.
- Course aggregate shall consist of 1" to 3" washed stone or 1/2" crushed CA-1.
- See plans for L dimension.
- Do not compact soil placed above the course aggregate.
- Perforated pipe might be certified with City Engineer approval for projects with a small drainage area.

INFILTRATION TRENCH

Approved City Engineer: Victor C. Ramirez, P.E. Drawing Number: UD-05 Date: 4/15/2007 Drawn: EM Checked: MS



CIVIL ENGINEERS SITE PLANNERS LAND SURVEYORS
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD BUFFALO GROVE, ILLINOIS 60089 (847) 620-8410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 164-002695

DETAILS-GENERAL UTILITIES & EROSION CONTROL
 EXPANSION PROJECT
 620 DAKOTA STREET
 CRYSTAL LAKE, ILLINOIS

NO.	DATE	DESCRIPTION

DRAWN BY: KRL
 CHECKED BY: DMH
 DATE: 8-13-10
 SCALE: N.T.S.

DRAWING NO.
C-7

JOB NO.
07-38

WATER SERVICE INSTALLATION

NOTES:

- NO COPPERATION STOPS OR CURB BOXES MAY BE LOCATED UNDER PAVED AREAS INCLUDING DRIVEWAYS AND SIDEWALKS.
- ALL WATER MAIN HARDWARE SHALL BE MUELLER, A.Y. McDONALD, OR FORD.
- SERVICE TO BE CONTINUOUS IN-TU-OUT CONNECTION FROM COPPERATION STOP TO CURB STOP.
- MULTIPLE TAPS IN TO MAIN SHALL BE NO CLOSER THAN 2 FEET.
- 1/2" NIPPLE FROM MAIN TO BACK OF SIDEWALK TO BE COMPACTED "TRENCH BACKFILL".
- NO FLARE FITTINGS WILL BE ACCEPTED.
- ALL CURB BOX ADJUSTMENTS TO BE MADE WITH GALVANIZED PIPE AND COUPLINGS (CONCRETE ON).
- COPPER TO BE REMOVED FROM MAINS AND PERMANENTLY LABELED BY WRITING IN BLUE INK NUMBERS 1-10 ON THE BACK OF THE COPPER.
- BRICKS (TWO ON EACH SIDE) FOR ALL MULTI-UNIT BUILDINGS MUST BE CLEARLY AND PERMANENTLY LABELED BY WRITING IN BLUE INK NUMBERS 1-10 ON THE BACK OF THE BRICK.

COMP. SIZE	1" DIA.	1 1/2" DIA.	2" DIA.	3" DIA.	4" DIA.	6" DIA.	8" DIA.	10" DIA.	12" DIA.
BR 3 S 1044 CC	2020S-1044-CC								
BR 3 S 1104 CC	2020S-1104-CC								
BR 3 S 1214 CC	2020S-1214-CC								

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-04 **DATE:** 4/15/2007

THRUST BLOCK INSTALLATION

BEARING AREA (SQ. FT.)

PIPE SIZE	18" DIA.	24" DIA.	30" DIA.	36" DIA.	42" DIA.	48" DIA.	54" DIA.	60" DIA.	72" DIA.
2	2	1	1	1	1	1	1	1	1
6	6	4	3	1	1	1	1	1	1
10	7	5	3	2	1	1	1	1	1
12	8	6	4	3	2	1	1	1	1
14	12	9	6	4	3	2	1	1	1
16	15	12	7	5	3	2	1	1	1
18	18	16	9	6	4	3	2	1	1
24	40	30	18	10	5	3	2	1	1

NOTES:

- ALL BLOCKS SHALL BE POURED CLASS B CONCRETE AGAINST UNDISTURBED EARTH.
- ALL BLOCKS OR BLOCKS GREATER THAN 11" H" SHALL HAVE THRUST BLOCKS. FORMS TO NOT COVER BLOCKS.
- IN LIEU OF THRUST BLOCKING "SUGA LUG" (SUGA LUG RESTRAINTS OR APPROVED EQUAL) CAN BE USED APPROVED BY THE ENGINEER.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-03 **DATE:** 4/15/2007

WATER MAIN PRESSURE CONNECTION

NOTES:

- FRAME AND RINGS TO BE SET IN MORTAR BED OR SEALED WITH A PREPARED BITUMEN SEAL, (E.G. STICK OR APPROVED EQUAL)
- CAST IRON MANHOLE FRAME AND COVER SIMILAR TO NIPPLE IN 1" DIA. OR EQUAL WITH STANDARD DUTY NON-ROCKING TYPE LIDS WITH CITY OF CRYSTAL LAKE WATER "CAST INTO LID". NIPPLE IN 1" DIA. OR EQUAL MAY BE USED IN GRASSY AREAS.
- ALL VALVE HARDWARE MUST BE STAINLESS STEEL, INCLUDING NUTS, BOLTS, AND WASHERS.
- MUELLER T-288-16 OR AMERICAN FLOW CONTROL SERIES 2500-1 TAPPING VALVE.
- STAINLESS STEEL BMT-BLANK "88", CARCADE "YST-C", "ROMAC INDUSTRIES" "SST", OR FORD "F38" TAPPING SLEEVE.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-02 **DATE:** 6/1/2007

STANDARD VALVE VAULT

NOTES:

- CONCRETE CONES REQUIRED.
- 1" (PREFERRED, 3/4" MIN.) MUELLER, A.Y. McDONALD, OR FORD COPPERATION STOP EACH SIDE OF VALVE MUST BE A STANDARD FITTING.
- MUELLER T-288-16 OR AMERICAN FLOW CONTROL SERIES 2500-1 RESILIENT SEAT GATE VALVE.
- PRECAST CONCRETE MANHOLE SECTIONS WITH A MINIMUM THICKNESS OF 5".
- WATER TIGHT JOINT.
- GASKET-TYPE WATERSTOP COLLAR FOR ALL WATER MAIN CONNECTIONS.
- CAST IRON MANHOLE FRAME & COVER SIMILAR TO NIPPLE IN 1" DIA. OR EQUAL WITH STANDARD DUTY NON-ROCKING TYPE LIDS WITH CITY OF CRYSTAL LAKE WATER "CAST INTO LID". NIPPLE IN 1" DIA. OR EQUAL MAY BE USED IN GRASSY AREAS.
- ADJUSTING RING HEIGHT NOT TO EXCEED 1" WITH A MAXIMUM OF THREE (3) ADJUSTMENT RINGS.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-01 **DATE:** 4/15/2007

WATER MAIN TEST REPORT

PROJECT NAME:	PRESSURE TEST		CALCULATION FOR ACTUAL WATER VOLUME LOSS	
	2-HOUR	24-HOUR	2-HOUR	24-HOUR
CONTRACTOR:			SURFACE AREA (SQ. FEET)	
WATER MAIN:			MAXIMUM ALLOWABLE DROP IN WATER LEVEL (FEET)	
LINE PRESSURED DATE:			ACTUAL DROP IN WATER LEVEL (FEET)	
LINE TESTED DATE:			GALLONS	
			24-HOUR METER READING	
			TOTAL ALLOWABLE LEAKAGE (GALLONS)	
			ACTUAL LEAKAGE (GALLONS)	
			PER ORAL	

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-09 **DATE:** 4/15/2007

CHLORINATION SPECIFICATIONS

CITY OF CRYSTAL LAKE WATER MAIN CHLORINATION SPECIFICATIONS

- DISINFECTANT - OF WATER MAINS SHALL BE DONE IN ACCORDANCE WITH THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION, CURRENT EDITION.
- THE CITY ENGINEERING DIVISION AND WATER DIVISION SHALL BE NOTICED 48 HOURS IN ADVANCE FOR SCHEDULING OF ANY TESTING CHLORINATION, FLUSHING, OR SAMPLING.
- ONLY CITY OF WATER DIVISION PERSONNEL MAY OPERATE WATER VALVES ON LIVE MAINS.
- A WATER VALVE JUMPER IS REQUIRED TO MAINTAIN PRESSURE ON THE CHLORINATED LINES DURING THE SAMPLING PROCEDURE FOR PROPER INSTALLATION AND RECORDS SEE THE "WATER MAIN VALVE JUMPER" DETAIL.
- WATER MAINS SHALL BE FLUSHED WITH A MINIMUM VELOCITY OF 5 FPS.
- INITIAL CHLORINE CONCENTRATION SHALL BE 50 mg/L WITH A MINIMUM 24 HOUR RESIDUAL OF 2.0 mg/L.
- THE METHOD OF CHLORINE APPLICATION SHALL BE APPROVED BY THE CITY ENGINEER. CHLORINE BEARING EQUIPMENT SHALL BE BACKFLOW PREVENTER. TABLE DISENFECTATION.
- ALL NEW VALVES AND HYDRANTS SHALL BE OPERATED WHILE LINE IS BEING CHLORINATED.
- THE CITY ENGINEERING DIVISION SHALL DETERMINE LOCATION AND QUANTITY OF COPPERATION STOP FOR FLUSHING AND CHLORINATING.
- A 4" TAP TO FACE PAVEMENT OR AS DIRECTED BY CITY ENGINEER.
- THE FINAL FLUSHING RESIDUAL IN THE NEW CHLORINATED LINES SHALL BE BETWEEN 2 AND 20 mg/L.
- ALL WATER SAMPLES SHALL BE COLLECTED ON TWO (2) CONSECUTIVE DAYS AND PASS BACTERIOLOGICAL TEST RESULTS. IN THE EVENT THAT THE FIRST SET OF SAMPLES TAKEN TWO (2) CONSECUTIVE DAYS FAIL TO PASS ANALYSIS SET OF SAMPLES MAY BE TAKEN TWO (2) DAYS LATER (PER STATE SPEC'S). IF THE SECOND SET FAILS TO PASS TESTING, THEN THE REFRESHED AND RESAMPLED.
- STATE CERTIFIED LAB MUST BE USED FOR SAMPLES.

PIPE SIZE IN INCHES	UP TO 12	18	24	30	36	42	48
1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4
6	6	6	6	6	6	6	6
8	8	8	8	8	8	8	8
10	10	10	10	10	10	10	10
12	12	12	12	12	12	12	12

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-08 **DATE:** 4/15/2007

FIRE HYDRANT

NOTES:

- MUELLER CENTURION FIRE HYDRANT, OPTION B 1/2" BARREL WITH MUELLER VALVE HARDWARE AND AUXILIARY WATER GATE VALVE NO. 288-2500 MODIFIED WEDGE RESILIENT SEAT.
- WATERIOUS WB-67-250 HYDRANT IS 1/2" BARREL WITH SERIES 2500-1 RESILIENT WEDGE GATE VALVE.
- PROVIDE CLASS B CONCRETE BASE AND BLOCKING AGAINST UNDISTURBED EARTH.
- DRAN SLUMP TO BE 3/4" CURB OR 3/4" WASHED STONE.
- CONCRETE SUPPORT.
- CONCRETE BLOCK OR BRICK SUPPORT.
- PIPES REQUIRED TO MAINTAIN 5" SEPARATION AS SHOWN (DIRECT MECHANICAL JOINT CONNECTION APPROVED BY CITY).
- RUBBER VALVE BOX STABILIZER.
- USE "CONTENT" STEEL THE ROOFS BETWEEN AUXILIARY VALVE AND WATER MAIN STAINLESS STEEL, MAY BE REQUIRED BY THE CITY ENGINEER. ANY DISTANCE GREATER THAN 30" SHALL BE ROOFGED TO METALLIC FLANGE. NO COUPLINGS ARE PERMITTED IN ROOFS.
- CONCRETE BLOCKING CAST IN PLACE 800 P.S.I.
- 4" TAP TO FACE PAVEMENT OR AS DIRECTED BY CITY ENGINEER.
- ALL NEWLY INSTALLED HYDRANTS MUST BE TOP COATED WITH RUST-OLEUM FIRE HYDRANT ENAMEL, COLOR = FIRE HYDRANT RED.
- MIN. 4" BETWEEN HYDRANT AND ANY VERTICAL OBSTRUCTIONS.
- MIN. 1/2" BETWEEN HYDRANT AND ANY LANDSCAPING WITH A MATURE HEIGHT GREATER THAN 12".
- ALL VALVE AND HYDRANT HARDWARE MUST BE STAINLESS STEEL INCLUDING NUTS, BOLTS, AND WASHERS.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-06 **DATE:** 11/2/2007

WATER VALVE JUMPER

NOTES:

- 1" (MIN.) WATER METER (SHALL BE READABLE FROM GROUND LEVEL).
- 1" (MIN.) 90 DEGREE ELBOW.
- 1" (MIN.) COPPER TYP.
- 1" (MIN.) VALVE.
- COPPERATION STOP (1" PREFERRED, 3/4" MIN. TYP).
- NEW WATER MAIN CONSTRUCTION.
- PUBLIC WATER SUPPLY.
- GATE VALVE.

NOTE: VALVE JUMPER MUST BE ABOVE MANHOLE LID.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** UW-05 **DATE:** 4/15/2007

STANDARD NOTES AND SPECIFICATIONS

GENERAL NOTES:

- The Contractor shall be responsible for obtaining all permits for construction along or across existing streets or highways. The Contractor shall make arrangements for the proper loading, unloading and other protection of all existing structures and utilities.
- The contractor shall be responsible for the cost of overhead inspection beyond the normal eight (8) hour day, including weekends and holidays.

STANDARD NOTES AND SPECIFICATIONS:

1. The contractor shall provide and maintain handrails, handholds, traffic control signs, and other safety measures during the course of work to protect the public from the construction operation.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** GE-02a **DATE:** 8/12/2007

STANDARD NOTES AND SPECIFICATIONS

GENERAL NOTES:

- The contractor shall be responsible for obtaining all permits for construction along or across existing streets or highways. The Contractor shall make arrangements for the proper loading, unloading and other protection of all existing structures and utilities.
- The contractor shall be responsible for the cost of overhead inspection beyond the normal eight (8) hour day, including weekends and holidays.

STANDARD NOTES AND SPECIFICATIONS:

1. The contractor shall provide and maintain handrails, handholds, traffic control signs, and other safety measures during the course of work to protect the public from the construction operation.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** GE-02b **DATE:** 8/12/2007

STANDARD NOTES AND SPECIFICATIONS

GENERAL NOTES:

- The contractor shall be responsible for obtaining all permits for construction along or across existing streets or highways. The Contractor shall make arrangements for the proper loading, unloading and other protection of all existing structures and utilities.
- The contractor shall be responsible for the cost of overhead inspection beyond the normal eight (8) hour day, including weekends and holidays.

STANDARD NOTES AND SPECIFICATIONS:

1. The contractor shall provide and maintain handrails, handholds, traffic control signs, and other safety measures during the course of work to protect the public from the construction operation.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** GE-02c **DATE:** 8/12/2007

STANDARD NOTES AND SPECIFICATIONS

GENERAL NOTES:

- The contractor shall be responsible for obtaining all permits for construction along or across existing streets or highways. The Contractor shall make arrangements for the proper loading, unloading and other protection of all existing structures and utilities.
- The contractor shall be responsible for the cost of overhead inspection beyond the normal eight (8) hour day, including weekends and holidays.

STANDARD NOTES AND SPECIFICATIONS:

1. The contractor shall provide and maintain handrails, handholds, traffic control signs, and other safety measures during the course of work to protect the public from the construction operation.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.
1. All work shall be done in accordance with the City of Crystal Lake Standard Specifications for Water and Sewer Main Construction.

APPROVED: City Engineer Victor C. Ramirez, P.E. **DRAWING NUMBER:** GE-02d **DATE:** 8/12/2007

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER LOADING, UNLOADING AND OTHER PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF OVERHEAD INSPECTION BEYOND THE NORMAL EIGHT (8) HOUR DAY, INCLUDING WEEKENDS AND HOLIDAYS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN HANDRAILS, HANDHOLDS, TRAFFIC CONTROL SIGNS, AND OTHER SAFETY MEASURES DURING THE COURSE OF WORK TO PROTECT THE PUBLIC FROM THE CONSTRUCTION OPERATION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CRYSTAL LAKE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CRYSTAL LAKE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CRYSTAL LAKE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION.

DRIVEWAY APPROACH
NON-RESIDENTIAL

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-01a
Date: 4/15/2007
Drawn: EM
Checked: LZ

DRIVEWAY APPROACH
RESIDENTIAL

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-01b
Date: 4/15/2007
Drawn: EM
Checked: LZ

TYPICAL RESIDENTIAL CUL-DE-SAC

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-02
Date: 4/15/2007
Drawn: EM
Checked: SC

PUBLIC SIDEWALK RAMP DETAIL
(MODIFIED IDOT 424001-04)

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-03a
Date: 4/15/2007
Drawn: EM
Checked: MS

SIDEWALK RAMPS
DETECTABLE WARNINGS
(MODIFIED IDOT 424001-04)

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-03b
Date: 4/15/2007
Drawn: EM
Checked: MS

DEPRESSED CURB
ENTRANCE BY SAWING

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-04a
Date: 4/15/2007
Drawn: EM
Checked: LZ

DEPRESSED CURB
DETAIL

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-04b
Date: 4/15/2007
Drawn: EM
Checked: MS

CURB
CONCRETE CURB AND GUTTER

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: RD-05a
Date: 4/15/2007
Drawn: EM
Checked: MS

STREET NAME SIGNS

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: TR-01
Date: 4/15/2008
Drawn: EM
Checked: TR

SIGN POST AND BRACKET

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: TR-02
Date: 4/15/2008
Drawn: EM
Checked: TR

TRAFFIC CONTROL SIGN AND POST

Approved City Engineer: Victor C. Ramirez, P.E.
Drawing Number: TR-03
Date: 4/15/2008
Drawn: EM
Checked: TR

REVISIONS	NO.	DATE	DESCRIPTION

DRAWN BY: KRL
CHECKED BY: DMH
DATE: 8-13-10
SCALE: N.T.S.

DRAWING NO. C-10
JOB NO. 07-38

DEPRESSED CURB

BARRIER CURB

NOTES:

- CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE INSTALLED IN THE CURB OR CURB AND CUTTER PROFILES ON WITH JOINTS IN ADJACENT P.C.C. PAVEMENT OR BASE COURSE.
- WHEN CURB AND CUTTER IS CONSTRUCTED ADJACENT TO FLEXIBLE PAVEMENT, A 1" THICK PREPARED EXPANSION JOINT FILLER CONFORMING TO THE CROSS SECTION OF THE CURB AND CUTTER, SHALL BE INSTALLED AT POINTS OF CURVATURE FOR SHORT-RADIUS CURBS AND CONSTRUCTION JOINTS SHALL BE PLACED BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20 FEET.
- ALL EXPANSION JOINTS SHALL BE INSTALLED WITH A 1/2" DIAMETER 1/4" COATED SMOOTH ZONE BAR CONFORMING TO THE 715 Hb OF THE DOT STANDARD SPECIFICATIONS. THE ZONE BAR SHALL BE FITTED WITH A CAP HAVING A RIBBED STOP THAT WILL PROVIDE 1" OF EXPANSION.
- ALL CONSTRUCTION JOINTS SHALL BE PROVIDED WITH 1/2" DIAMETER BAR CONFORMING TO MSHFD M-1 OR M-3. THE BARS SHALL BE PLACED ONLY CENTER (MINIMUM 2 PER JOINT).
- TRANSITIONS: THE TRANSITIONS FROM FULL HEIGHT CURB TO DEPRESSED CURB SHALL BE MADE AT THE RATE OF 3" PER FOOT OF LENGTH OR GREATER.
- EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 100 FEET.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: CURB-CONCRETE CURB TYPE B

DRAWING NUMBER: RD-05b

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

NOTES:

- CLASS 9 CONCRETE SHALL BE USED THROUGHOUT (UNLESS OTHERWISE NOTED).

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: CURB- SIDEWALK WITH INTEGRAL CURB

DRAWING NUMBER: RD-05c

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

LEGEND:

- TEMPORARY STREET PATCHES DURING WINTER CONSTRUCTION SHALL BE 4" P.C. CONCRETE (DOT CLASS 8 OR A MIN. 3" OF W.M. COLD PATCH). PERMANENT PATCHES SHALL BE COMPLETED WHEN PAVING MATERIALS ARE AVAILABLE.
- B.M. MUST BE AUTHORIZED BY THE CITY ENGINEER.
- FOR CERTAIN UTILITY STREET CUTS, THE CITY ENGINEER MAY AUTHORIZE OR REQUIRE THE USE OF A CONTROLLED LOW-STRENGTH MATERIAL (CLSM) AS PER THE DOT SPECIAL PROVISIONS.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: PAVEMENT CUT AND REPLACEMENT

DRAWING NUMBER: RD-06

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

NOTES:

- RAMPING TO BE USED AFTER BINDER IS CONSTRUCTED AND UNTIL FINAL SURFACE COURSE IS PLACED.
- MANHOLES TO BE RAMPED NO LATER THAN NOVEMBER 1ST.
- RAMPS TO BE MAINTAINED THROUGHOUT THE WINTER BY DEVELOPER.
- RAMP MATERIAL TO BE REMOVED BY MILLING OR OTHERWISE REMOVED BEFORE PLACEMENT OF FINAL SURFACE COURSE.

MIX DESIGN FOR EMERGENCY RAMP PATCHING COMPOUND:

MIX: 40% QUICKCRETE HYDRAULIC CEMENT, 60% MORTAR MIX. ENOUGH WATER TO MAKE IT WORKABLE (TOO MUCH WATER WILL GREATLY LENGTHEN SET TIME).

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: TEMPORARY MANHOLE AND CURB RAMPING

DRAWING NUMBER: RD-07

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

SECTION VIEW

FRONT VIEW

NOTES:

- CORNER OF 25' centers for 250'. Additional corner may be placed at 50' centers. When drums or Type II barricades are used, the interval between barricades may be doubled.
- Traffic control devices shall meet the requirements of Article 101.15 of the DOT Standard Specifications (latest edition).
- For devices covered by NCHRP Report 350 (Recommended Procedures for the Safety Performance Evaluation of Highway Features), the Contractor shall provide a manufacturer's self-certification letter for each Category 1 device and an FHWA acceptance letter for each Category 2 and Category 3 device used on the contract. The FHWA website (http://www.fhwa.gov/ohrt/ohrt_devices/index.html) identifies all such hardware and includes copies of FHWA acceptance letters for each device.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: BARRICADE (END OF SIDEWALK OR PATH)

DRAWING NUMBER: RD-08

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

NOTES:

- Make a SIGN CHECKING TABLE to determine:
 - Signs to be placed at each end.
 - Material and methods of work.
 - The space remaining to the left of the Engineering Division (upstream) of the work.
 - Clearance of 20' minimum for the advance warning sign shall be provided for each Category 1 device and an FHWA acceptance letter for each Category 2 and Category 3 device used on the contract. The FHWA website (http://www.fhwa.gov/ohrt/ohrt_devices/index.html) identifies all such hardware and includes copies of FHWA acceptance letters for each device.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: TYPICAL LANE CLOSURE: 2 LANE ROADWAYS

DRAWING NUMBER: TR-04a

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

NOTES:

- Make a SIGN CHECKING TABLE to determine:
 - Signs to be placed at each end.
 - Material and methods of work.
 - The space remaining to the left of the Engineering Division (upstream) of the work.
 - Clearance of 20' minimum for the advance warning sign shall be provided for each Category 1 device and an FHWA acceptance letter for each Category 2 and Category 3 device used on the contract. The FHWA website (http://www.fhwa.gov/ohrt/ohrt_devices/index.html) identifies all such hardware and includes copies of FHWA acceptance letters for each device.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: TYPICAL LANE CLOSURE: 3 LANE ROADWAYS

DRAWING NUMBER: TR-04b

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

NOTES:

- Make a SIGN CHECKING TABLE to determine:
 - Signs to be placed at each end.
 - Material and methods of work.
 - The space remaining to the left of the Engineering Division (upstream) of the work.
 - Clearance of 20' minimum for the advance warning sign shall be provided for each Category 1 device and an FHWA acceptance letter for each Category 2 and Category 3 device used on the contract. The FHWA website (http://www.fhwa.gov/ohrt/ohrt_devices/index.html) identifies all such hardware and includes copies of FHWA acceptance letters for each device.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: TYPICAL LANE CLOSURE: 4 LANE UNDIVIDED ROADWAY

DRAWING NUMBER: TR-04c

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

TRUCK 581

INSIDE RADIUS = 22.5 FEET

DESIGN VEHICLE DIMENSIONS

EMERGENCY ONE INC. TURN RADIUS DIAGRAM

NOTES:

- THIS DESIGN VEHICLE SHALL BE USED AS THE BASIS FOR ROADWAY AND PARKING LOT GEOMETRICS IN THE ABSENCE OF A SPECIFIC DESIGN TRUCK (e.g., WB-95).
- THIS INFORMATION IS PROVIDED FOR REFERENCE ONLY.
- A VEHICLE MANEUVERABILITY ANALYSIS SHOULD BE PERFORMED BY A LICENSED PROFESSIONAL ENGINEER TO VERIFY THE TURNING CAPABILITIES OF THIS DESIGN VEHICLE.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: TURNING TEMPLATES: LADDER TRUCK (CITY DESIGN VEHICLE)

DRAWING NUMBER: TR-05a

DATE: 4/15/2007

CITY OF CRYSTAL LAKE, ILLINOIS

NOTES:

- MAX. SLOPE = 2%
- CONCRETE PARKING BUMPERS REQUIRED IF BARRIER CURB NOT PRESENT.
- REFER TO CURRENT EDITION OF THE ILLINOIS ACCESSIBILITY CODE, SECTION 603.10(c) AND ILLUSTRATIONS "I" (FIGURE 9), "L", AND "D".

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

DRAWING NAME: TYPICAL HANDICAP ACCESSIBLE PARKING STALL

DRAWING NUMBER: TR-06

DATE: 9/12/07

CITY OF CRYSTAL LAKE, ILLINOIS

HANDICAPPED PARKING SIGN

HANDICAP SYMBOL DETAIL

NOTES:

- 1"-0" x 1"-6" x 0.80 ALUMINUM HANDICAPPED PARKING SIGN TO READ "RESERVED PARKING - 250 FINE" W/ IDENTIFICATION SYMBOL - BOLT TO STEEL TUBE W/ 3/8" CADMIUM PL. BOLTS, NUTS AND WASHERS.
- 2" x 2" x 0.188 STEEL TUBE EXTEND INTO CONC. BASE 2'-0" MIN.

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

PARKING LOT PAVEMENT DETAIL

NOTES:

- 1" CLASS I BIT. CONC. SURFACE COURSE
- 1 1/2" CLASS I BIT. CONC. BINDER COURSE
- 2" COMPACTED GRADE #9 GRAVEL BASE I.D.O.T. CA-6
- 4" B.A.M. BASE COURSE PROPERLY PREPARED AND COMPACTED SUBGRADE

CONC. CAP

PIPE BOLLARD

APPROVED: Victor C. Ramirez, P.E., Director of Engineering and Building

Figures 1 through 10 and 11 are not shown in this drawing.

NO.	DATE	DESCRIPTION

DRAWN BY: KRL
CHECKED BY: DMH
DATE: 8-13-10
SCALE: N.T.S.

DRAWING NO. C-11

JOB NO. 07-38

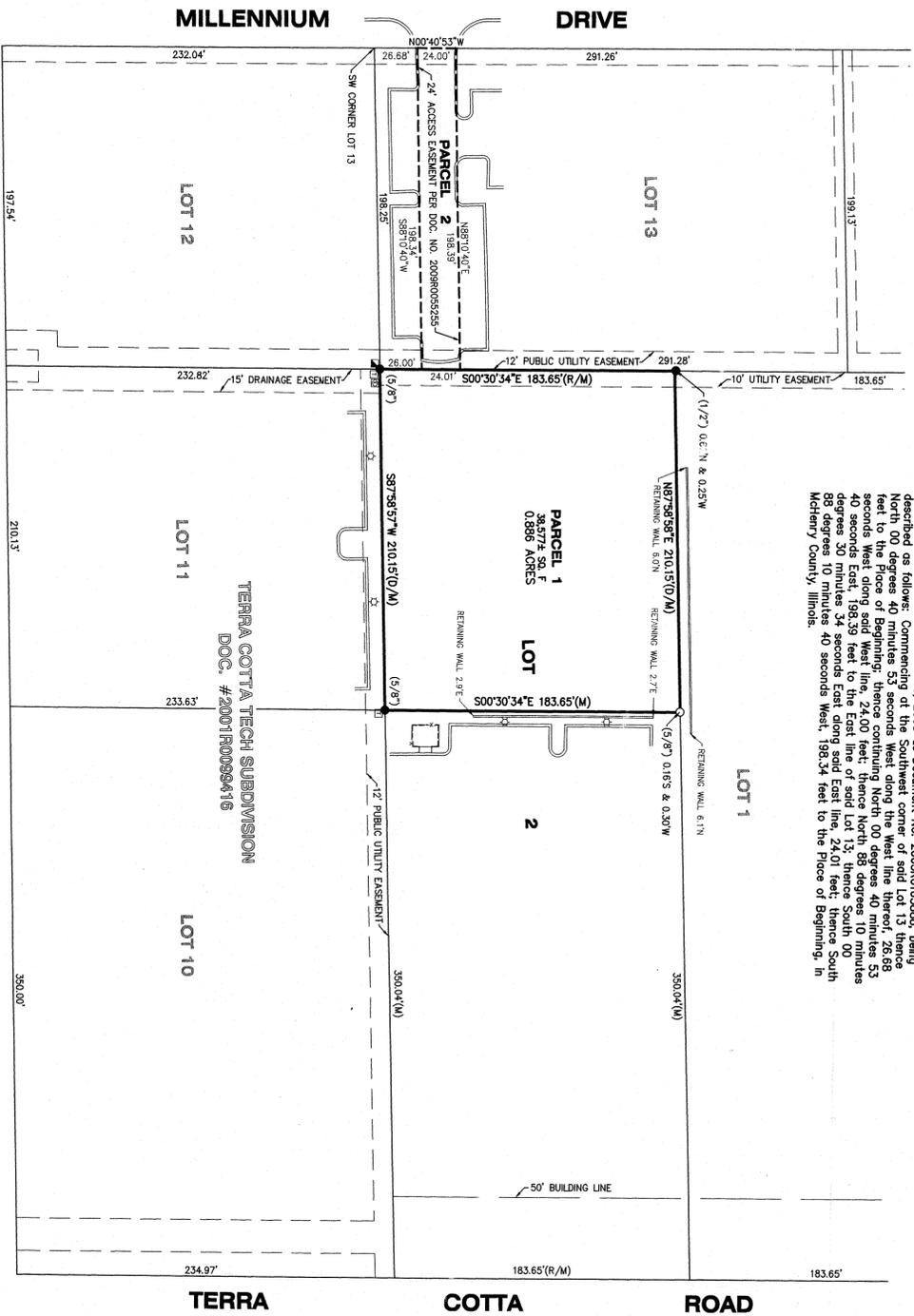
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



ALTA/ACSM LAND TITLE SURVEY



PARCEL 1
The West 210.15 feet of Lot 2 (as measured along the North and South line thereof) in Robert Bartlett's Crystal Lake Acres, being a Subdivision of the East 593.0 feet, Except the North 130.130 feet (thereof) of the Northeast Quarter of Section 33, Township 44 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof recorded in Book 11, Page 98 of Document No. 380025 in Book 14 of Plats, page 66, in McHenry County, Illinois.

PARCEL 2 ACCESS EASEMENT
A 24 foot Access Easement across part of Lot 13 in Terra Cotta Tech Subdivision, being a Subdivision of part of the East Half of the Northeast Quarter of Section 33 and the Re-Subdivision of Lots 3, 4, 5 and 8 in Robert Bartlett's Crystal Lake Acres, being a Subdivision of part of said East Half, according to the Plat thereof recorded in Book 11, Page 98 of Document No. 2001R0099416, in Township 44 North, Range 8 East of the Third Principal Meridian, and as amended by Certificate of Correction recorded May 7, 2002 in Book 11, Page 98 of Document No. 380025, and Amendment recorded December 18, 2003 as Document No. 2003R001305, all as described as follows: Commencing at the Southwest corner of said Lot 13, being North 00 degrees 40 minutes 53 seconds continuing North 00 degrees 40 minutes 53 seconds West along said West line, 24.00 feet; thence North 88 degrees 10 minutes 40 seconds West along said West line, 24.00 feet; thence South 10 minutes 40 seconds West, 198.353 feet to the East line of said Lot 13; thence South 88 degrees 10 minutes 40 seconds West, 198.354 feet to the Place of Beginning, in McHenry County, Illinois.

LEGEND	
●	FOUND IRON BAR
○	FOUND IRON PIPE
▣	TELEPHONE RISER
▣	ELECTRIC RISER
▣	TRANSFORMER
☆	LIGHT

CLIENT: CHARLES RIVER DEVELOPMENT
 DRAWN BY: AFG CHECKED BY: MWV
 SCALE: 1"=50' SRC: 33 T. 44 R. 8 E.
 BASIS OF BEARING: PER DOC. #2001R0099416
 P.L.N.: 14-33-218-017
 JOB NO.: 090274 1.D. ALT
 FIELDWORK COMP.: 7/13/09 BK. 67 PG. 36
 ALL DISTANCES SHOWN IN FEET AND DECIMAL FEET.
 ALL DISTANCES SHOWN IN FEET AND DECIMAL FEET.

SURVEYOR'S NOTES

1) The legal description and utility assessments shown hereon have been provided by Chicago Title Insurance Company, Commitment policy #1409 002846535 CI, dated June 4, 2008. The title information shown hereon is exclusively that provided to the Surveyor by the Title insurer or the client. The Surveyor does not warrant the accuracy of the utility easements shown hereon, but does state that the utility easements are accurately as possible from the information provided.

2) The underground utilities shown have been located from visible field evidence and existing drawings, maps and records supplied to Surveyor. The Surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or out of service. The Surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does warrant that the location as accurately as possible from available information. The Surveyor has physically located visible structures; however, he has not physically located the underground lines.

PLAT REWSED AND DOC. NO. FOR ACCESS EASEMENT - 1/09/10 MWV
 AMDED PROPOSED ACCESS EASEMENT - 8/25/09 AFG

STATE OF ILLINOIS)
) S.S.
 COUNTY OF McHENRY)

Certified to: 1) Chicago Title Insurance Company
 2) McHenry County Mental Health Board

In my professional opinion, and based on my observations, I certify that this plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 7a, 8, 10, & 11a of Table A thereof. Pursuant to the above, and in accordance with the provisions of the Act, I have examined the original field notes and other records that in my professional opinion, as a land surveyor registered in the State of Illinois, bear true and correct testimony. The survey does not exceed that which is specified therein. My professional opinion, as a land surveyor registered in the State of Illinois, is that the accuracy of the survey is within the limits of the Act. I have examined the Flood Insurance Rate Map, Panel No. 17111C02201, dated May 19, 2006, and have determined that the subject property lies within Zone "X", areas determined to be outside the 0.2% annual chance floodplain.

Dated this 3rd day of August, A.D., 2008.

VANDERSTAPPEN SURVEYING & ENGINEERING, INC.
 Design Firm No. 184-002702

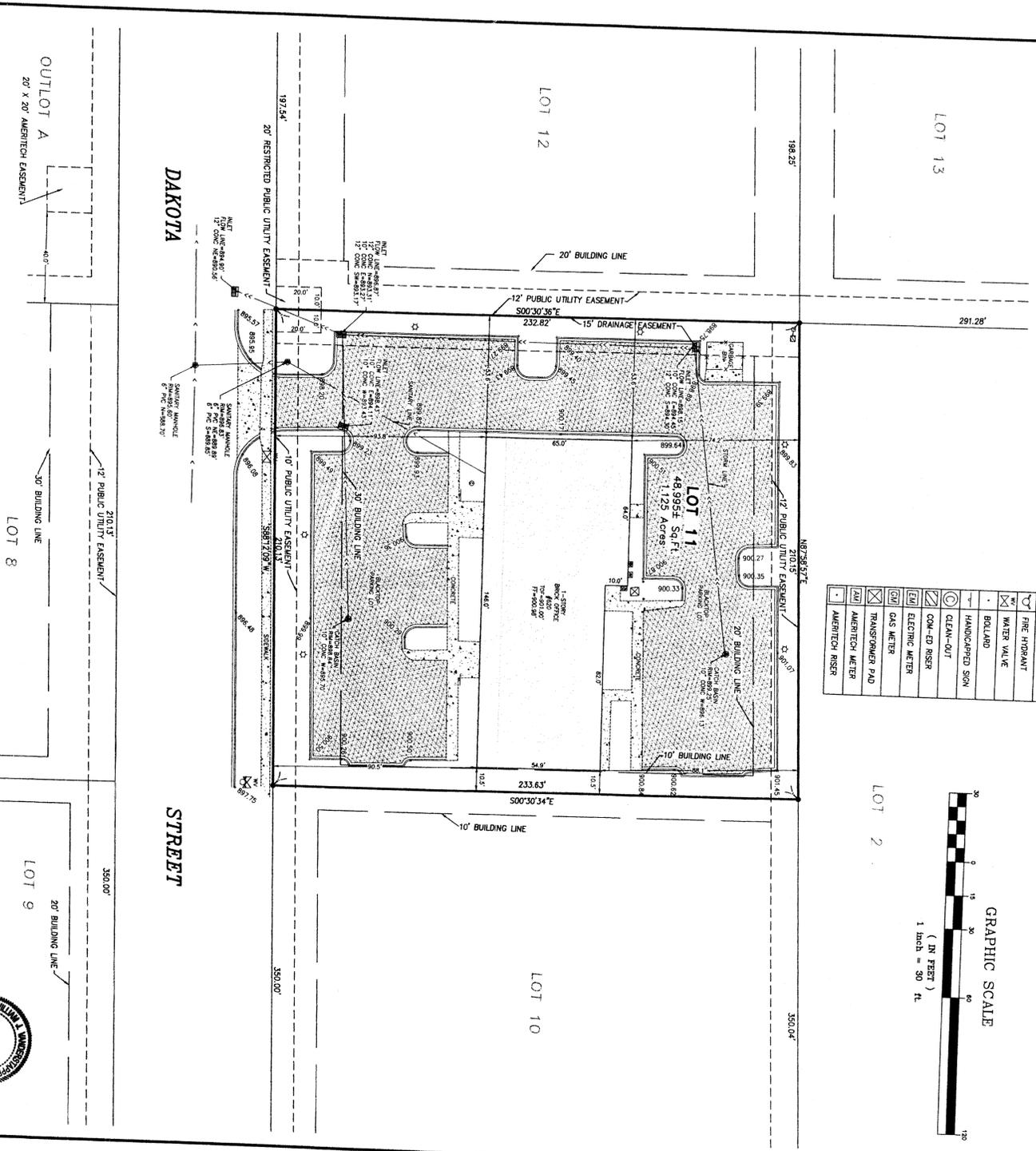
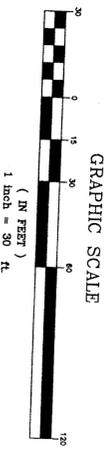
MILITIA J. VANDERSTAPPEN, 095-002709
 PROFESSIONAL LAND SURVEYOR (seal)



PLAT OF SURVEY

Lot 11 in Terra Cotta Tract, Subdivision, being a Subdivision of part of the East Half of the Northeast Quarter of Section 33 and the Resubdivision of Lots 3, 4, 5 and 8 in Robert Bortlett's Capital Lake Acres, being a Subdivision of part of said East Half, in Township 44 North, Range 8, East of the Third Principal Meridian, according to the Plat thereof recorded December 26, 2001 as Document No. 2001R0099416, in McHenry County, Illinois.

LEGEND	
•	FOUND IRON BAR
⊠	WELL
⊡	CATCH BASIN
⊙	SAINTMARY MANHOLE
☼	LIGHT
⊕	FIRE HYDRANT
⊗	WATER VALVE
⊘	BOLLARD
⊙	HANDICAPPED SIGN
⊖	CLEAN-OUT
⊕	CON-ED RISER
⊕	ELECTRIC METER
⊕	GAS METER
⊕	TRANSFORMER PAD
⊕	AMERITECH METER
⊕	AMERITECH RISER

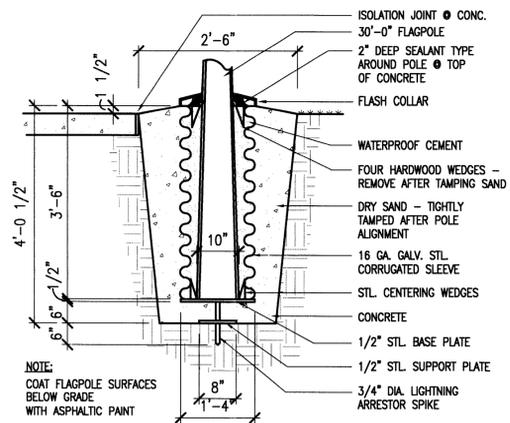


CLIENT: BO STROM
 DRAWN BY: CFM
 SCALE: 1"=30'
 JOB NO. 020149-2-1.D. AS BK PG.
 ALL DISTANCES IN FEET AND DECIMAL PARTS THEREOF CORRECTED TO 68° F.

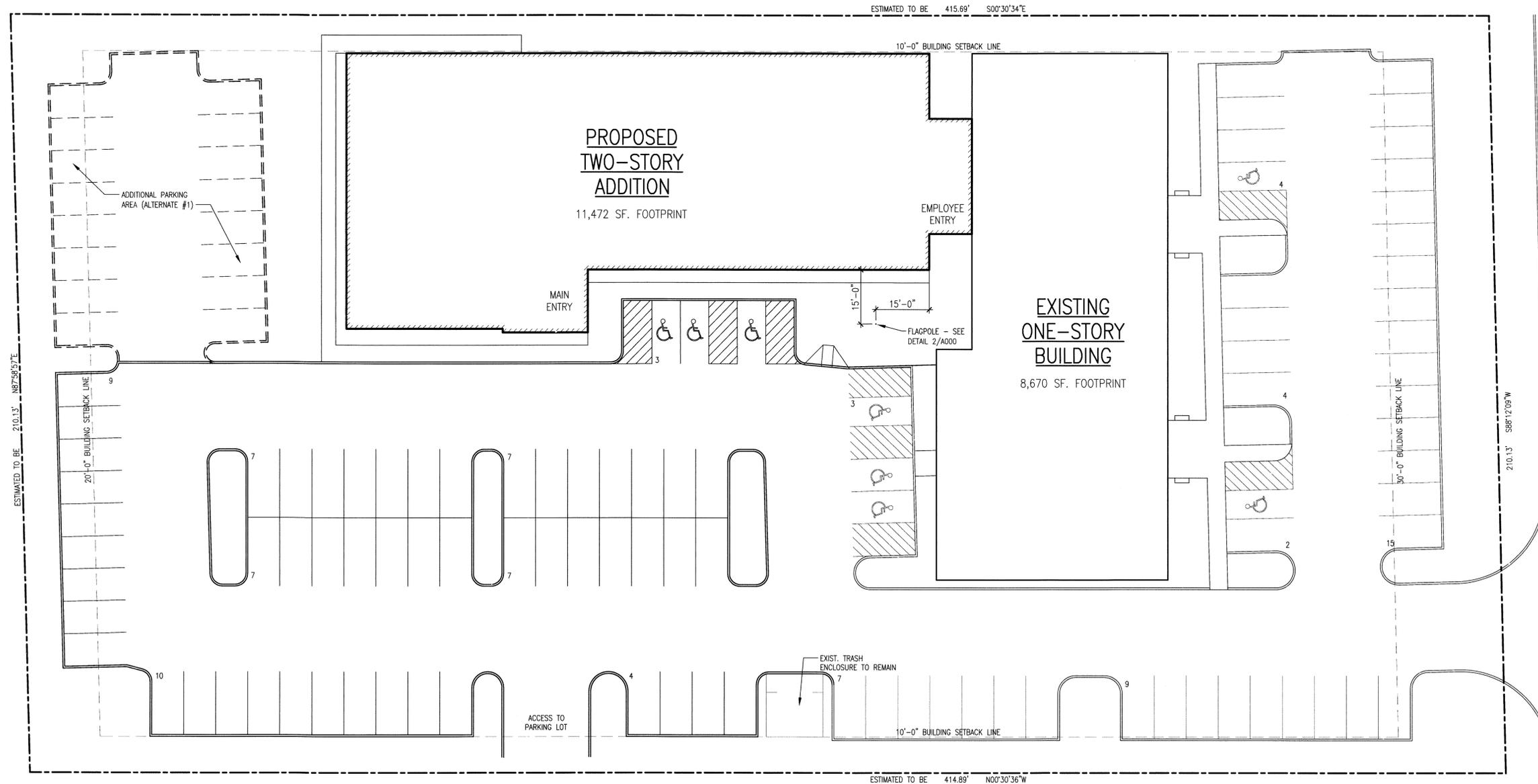
NOTE: Only those Building Line Restrictions or easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed includes a proper description of the required building lines or easements.
 • No distance should be assumed by scaling.
 • No underground improvements have been located unless shown and noted.
 • Representation as to ownership, use, or possession is by the person implied.
 • This Survey and Plat hereon are void without original embossed or colored seal and signature affixed.
 • Compare your description and site markings with this plat and all other reports any discrepancies which you may find.

STATE OF ILLINOIS)
 COUNTY OF MCHENRY) S.S.
 I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of the said survey.
 Dated at Woodstock, McHenry County, Illinois 12/2 A.D., 20 02.
 VANDERSTAPPEN SURVEYING, INC.
 By: *Walter Vanderstappen*
 Illinois Professional Land Surveyor No. 2709





2 FLAGPOLE BASE
A000 3/4" = 1'-0"



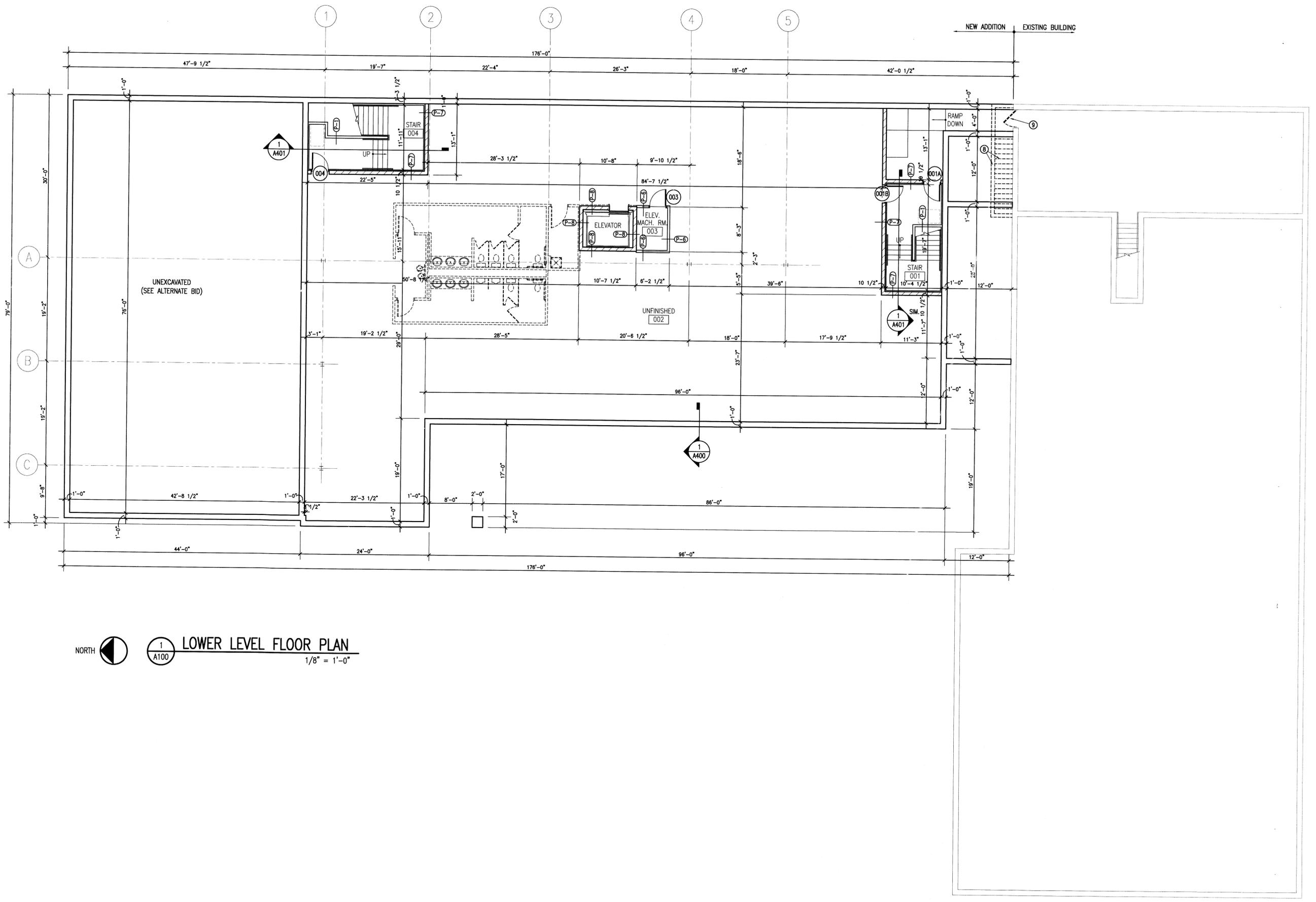
1 SITE PLAN
A000 1/16" = 1'-0"

SITE DATA:

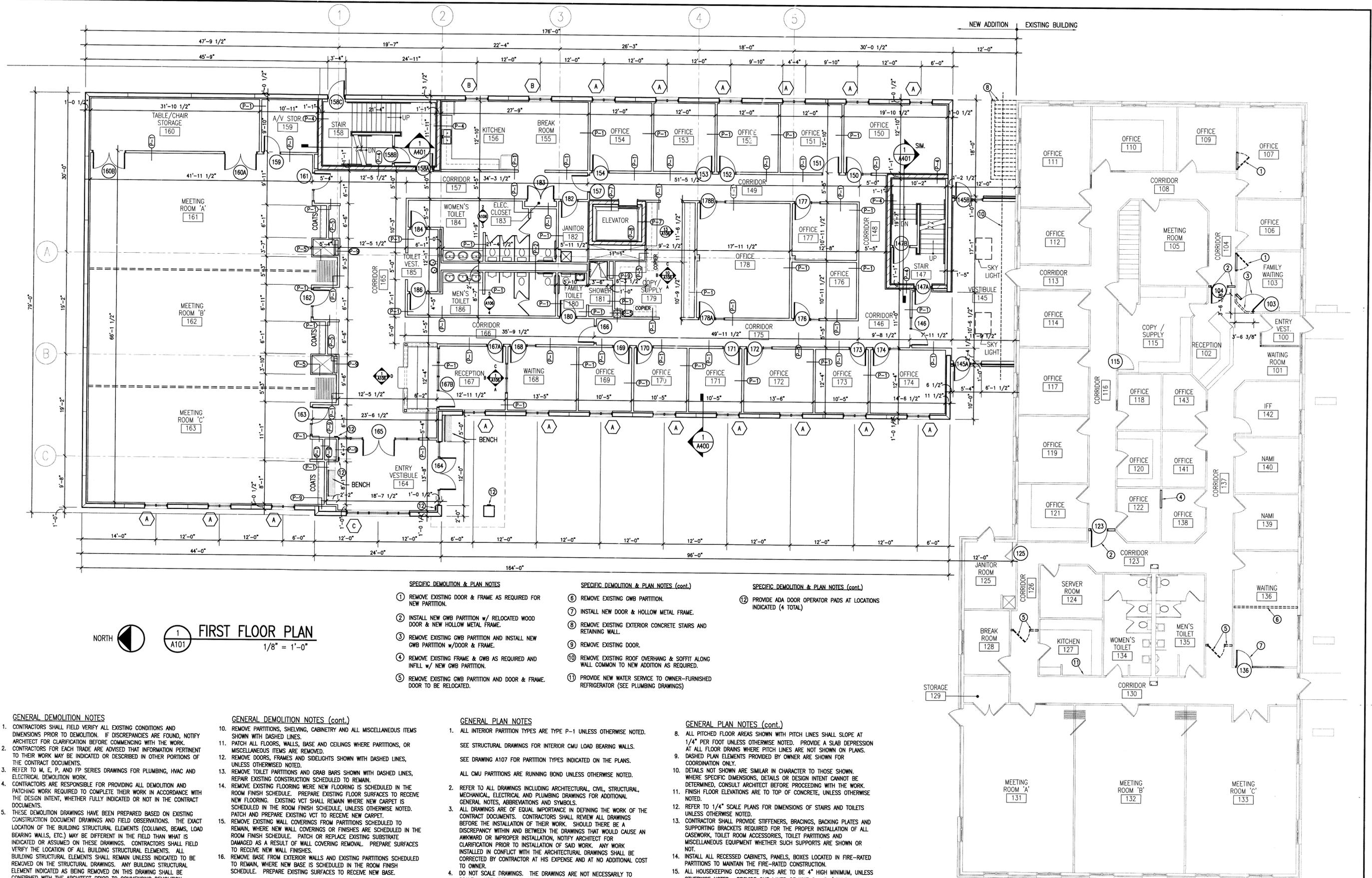
SITE AREA	87,242 SF (2.00 ACRES)
EXISTING BUILDING AREA	8,670 SF
PROPOSED ADDITION AREA	22,560 SF
TOTAL BUILDING AREA	31,230 SF
FLOOR AREA RATIO	0.358
PARKING REQUIRED	117 STALLS (5/1,000 SF USABLE AREA - 75%)
PARKING PROVIDED	115 STALLS (INCLUDING 8 ACCESSIBLE STALLS)

date	description
08/16/10	FINAL PUD

LOWER LEVEL FLOOR PLAN



1 LOWER LEVEL FLOOR PLAN
A100
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

- SPECIFIC DEMOLITION & PLAN NOTES**
- REMOVE EXISTING DOOR & FRAME AS REQUIRED FOR NEW PARTITION.
 - INSTALL NEW GWB PARTITION w/ RELOCATED WOOD DOOR & NEW HOLLOW METAL FRAME.
 - REMOVE EXISTING GWB PARTITION AND INSTALL NEW GWB PARTITION w/DOOR & FRAME.
 - REMOVE EXISTING FRAME & GWB AS REQUIRED AND INFILL w/ NEW GWB PARTITION.
 - REMOVE EXISTING GWB PARTITION AND DOOR & FRAME. DOOR TO BE RELOCATED.
- SPECIFIC DEMOLITION & PLAN NOTES (cont.)**
- REMOVE EXISTING GWB PARTITION.
 - INSTALL NEW DOOR & HOLLOW METAL FRAME.
 - REMOVE EXISTING EXTERIOR CONCRETE STAIRS AND RETAINING WALL.
 - REMOVE EXISTING DOOR.
 - REMOVE EXISTING ROOF OVERHANG & SOFFIT ALONG WALL COMMON TO NEW ADDITION AS REQUIRED.
 - PROVIDE NEW WATER SERVICE TO OWNER-FURNISHED REFRIGERATOR (SEE PLUMBING DRAWINGS)
- SPECIFIC DEMOLITION & PLAN NOTES (cont.)**
- PROVIDE ADA DOOR OPERATOR PADS AT LOCATIONS INDICATED (4 TOTAL)

GENERAL DEMOLITION NOTES

- CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
- CONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY BE INDICATED OR DESCRIBED IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
- REFER TO M, E, P, AND FP SERIES DRAWINGS FOR PLUMBING, HVAC AND ELECTRICAL DEMOLITION WORK.
- CONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL DEMOLITION AND PATCHING WORK REQUIRED TO COMPLETE THEIR WORK IN ACCORDANCE WITH THE DESIGN INTENT, WHETHER FULLY INDICATED OR NOT IN THE CONTRACT DOCUMENTS.
- THESE DEMOLITION DRAWINGS HAVE BEEN PREPARED BASED ON EXISTING CONSTRUCTION DOCUMENT DRAWINGS AND FIELD OBSERVATIONS. THE EXACT LOCATION OF THE BUILDING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, LOAD BEARING WALLS, ETC.) MAY BE DIFFERENT IN THE FIELD THAN WHAT IS INDICATED OR ASSUMED ON THESE DRAWINGS. CONTRACTORS SHALL FIELD VERIFY THE LOCATION OF ALL BUILDING STRUCTURAL ELEMENTS. ALL BUILDING STRUCTURAL ELEMENTS SHALL REMAIN UNLESS INDICATED TO BE REMOVED ON THE STRUCTURAL DRAWINGS. ANY BUILDING STRUCTURAL ELEMENT INDICATED AS BEING REMOVED ON THIS DRAWING SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCING DEMOLITION.
- PROVIDE NEW LINTELS AT NEW OPENINGS IN EXISTING WALLS. SEE STRUCTURAL DRAWINGS FOR INFORMATION ON LINTELS.
- REPLACE OR REPAIR ANY EXISTING CONSTRUCTION SCHEDULED TO REMAIN WHICH IS DAMAGED DURING DEMOLITION.
- CONTRACTORS SHALL PROVIDE REQUIRED SHORING OR TEMPORARY BRACING DURING DEMOLITION.
- REMOVE EXISTING CEILINGS AND SUPPORTS WHERE NEW CEILINGS ARE SCHEDULED IN THE ROOM FINISH SCHEDULE.

GENERAL DEMOLITION NOTES (cont.)

- REMOVE PARTITIONS, SHELVING, CABINERY AND ALL MISCELLANEOUS ITEMS SHOWN WITH DASHED LINES.
- PATCH ALL FLOORS, WALLS, BASE AND CEILINGS WHERE PARTITIONS, OR MISCELLANEOUS ITEMS ARE REMOVED.
- REMOVE DOORS, FRAMES AND SIDELIGHTS SHOWN WITH DASHED LINES, UNLESS OTHERWISE NOTED.
- REMOVE TOILET PARTITIONS AND GRAB BARS SHOWN WITH DASHED LINES, REPAIR EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
- REMOVE EXISTING FLOORING WHERE NEW FLOORING IS SCHEDULED IN THE ROOM FINISH SCHEDULE. PREPARE EXISTING FLOOR SURFACES TO RECEIVE NEW FLOORING. EXISTING VCT SHALL REMAIN WHERE NEW CARPET IS SCHEDULED IN THE ROOM FINISH SCHEDULE, UNLESS OTHERWISE NOTED. PATCH AND PREPARE EXISTING VCT TO RECEIVE NEW CARPET.
- REMOVE EXISTING WALL COVERINGS FROM PARTITIONS SCHEDULED TO REMAIN, WHERE NEW WALL COVERINGS OR FINISHES ARE SCHEDULED IN THE ROOM FINISH SCHEDULE. PATCH OR REPLACE EXISTING SUBSTRATE DAMAGED AS A RESULT OF WALL COVERING REMOVAL. PREPARE SURFACES TO RECEIVE NEW WALL FINISHES.
- REMOVE BASE FROM EXTERIOR WALLS AND EXISTING PARTITIONS SCHEDULED TO REMAIN, WHERE NEW BASE IS SCHEDULED IN THE ROOM FINISH SCHEDULE. PREPARE EXISTING SURFACES TO RECEIVE NEW BASE.

GENERAL REMODELING NOTES

- CMU COURSING, JOINTS AND BONDING PATTERNS SHALL MATCH THE EXISTING ADJACENT WALLS UNLESS OTHERWISE NOTED. TOOTH IN ALL NEW CMU INTO EXISTING MASONRY AT INFILL AND NEW OPENINGS IN EXPOSED LOCATIONS UNLESS OTHERWISE NOTED.
- WHERE NEW PARTITIONS ARE A CONTINUATION OF EXISTING PARTITIONS THE NEW FINISH SURFACES SHALL BE FLUSH, CONTINUOUS, AND MATCH THE EXISTING SURFACES (TYPICAL ON BOTH SIDES).
- REPAIR ANY CONSTRUCTION OR FINISHES AFFECTED BY ADJACENT CONSTRUCTION. MATCH EXISTING FINISHES.
- PROVIDE CHASES IN EXISTING PARTITIONS FOR NEW PLUMBING WORK UNLESS OTHERWISE NOTED.

GENERAL PLAN NOTES

- ALL INTERIOR PARTITION TYPES ARE TYPE P-1 UNLESS OTHERWISE NOTED. SEE STRUCTURAL DRAWINGS FOR INTERIOR CMU LOAD BEARING WALLS. SEE DRAWING A107 FOR PARTITION TYPES INDICATED ON THE PLANS. ALL CMU PARTITIONS ARE RUNNING BOND UNLESS OTHERWISE NOTED.
- REFER TO ALL DRAWINGS INCLUDING ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
- ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING THE WORK OF THE CONTRACT DOCUMENTS. CONTRACTORS SHALL REVIEW ALL DRAWINGS BEFORE THE INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS THAT WOULD CAUSE AN ANKWARD OR IMPROPER INSTALLATION, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO OWNER.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING THE WORK. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL OR COLUMN CENTERLINES. ALL WALL AND PARTITION THICKNESS DIMENSIONS ARE NOMINAL. SEE WALL SECTIONS AND PARTITION TYPES FOR EXACT CONSTRUCTION.
- FOR EWC AND OTHER MOUNTING HEIGHTS SEE DRAWING A107.
- LOCATE DOOR FRAMES IN MASONRY CONSTRUCTION ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO UNLESS OTHERWISE NOTED.
- SEE DRAWING A001 FOR REFERENCE PLAN INDICATING FIRE RATED PARTITIONS AND SPACES. ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRE-SAFED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.

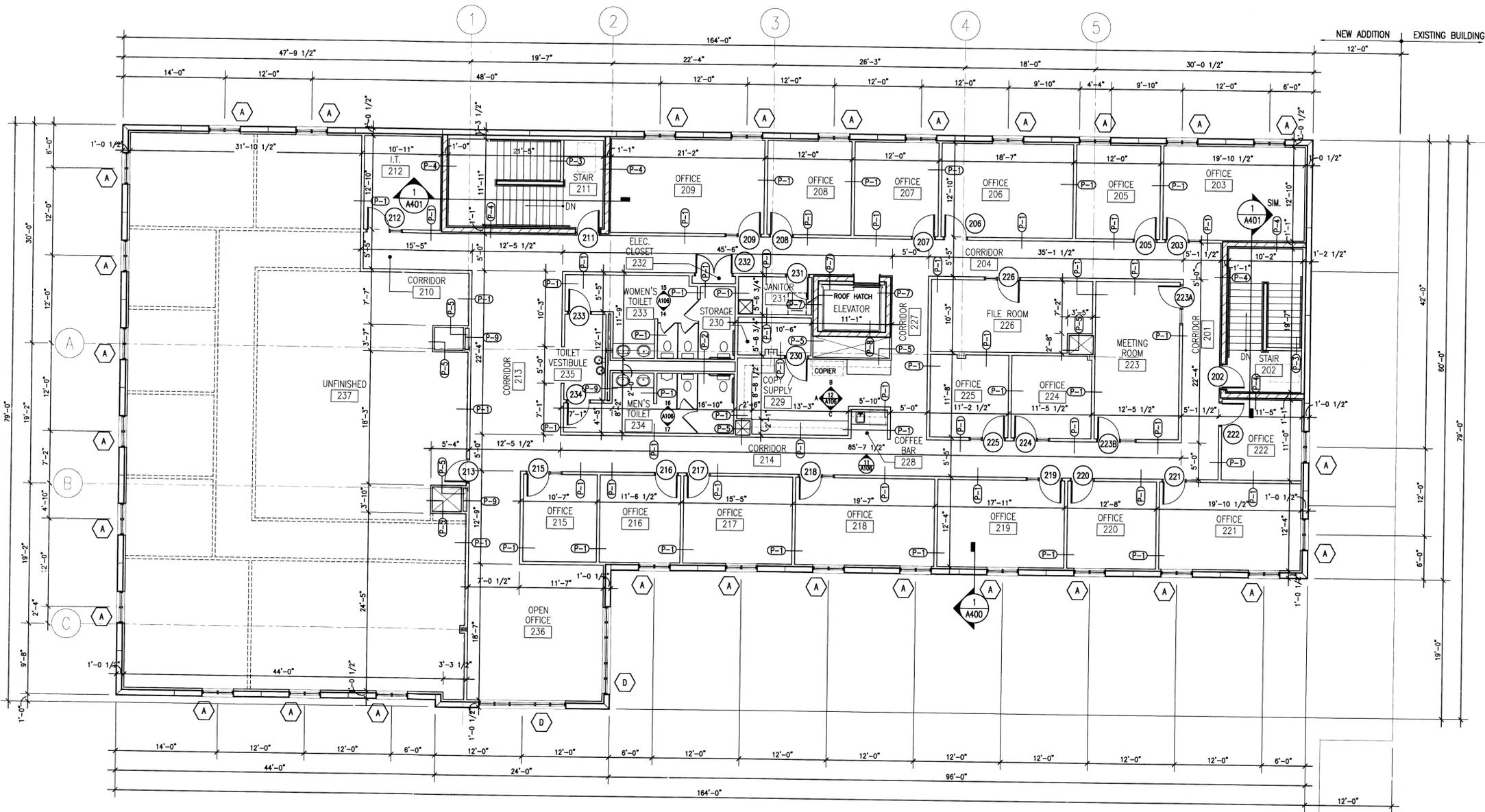
GENERAL PLAN NOTES (cont.)

- ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES SHALL SLOPE AT 1/4" PER FOOT UNLESS OTHERWISE NOTED. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON PLANS.
- DASHED PLAN ELEMENTS PROVIDED BY OWNER ARE SHOWN FOR COORDINATION ONLY.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS OTHERWISE NOTED.
- REFER TO 1/4" SCALE PLANS FOR DIMENSIONS OF STAIRS AND TOILETS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE STIFFENERS, BRACINGS, BACKING PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE PROPER INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, TOILET PARTITIONS AND MISCELLANEOUS EQUIPMENT WHETHER SUCH SUPPORTS ARE SHOWN OR NOT.
- INSTALL ALL RECESSED CABINETS, PANELS, BOXES LOCATED IN FIRE-RATED PARTITIONS TO MAINTAIN THE FIRE-RATED CONSTRUCTION.
- ALL HOUSEKEEPING CONCRETE PADS ARE TO BE 4" HIGH MINIMUM, UNLESS OTHERWISE NOTED. PROVIDE ONE LAYER OF WWF 6 x 6 / W4.0 x W4.0 WELDED WIRE FABRIC MINIMUM.
- CONTRACTORS SHALL COORDINATE ALL EQUIPMENT BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS. INSTALL THE PADS BENEATH THE FULL PROJECTED AREA OF EQUIPMENT.
- CONTRACTORS SHALL COORDINATE ALL MECHANICAL AND ELECTRICAL FLOOR, ROOF AND WALL SLEEVES AND ALL MECHANICAL SHAFTS WITH MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- REFER TO MECHANICAL AND ELECTRICAL CONTRACTORS DRAWINGS AND MANUFACTURERS' TEMPLATE DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, BOLT SETTING TEMPLATES, ISOLATIONS, SPRING ISOLATION, ETC. NOT SHOWN ON THE DRAWINGS.

FIRST FLOOR PLAN NOTES

A101

date	description
08/16/10	FINAL PUD



NORTH  **1** SECOND FLOOR PLAN
 A102 1/8" = 1'-0"

GILLESPIE
 DESIGN
 GROUP

5307 Business Parkway, 101
 Ringwood, Illinois 60072
 815.653.7100 phone
 815.653.7700 fax
 www.gillespiedesigngroup.com

project number
10-031

ADDITION AND ALTERATIONS TO:
MCHEERY COUNTY MENTAL HEALTH BOARD
 620 DAKOTA STREET
 CRYSTAL LAKE, ILLINOIS

date	description
08/16/10	FINAL PUD

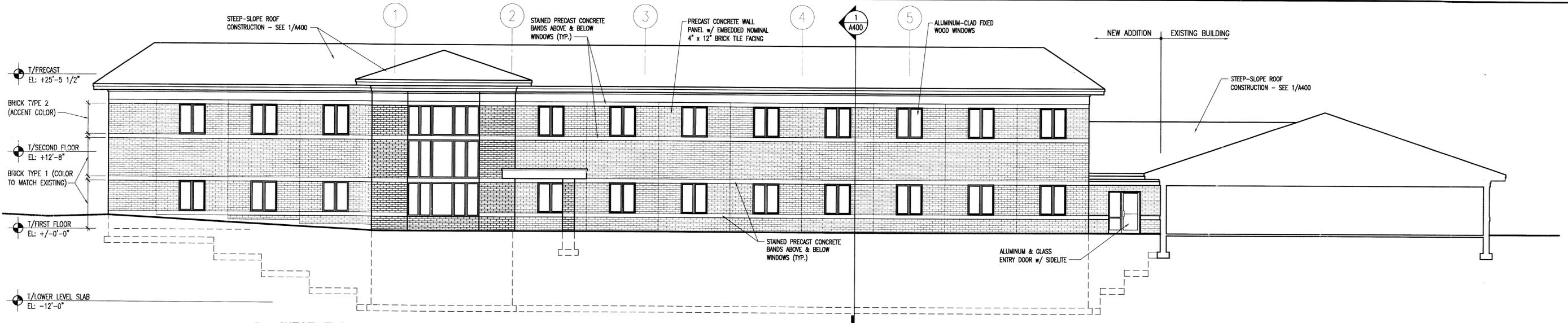
SECOND FLOOR PLAN

A102

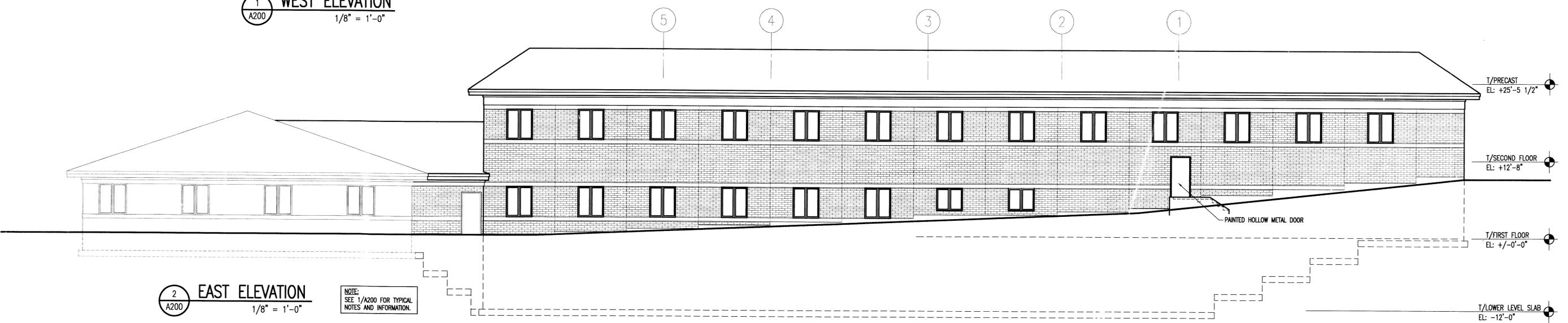
date	description
08/16/10	FINAL PUD

EXTERIOR ELEVATIONS

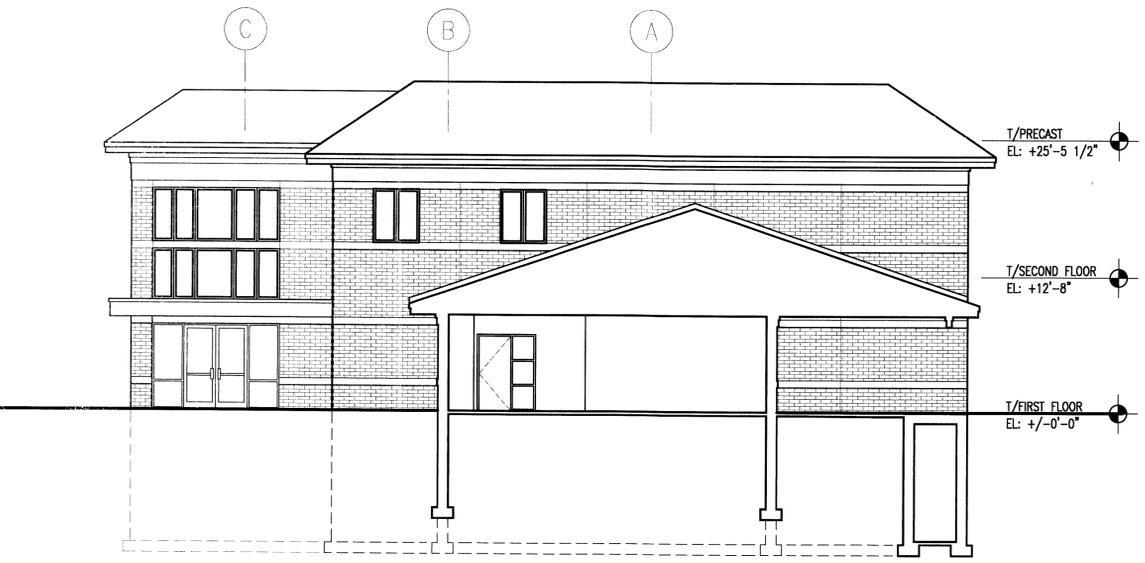
A200



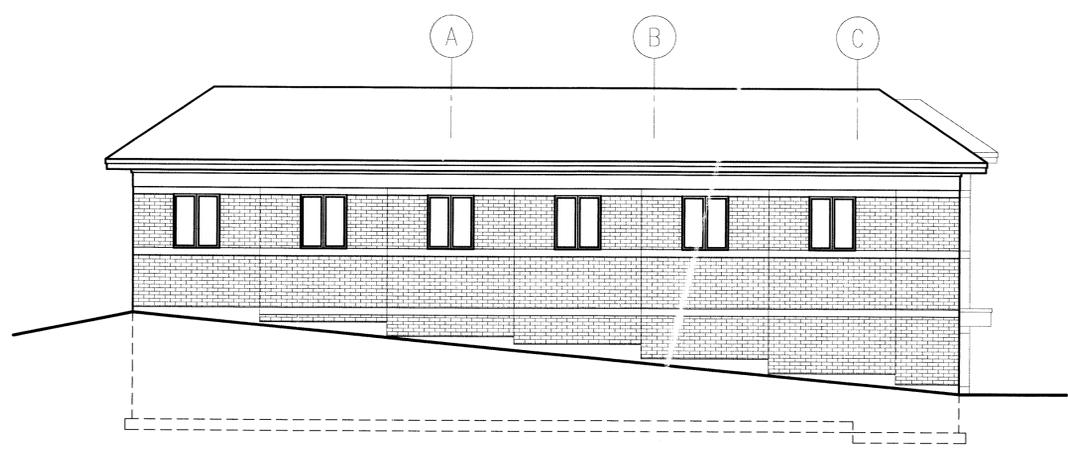
1 WEST ELEVATION
 1/8" = 1'-0"



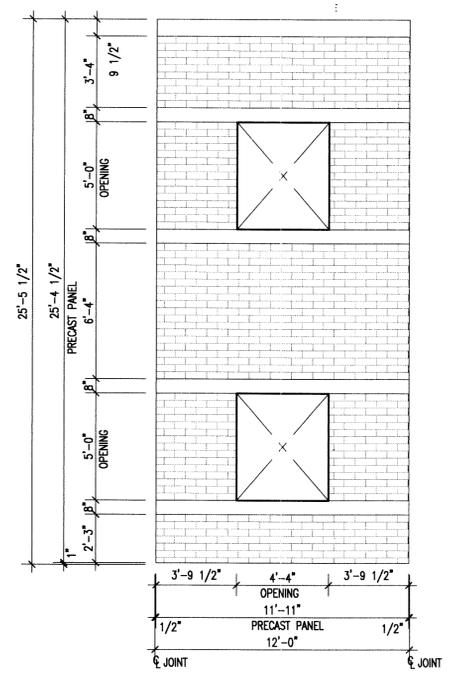
2 EAST ELEVATION
 1/8" = 1'-0"



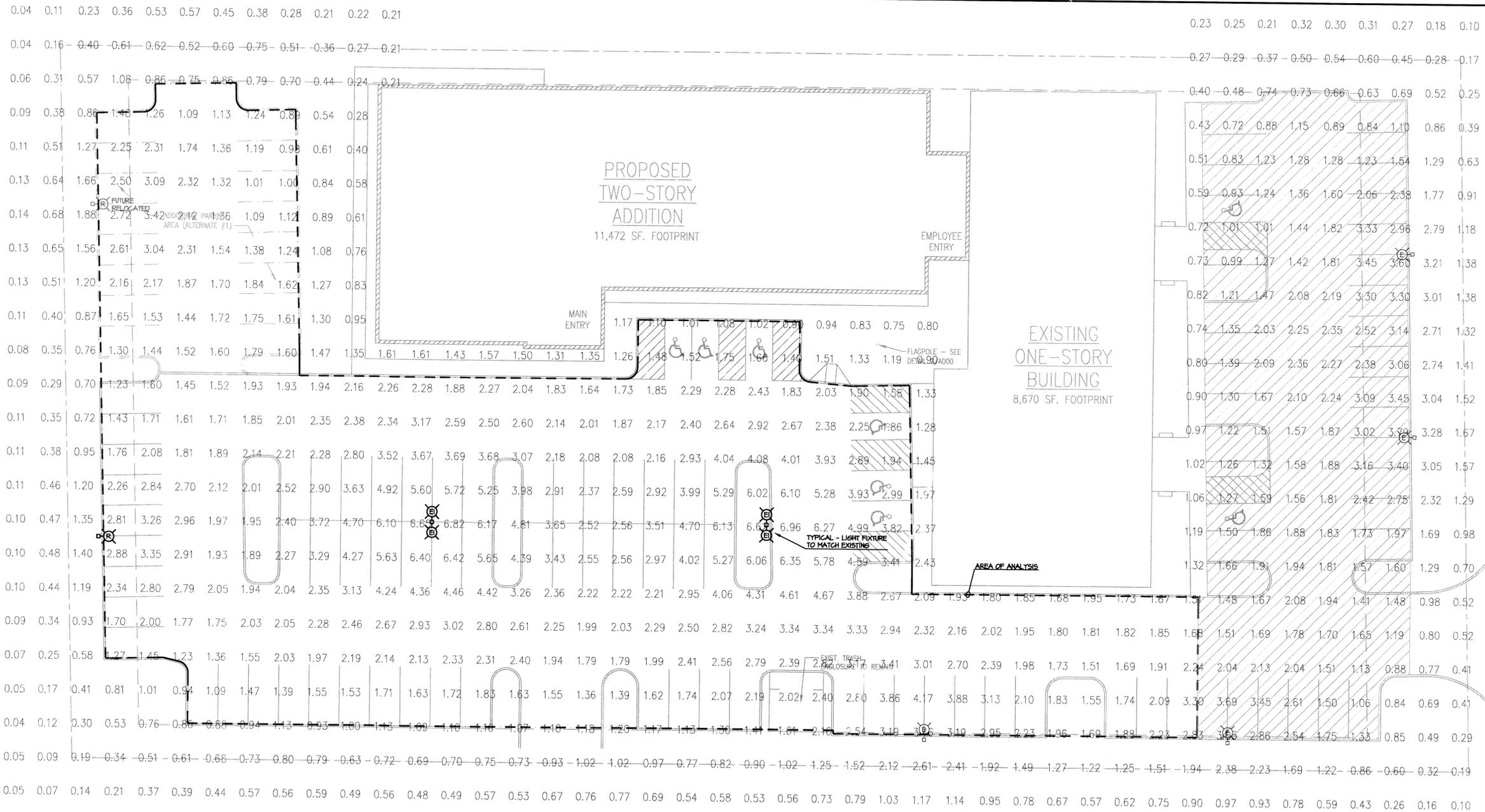
3 SOUTH ELEVATION
 1/8" = 1'-0"



4 NORTH ELEVATION
 1/8" = 1'-0"



5 TYP. PANEL ELEVATION
 1/4" = 1'-0"



PHOTOMETRIC SITE PLAN
SCALE: 1/16"=1'-0"

- LIGHTING ANALYSIS NOTES:
(PAVED AREAS ONLY)**
- 1) AVERAGE FOOTCANDLES: 2.52
 - 2) MINIMUM FOOTCANDLES: 0.88
 - 3) MAXIMUM FOOTCANDLES: 6.96
 - 4) AVERAGE/MINIMUM RATIO: 2.4:1
 - 5) MAXIMUM/MINIMUM RATIO: 7.4:1

GILLESPIE DESIGN GROUP
5307 Business Parkway, 101
Ringwood, Illinois 60072
815.653.7100 phone
815.653.7700 fax
www.gillespiedesigngroup.com

project number
10047

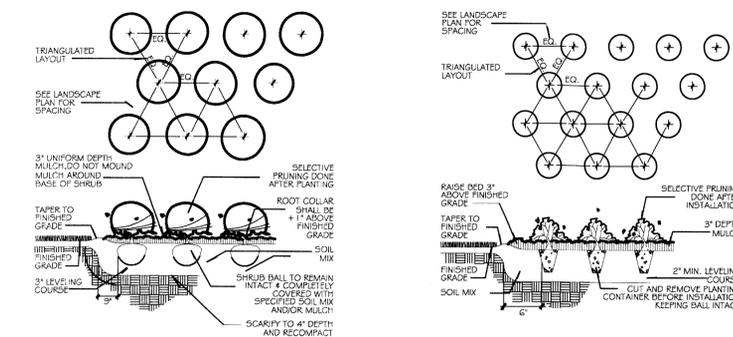
ADDITION AND ALTERATIONS TO:
McHENRY COUNTY MENTAL HEALTH BOARD
620 DAKOTA STREET
CRYSTAL LAKE, ILLINOIS

date	description
03/13/10	ISSUED FOR PERMIT

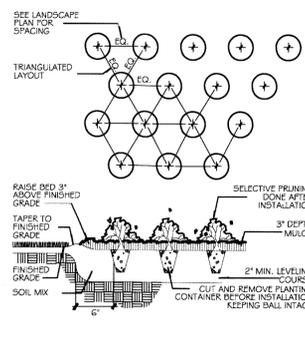
PHOTOMETRIC SITE PLAN

Corporation Registration #184.005374
KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
5420 SOUTH WESTRODGE DRIVE
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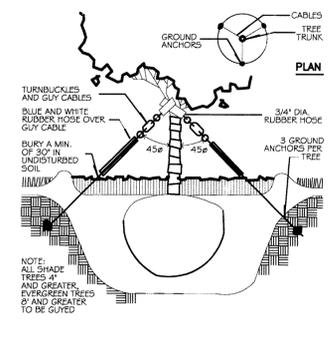
E002



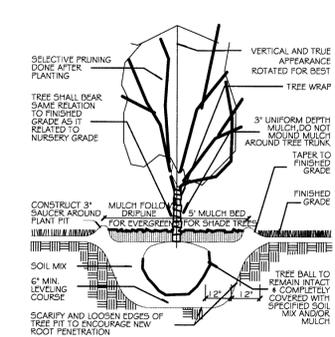
2 SHRUB DETAIL
L100 NOT TO SCALE



3 GROUNDCOVER DETAIL
L100 NOT TO SCALE

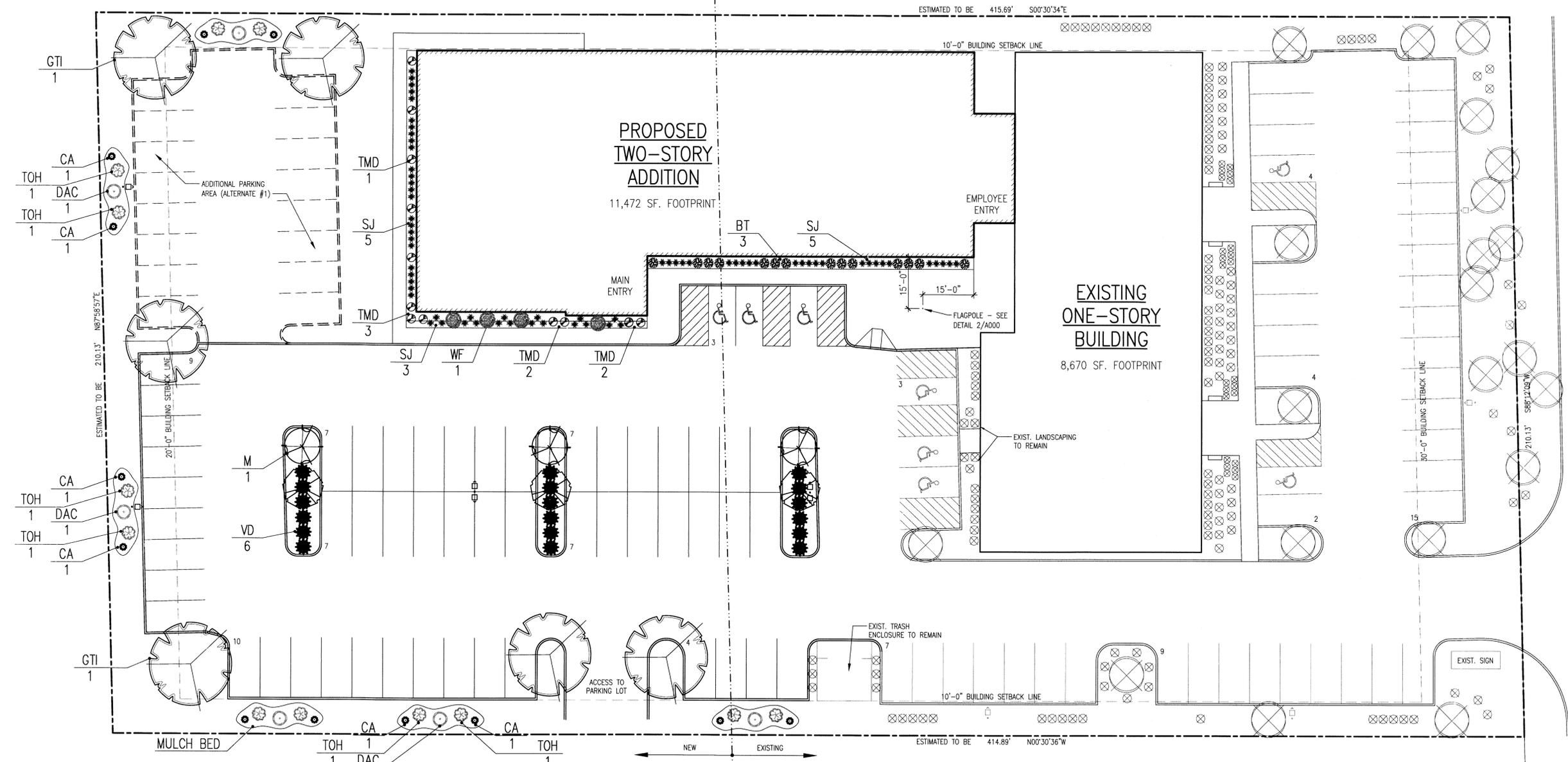


4 TREE GUYING DETAIL
L100 NOT TO SCALE



5 SHADE TREE DETAIL
L100 NOT TO SCALE

PLANT LIST				
KEY	QTY.	BOTANIC NAME	COMMON NAME	SIZE
DAC	6	DICTAMNUS ALBUS 'COMPACT'	COMPACT BURNING BUSH	30" HT.
M	3	MALUS 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE	2"
TOH	12	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	4'
VD	18	VIBURNUM DENTATUM 'BLUE MUFFIN'	"BLUE MUFFIN" ARROW-WOOD VIBURNUM	1 GAL
SJ	50	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIRAEA	1 GAL
CA	12	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	KARL FORESTER FEATHER REED GRASS	1 GAL
BT	14	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	1 GAL
GTI	6	GLEDITSIA TRIACANTHOS 'INERMIS'	SKYLINE HONEYLOCUST	3"
TMD	12	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	18"
WF	4	WEIGELA FLORIDA 'WINE AND ROSES'	WINE AND ROSES WEIGELA	24"
⊗ VARIOUS SIZES AND SPECIES OF EXISTING SHRUBS AND TREES (TO REMAIN)				
ALL BEDS MULCHED IN 3" HARDWOOD SHREDDED BARK MULCH				



1 LANDSCAPE PLAN
L100 EXIST. LANDSCAPING SHOWN LIGHT
1/16" = 1'-0"

date	description
08/16/10	FINAL PUD