



## #2012-51 Jenkins - 627 Leonard Parkway Project Review for Planning and Zoning Commission

---

**Meeting Dates:** August 1, 2012

**Requests:**

1. Special Use Permit to allow a detached accessory structure greater than 600 square feet to allow the garage to be approximately 720 square feet;
2. Variation from Article 7, Nonconformities, to allow the existing nonconformity (detached garage) to expand;
3. Variation from Article 10, Definitions, to allow the dormers to be wider than 40% of the length of the side elevation.

**Location:** 627 Leonard Parkway

**Acreage:** ≈ 0.38 acres

**Existing Zoning:** “R-2” Single-Family Residential

**Surrounding Properties:**

North:	“R-2” Single-Family Residential
South:	“R-2” Single-Family Residential
East:	“R-2” Single-Family Residential
West:	<i>Crystal Lake</i>

**Staff Contact:** Latika Bhide (815.356.3615)

---

**Background:**

- **Location:** 627 Leonard Parkway, north of Lake Shore Drive
- **Zoning:** “R-2” Single-Family Residential
- **Development:** Leonard Manor Addition to Crystal Lake, approved in 1921
- **Existing Improvements:** 2-story frame residence with detached garage
- **Request:** Special Use Permit to allow a detached accessory structure greater than 600 square feet to allow 720 square feet on two stories. Variations to allow an existing nonconformity to expand and allow dormers to be wider than 40% of the length of the side elevation.



**Land Use Analysis:**

- **Dimensional Standards:** The property is a conforming (lake-fronting) lot in the “R-2” district. A Plat of Survey for this property was not available, but the existing detached

garage is located within a couple of feet of the property line (yard abutting street) and is considered a non-conforming structure.

- Details: The petitioner has indicated that the roof for the existing garage was damaged during a recent microburst. Because the existing home has no basement, the petitioner would like to add storage to the existing garage while replacing the roof. The petitioner is requesting a special use permit and variations to remodel the garage as presented.
  - The footprint of the existing garage will not be altered and remain as-is. However, the volume of the garage would be increased with the proposed storage.
  - An approximately 320-square-foot attic storage is being proposed with access via a pull-down stair.
  - Two dormers are proposed on the north and south side of the garage. Per the UDO, dormers are allowed to be no wider than 40% of the length of the side elevation, which in this case would be 8.12 feet. The proposed dormers would be 12 feet in width.
- Other Details: The City has received a letter, supportive of the project, from the property owners at 635 Leonard Parkway, immediately to the north.

### **Findings of Fact:**

#### **SPECIAL USE PERMIT**

The petitioner is requesting approval of a Special Use Permit Amendment for a detached accessory structure to be greater than 600 square feet. Due to their unique nature, Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 of the Unified Development Ordinance establishes the general standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.  
 *Meets*                       *Does not meet*
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.  
 *Meets*                       *Does not meet*
3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.  
 *Meets*                       *Does not meet*
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.  
 *Meets*                       *Does not meet*

- 5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.

*Meets*                       *Does not meet*

- 6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.

*Meets*                       *Does not meet*

- 7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.

*Meets*                       *Does not meet*

- 8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.

*Meets*                       *Does not meet*

- 9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.

*Meets*                       *Does not meet*

- 10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.

*Meets*                       *Does not meet*

**UNIFIED DEVELOPMENT ORDINANCE VARIATION**

The granting of a Variation rests upon the applicant proving practical difficulty or hardship caused by the Unified Development Ordinance requirements as they relate to the property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing. Before recommending any Variation, the Planning and Zoning Commission and City Council shall first determine and record its findings that the evidence justifies the conclusions that:

- 1. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

True                                       False

- 2. Also, that the variation, if granted, will not alter the essential character of the locality.

True                                       False

The Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

1. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;  
 True  False
2. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;  
 True  False
3. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or  
 True  False
4. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.  
 True  False

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the Variation be denied.

**Recommended Conditions:**

If a motion is made to recommend approval of the petitioner's request, the following conditions are suggested:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application, received 7-16-2012
  - B. Addition Drawings, Kang Architects, received 7-16-12
2. The following variations are hereby granted:
  - a. Variation from Article 7, Nonconformities, to allow the existing nonconformities (detached garage) to expand.
  - b. Variation from Article 10, Definitions, to allow the dormers to be wider than 40% of the length of the side elevation.
3. A Special Use Permit to allow a detached accessory structure greater than 600 square feet to allow the garage to be approximately 720 square feet on two stories;
4. No habitable second-story is permitted within the garage. The attic area must be used solely for storage.
5. The petitioner shall address all of the review comments and requirements of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

RECEIVED  
JUL 16 2012  
BY: 5 1 2012

**Application for Simplified Residential Variation**

Application Number: \_\_\_\_\_ FOR OFFICE USE ONLY  
Project Name: \_\_\_\_\_  
Date of Submission: \_\_\_\_\_

**I. Applicant**

Julie Jenkins  
Name  
627 Leonard Pkwy  
Street  
Crystal Lake IL 60014  
City State Zip Code  
815-455-8255 JCO-JCO@comcast.net  
Telephone Number Fax Number E-mail address

**II. Owner of Property (if different)**

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Address Telephone Number

**III. Project Data**

1. a. Location/Address: 627 Leonard Pkwy Crystal Lake-60014  
b. PIN #: 19-06-251-007

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:  
No BASEMENT - LOOKING TO ADD STORAGE SPACE ABOVE EXISTING GARAGE

IS THE HARDSHIP SELF-CREATED? No

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY? *No*

\_\_\_\_\_  
\_\_\_\_\_

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY? *No*

\_\_\_\_\_  
\_\_\_\_\_

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUSBTANTIALLY INCREASE THE DANGER OF FIRE; OT ENDANGER PUBLIC SAFETY? *No*

\_\_\_\_\_  
\_\_\_\_\_

3. List any previous variations that are approved for this property: \_\_\_\_\_  
\_\_\_\_\_

**IV. Signatures** *815-701-1253(c)*

*ED BRANDWEIN Ed Brandwein 7-13-12*

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

*Julie Jenkin's Julie Jenkin's 7-10-2012*

OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

## **PUBLIC NOTICE**

### **BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE APPLI-  
CATION OF JULIE JENKINS

#### **LEGAL NOTICE**

Notice is hereby given in compli-  
ance with the Unified Development  
Ordinance (UDO) of the City of  
Crystal Lake, Illinois, that a public  
hearing will be held before the  
Planning and Zoning Commission  
of the City of Crystal Lake upon the  
application of Julie Jenkins for ap-  
proval of a special use permit and  
variations relating to the following  
described real estate commonly  
known as 627 Leonard Parkway,  
Crystal Lake, Illinois 60014, PIN:  
19-06-251-007

This application is filed for the  
purposes of seeking a Special Use  
Permit to allow a detached acces-  
sory structure greater than 600  
square feet to allow the garage to  
be approximately 720 square feet  
on two stories pursuant to Articles  
4-600 D and 9.

This application is also filed for  
the purposes of seeking variations  
from Article 7, Nonconformities and  
Article 3, Density and Dimensional  
Standards, to allow an existing de-  
tached accessory structure (garage)  
to be enlarged; as well as any other  
variations that may be necessary to  
allow the plans as presented.  
Plans for this project can be viewed  
at the City of Crystal Lake Planning  
and Economic Development De-  
partment of City Hall.

A public hearing before the Plan-  
ning and Zoning Commission on  
the request will be held at 7:30  
p.m. on Wednesday, August 1,  
2012, at the Crystal Lake City Hall,  
100 West Woodstock Street, at  
which time and place any person  
determining to be heard may be  
present.

Tam Hayden, Chairperson  
Planning and Zoning Commission  
City of Crystal Lake  
(Published in the Northwest Herald  
July 17, 2012)



July 24, 2012

Pursuant to the matter of the Application of Julie Jenkins, 627 Leonard Parkway, Crystal Lake, Il PIN 19-06-251-007:

Kevin & Meredith Korpak, 635 Leonard Parkway (next door neighbor) have no objections to the proposed Special Use Permit application presented by Julie Jenkins.

If I can provide any additional information, please feel free to call me at +1.815.341.0017.

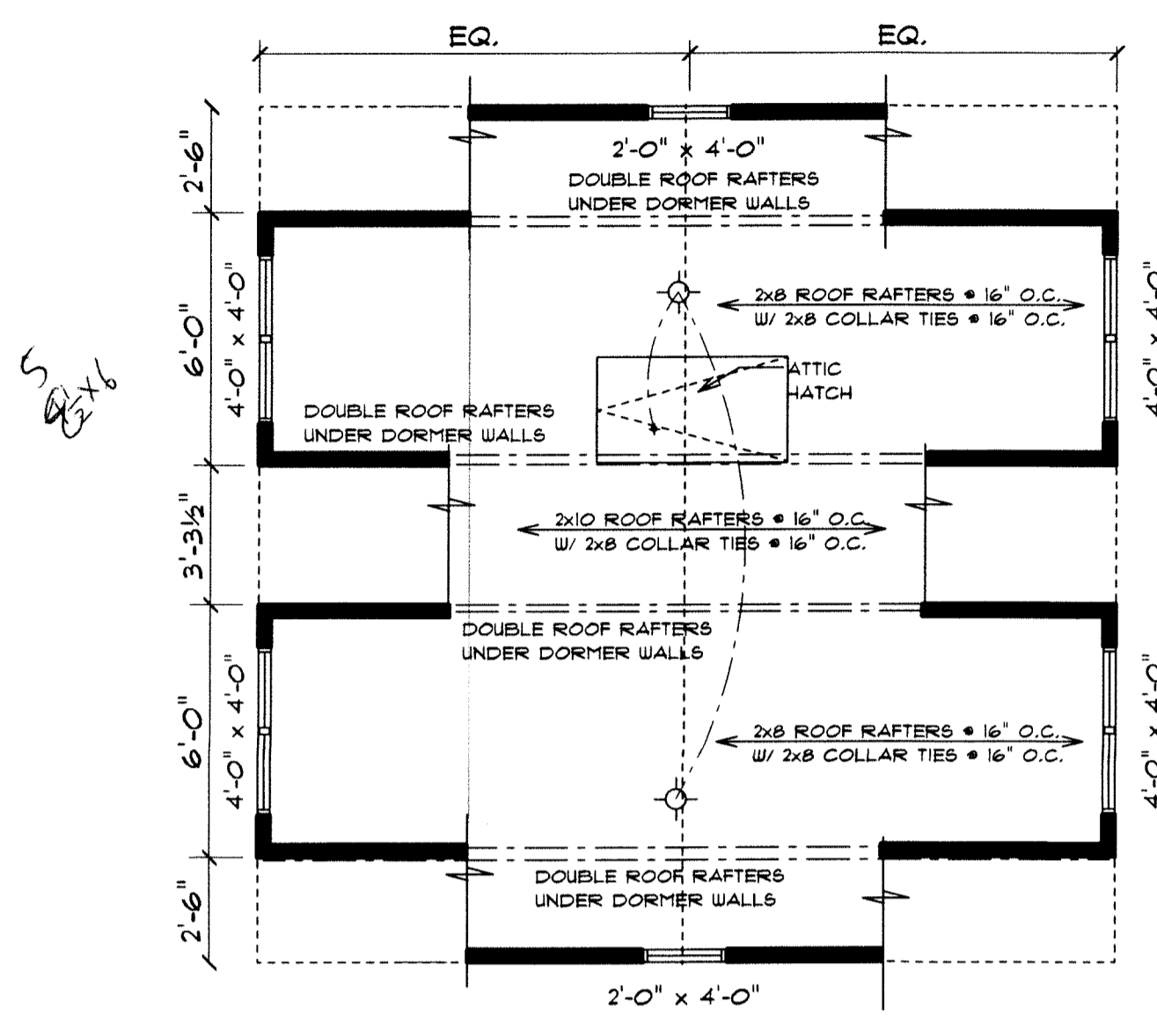
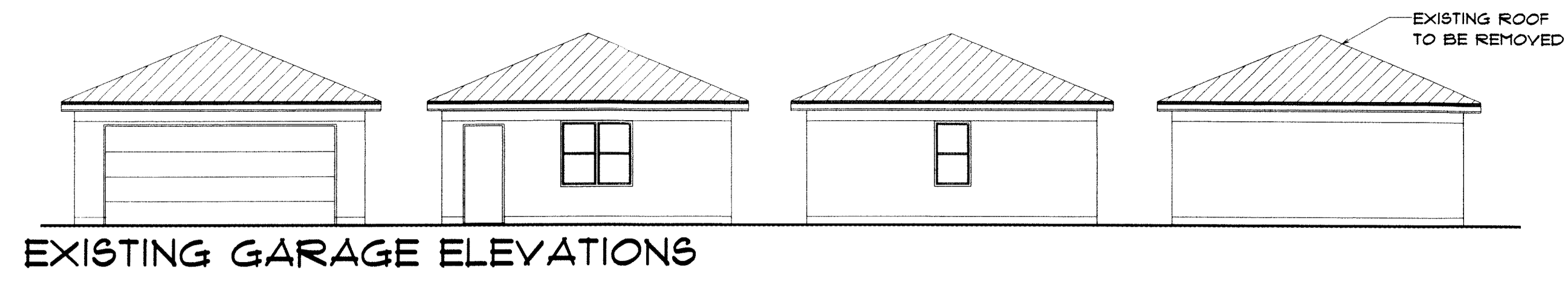
Kindest Regards,

A handwritten signature in cursive script, appearing to read "Kevin Korpak".

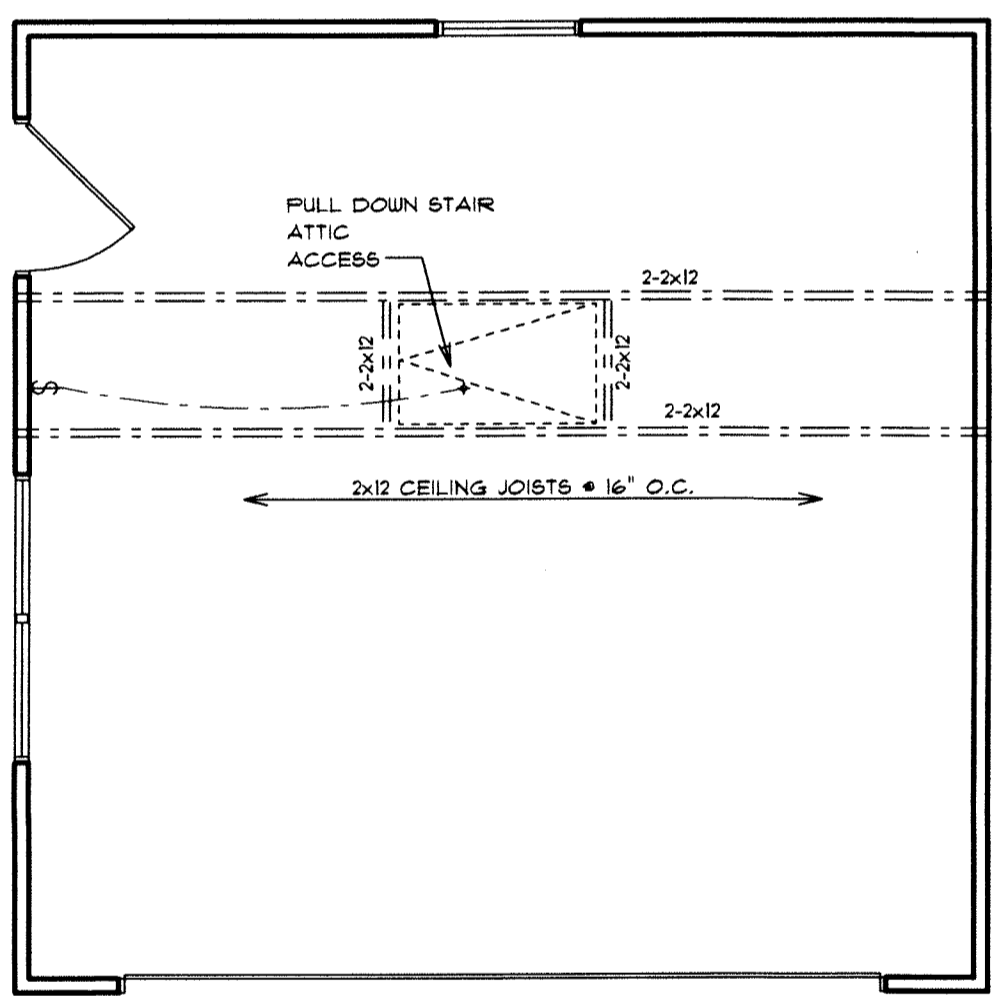
Kevin Korpak



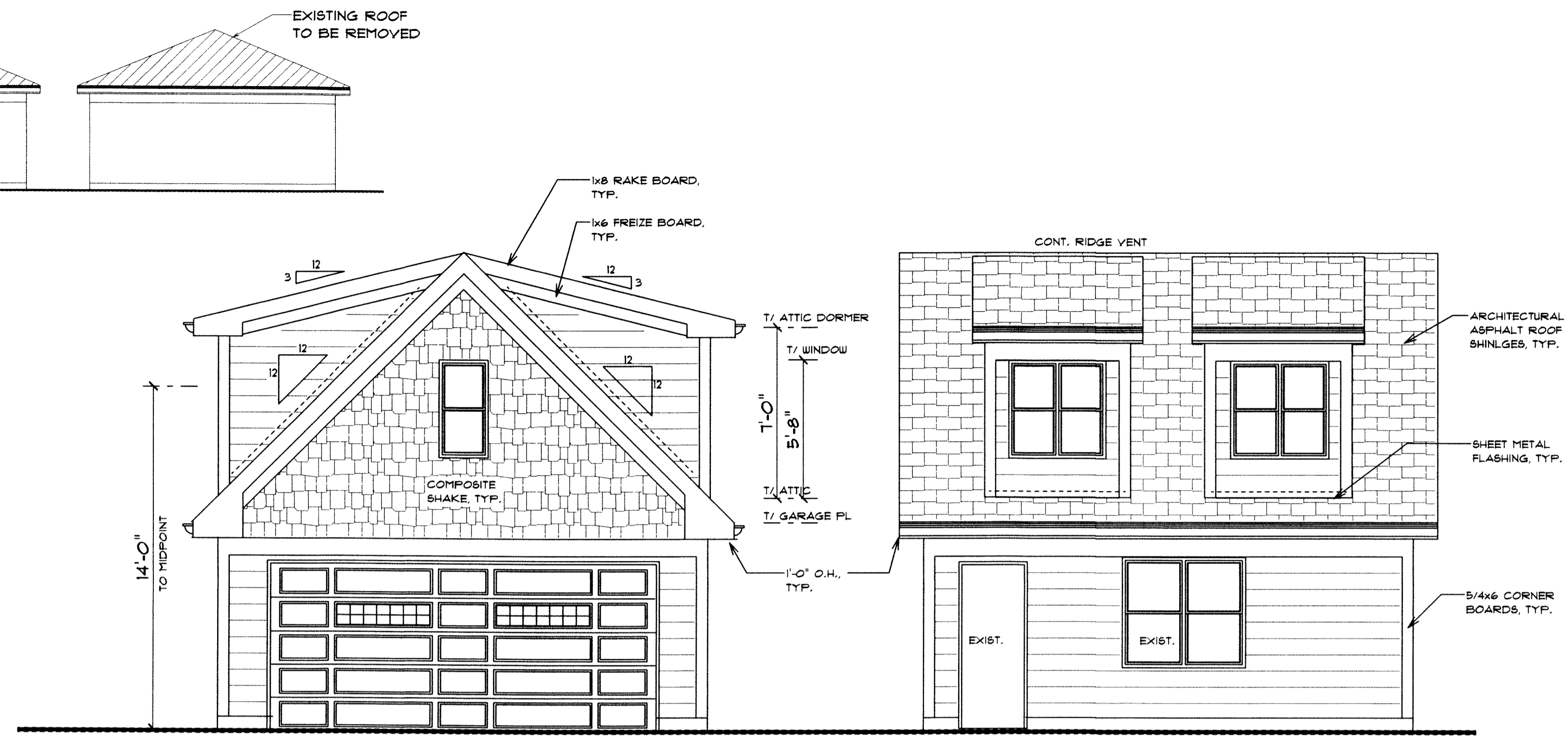
RECEIVED  
JUL 16 2012  
BY: 5 1 2012



ATTIC PLAN  
SCALE: 1/4"=1'-0"

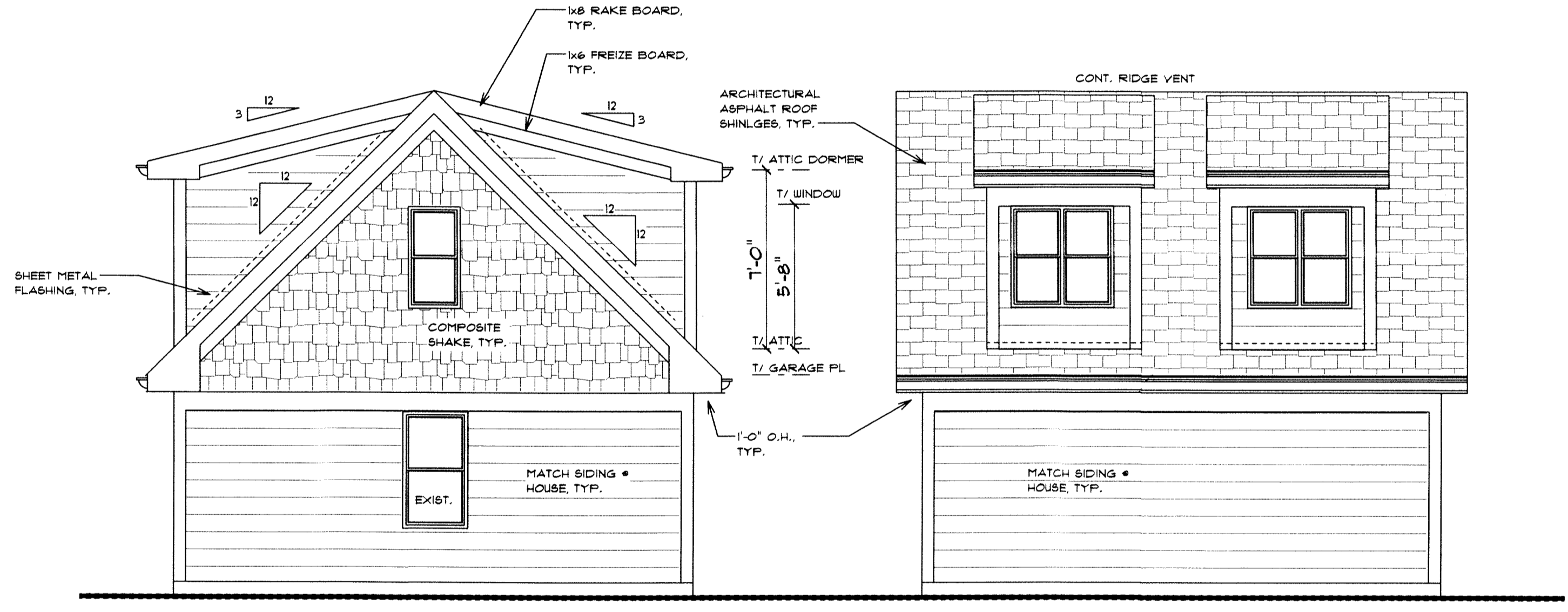


GARAGE PLAN  
SCALE: 1/4"=1'-0"



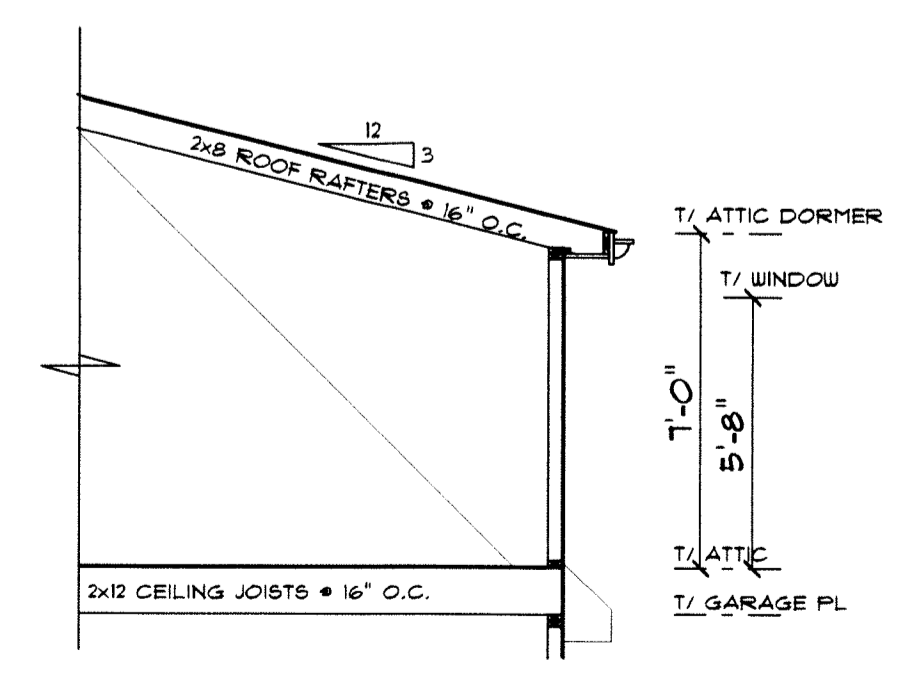
FRONT ELEVATION  
SCALE: 1/4"=1'-0"

LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

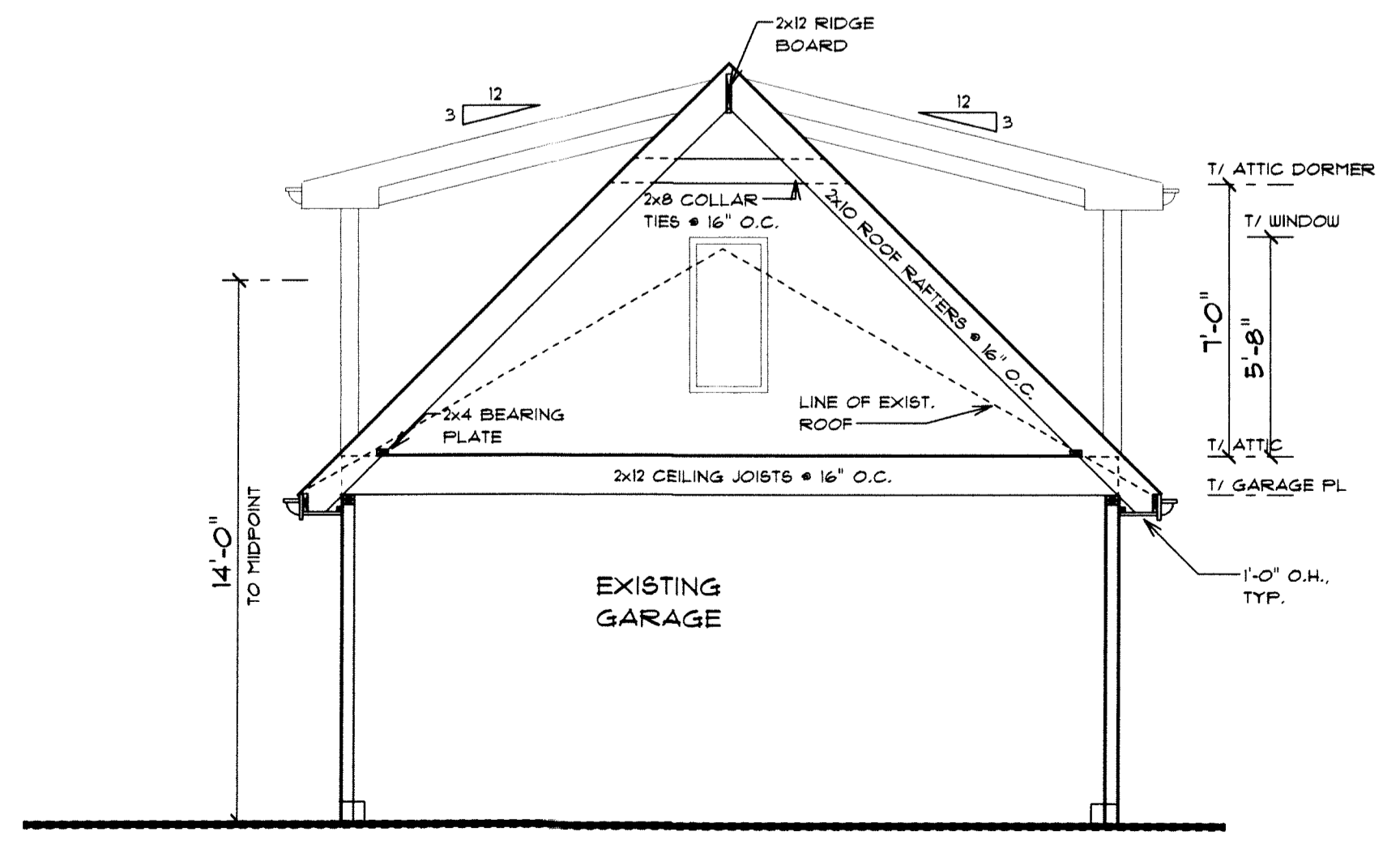


REAR ELEVATION  
SCALE: 1/4"=1'-0"

RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



SECTION @ DORMER  
SCALE: 1/4"=1'-0"



FRONT ELEVATION  
SCALE: 1/4"=1'-0"

**GENERAL NOTES:**

- All work shall be performed in accordance with all applicable local, state, federal & national codes and ordinances having jurisdiction.
- The contractor & its sub-contractors shall verify all dimensions. Report any discrepancies in the plans to the Architect before commencing with any work or be responsible for same.
- DO NOT SCALE DRAWINGS. Verify dimensions & field conditions by each sub-contractor.
- All carpentry, plumbing, hvac, electrical work is to be coordinated between the trades as part of their installation layout.
- The Architect shall not have control or charge of & not be responsible for construction means, methods, techniques, sequences or procedures or safety precautions & programs in connection with the work or for the acts or omissions of the sub-contractor, or any other persons performing the work, or failure of any of them to carry out the work in accordance with the intent of the construction documents.
- Verify installation requirements & specifications of all items supplied by others before starting work related thereto.
- Do not start work if the sub-surfaces are defective. The commencement of sub-contractor's work shall constitute acceptance of sub-surfaces.
- Should undesirable soil conditions arise, notify the Builder & Architect before proceeding with any further work.
- Excavator to stock pile spoil material as directed by the Builder. Provide soil erosion control as required by the governing agency.
- Contact J.U.L.I.E. 48 hours before performing any underground work.
- Each sub-contractor shall obtain and provide necessary bonds, permits & inspections as required by the municipality, county, state or other agencies having jurisdiction.
- Verify locations of electric, gas, water & sewer service with the Builder before installation.
- Current insurance certificates (ie. liability, workmen's compensation, etc.) must be submitted to the Builder before proceeding with any work.
- Truss manufacturer to design & fabricate floor & roof trusses in accordance with applicable codes if indicated on the plans. The minimum live loads for floors shall be 40 p.s.f. The minimum snow load shall be 30 p.s.f. The minimum dead loads for floors & roofs shall be 10 p.s.f. The minimum bottom chord loads for roof trusses with accessible attic shall be 20 p.s.f. and 10 p.s.f. for inaccessible attics. 100 p.s.f. for stair loads.
- Construction lumber shall be Spruce-Pine-Fir, No. 1000, # 2 or better unless otherwise noted. Wood in contact with ground or concrete shall be pressure treated. Shim all sill plates & provide sill sealer. GROUT sill plates with 3/4" space greater than 1/4".
- Engineered floor joists & beams (ie. TJI, Microlam LVL, etc.) shall be installed in accordance with manufacturers specifications.
- Door and window headers shall be 2x12's with plywood spacers on the first floor & 2x10's on the second floor unless otherwise noted on the plans.
- Carpenter shall provide all backing necessary for bath accessories, medicine cabinets, stair railing, closet rods, drywall, etc.
- Concentrated loads from headers & beams shall be solid blocked down to beam, foundation or steel supports. Provide appropriate Simpson or equal hangers at all intersecting framing members as required. Provide 1/2" plywood or drywall firestopping in soffits, tubs & showers.
- Fill oversized pipe holes with approved firestopping material.
- Provide double cripples under headers spanning greater than 5'-0".
- Drywall contractor shall scrap all his debris in their own dumpster & hauled away at their cost.
- All electrical work shall conform to the National Electric Code latest edition.
- All work shall be performed in good workmanlike manner. Each sub-contractor shall warranty their work for a period of one year from the date of occupancy from defects & workmanship and repair any defects at their own cost.
- Building codes shall take precedent over these plans if there exists a conflict. The sub-contractor shall not charge extra for items necessary to meet code requirements for his work.

JENKINS ADDITION

**KANG ARCHITECTS, INC.**  
38730 N. DEEP LAKE ROAD, LAKE VILLA, ILLINOIS 60046  
OFF: 847-356-6871 FAX: 847-356-0896

I hereby certify these plans have been prepared under my direct supervision and to the best of my knowledge and belief comply with the building codes of CHRYSTAL LAKE, IL.

*Sinsuk Kang*

Sinsuk Kang Architect, L.L.C. # 001-013955 Expires 11-30-12  
Professional Design Firm, L.L.C. # 184-003247 Expires 4-30-13

STATE OF ILLINOIS  
SINSUK KANG  
001-013955  
LICENSED ARCHITECT

1