



#2012-50
68 Carmella Drive (Rogers)
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	August 1, 2012
<u>Zoning Request:</u>	Special Use Permit for a detached accessory structure greater than 600 square feet to allow a pool and deck at 758 square feet.
<u>Location:</u>	68 Carmella Drive
<u>Acreage:</u>	10,400 sq. ft.
<u>Existing Zoning:</u>	R-1 PUD Single-family Residential
<u>Surrounding Properties:</u>	North: R-1 PUD Single Family Residential South: R-1 PUD Single Family Residential East: R-1 PUD Single Family Residential West: R-1 PUD Single Family Residential
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- The homeowners had constructed a deck and pool years ago. The deck needed repair and so the pool and deck were removed. The property owner would now like to reconstruct the deck and pool.
- The deck and pool are more than 6 feet from the principal structure making it a detached accessory structure.
- The deck is approximately 300 square feet and the pool is approximately 458 square feet. Since the two structures are adjoining they are considered attached. Their total square footage is 758 square feet.

Land Use Analysis:

- Accessory structures over 600 square feet require a Special Use Permit.
- The Special Use Permit process is designed to ensure there is no adverse impact to the surrounding property owners due to large accessory structures.

Findings of Fact:

SPECIAL USE PERMIT

Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*
3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*
6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*
7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*
8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*

9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.

Meets *Does not meet*

10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.

Meets *Does not meet*

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future residential areas including a combination of single-family and multi-family housing types. The following goal is applicable to this request:

Land Use

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the City that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Recommended Conditions:

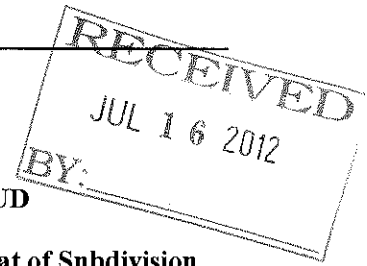
If a motion to recommend approval of the Special Use Permit at 68 Carmella Drive is granted, the following conditions are recommended:

1. Approved plan, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Rogers, received 07/16/12)
 - B. Plat of Survey/Site Plan (Unnamed, undated, received 07/16/12)
2. No structure or attachment shall be constructed between the deck or pool and the principal residence. The pool and deck must remain at least 6 feet from the principal structure.
3. The petitioner shall comply with all of the requirements of the Engineering and Building, and Planning and Economic Development Departments.

**City of Crystal Lake
Development Application**

Office Use Only 50 2012
File # _____

Project Title: Free standing deck for pool



Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Brad & Michele Rogers
Address: 68 Carmella Drive
Crystal Lake, IL 60012
Phone: 630-363-5570
Fax: _____
E-mail: Rogersfam68@att.net

Owner Information (if different)

Name: _____
Address: _____
Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: Addition of deck to above ground pool. Total
square footage including pool over 600 square feet.

Project Address/Location: 68 Carmella Drive, Crystal Lake, IL
60012

PIN Number(s): _____

Development Team

Please include address, phone, fax and e-mail

Developer: Brad Rogers

Architect: Brad Rogers

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

Brad Rogers 7/14/2012
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.
Brad Rogers 7/14/2012
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS**

**IN THE MATTER OF THE APPLICA-
TION OF BRAD and MICHELE
ROGERS**

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Brad and Michele Rogers for approval of a Special Use Permit relating to the following described real estate commonly known as 68 Carmella Drive, Crystal Lake, Illinois 60014, PIN: 14-32-128-004

This application is filed for the purposes of seeking a Special Use Permit to allow a detached accessory structure greater than 600 square feet in area for a deck and swimming pool pursuant to Articles 4-600 D, 9-200 A and 9-200 D; and any other variations as necessary to allow the construction of the structure as presented. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:30 p.m. on Wednesday, August 1, 2012, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
July 17, 2012)

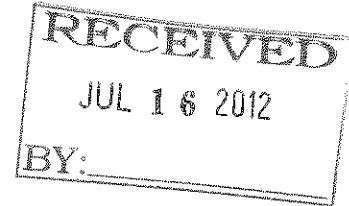
COMPLETE
MANAGEMENT SOLUTIONS, INC.
helping your association thrive



March 28, 2011

Brad & Michele Rogers
68 Carmella Drive
Crystal Lake, IL 60012

50 2012



Dear Mr. & Mrs. Rogers,

This letter is to advise you that the Alterations and Additions request submitted and received March 25, 2011 for the installation of a deck for half of your above ground pool has been reviewed and approved. Your estimated completion date is noted as July 31st.

Thank you for submitting your Alterations and Additions Form and detailed plans.

Sincerely,

Lynda Potas
Property Manager

C: Board of Directors



5 0 2012

revised 07/13/10

WALKUP AT THE PARK HOMEOWNER ASSOCIATION ALTERATIONS & ADDITIONS FORM/INSTRUCTIONS

RECEIVED
JUL 16 2012
BY: _____

Homeowner(s): Lana & Michele Rogers Date: 3/24/2011

Address: 68 Carmella Drive Phone: 815-477-3836

Description of Improvement (Plans Attached): Construct Deck for 1/2 of above ground pool

Approximate Cost: \$3000.00 J.U.L.I.E. DIG# _____

Est. Start Date: May 2011 Est. Completion Date: July 2011

NOTE: BE SURE THIS IMPROVEMENT CONFORMS TO ANY REQUIREMENTS SET FORTH BY THE CITY, COUNTY, STATE, ETC. AND THAT ANY NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO WORK COMMENCING. YOU MUST BE CURRENT WITH YOUR ASSESSMENT ACCOUNT TO HAVE YOUR APPLICATION APPROVED. THE BOARD HAS 30-DAYS TO APPROVE OR REJECT ALL APPLICATIONS.

A SKETCH, OR PLAT OF SURVEY SHOWING ALL IMPROVEMENTS MUST BE ATTACHED TO THIS APPLICATION SHOWING LOCATIONS AND DIMENSIONS RELATIVE TO EXISTING STRUCTURES.

As a homeowner of the Walkup at the Park Homeowner Association, I agree to follow the rules of the Association and the City of Crystal Lake in the completion of this improvement.

B. Rogers

Homeowner Signature

I agree no contractor sign to be displayed at site.

NOTE: FAILURE TO RECEIVE APPROVAL FOR THE ALTERATION OR ADDITION WILL RESULT IN A \$100 FINE ASSESSED TO YOUR ACCOUNT. PROJECT MUST BE COMPLETED 30 DAYS FROM APPROVAL DATE UNLESS OTHERWISE SPECIFIED.

Information Below is for Management Use Only

Date Received: 3-25-11 By: [Signature]

Date Approved: 3-28-11 By: [Signature]

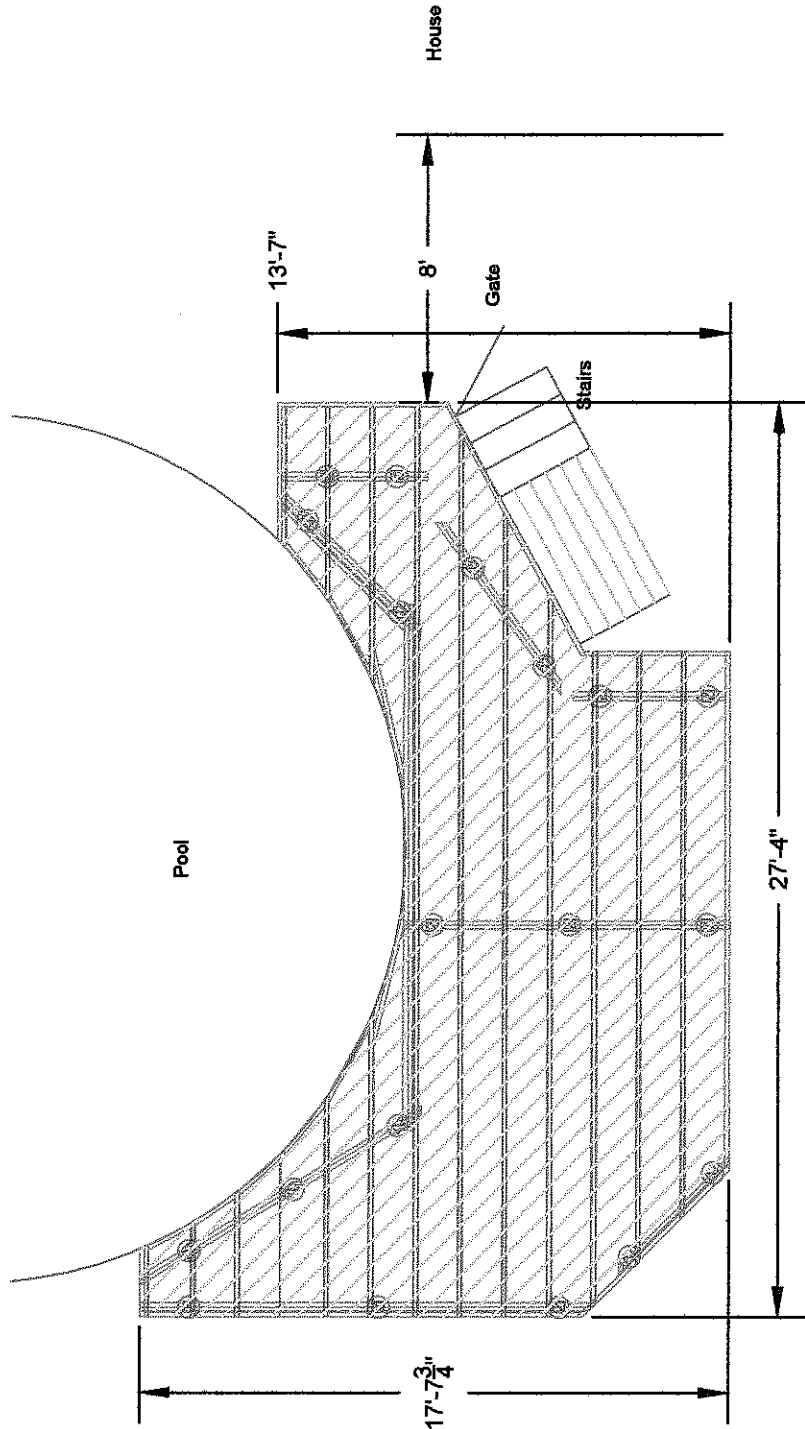
If Not Approved, Why? _____

Management Review Date Once Completed: _____

RECEIVED
JUL 16 2012
BY:

50 2012

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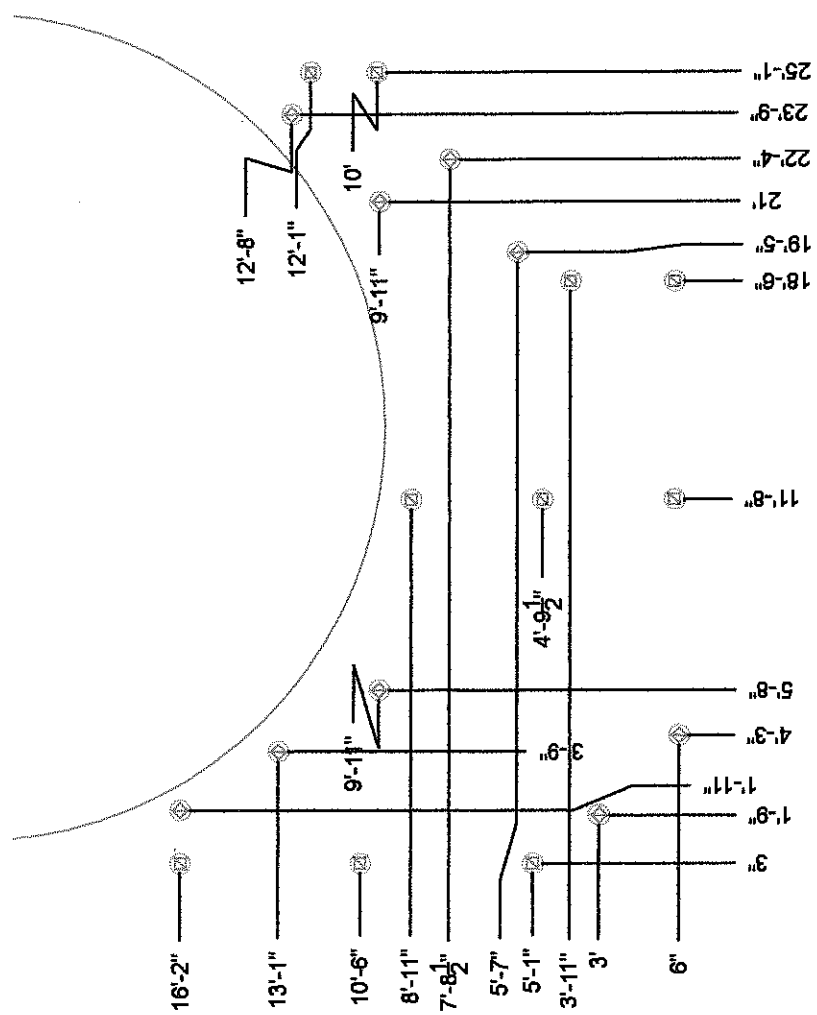


- Overview of Major Materials:
1. 8" sonotube for concrete - 42" deep
 2. 4X4 pressure treated posts, secured to concrete with Simpson Strong tie post anchors
 3. 2X6 (doubled) beams secured to 4X4 pressure treated posts with 3/8 X 5" anchors
 4. 2X6 joists
 5. 5/4 in. X 6 in pressure treated decking
 6. 3/4" high handrails with 3.5" spacing between balusters - all pressure treated

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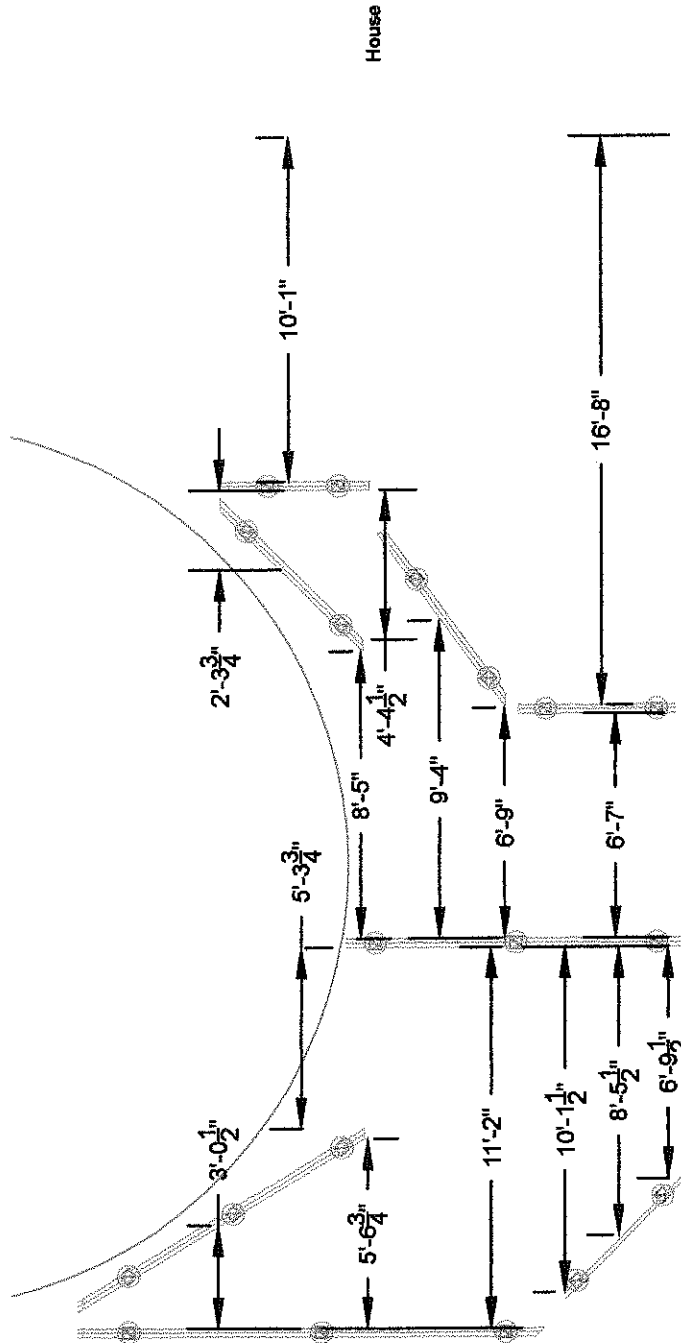
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19 Sonotube hole locations



Sonotube Hole Locations

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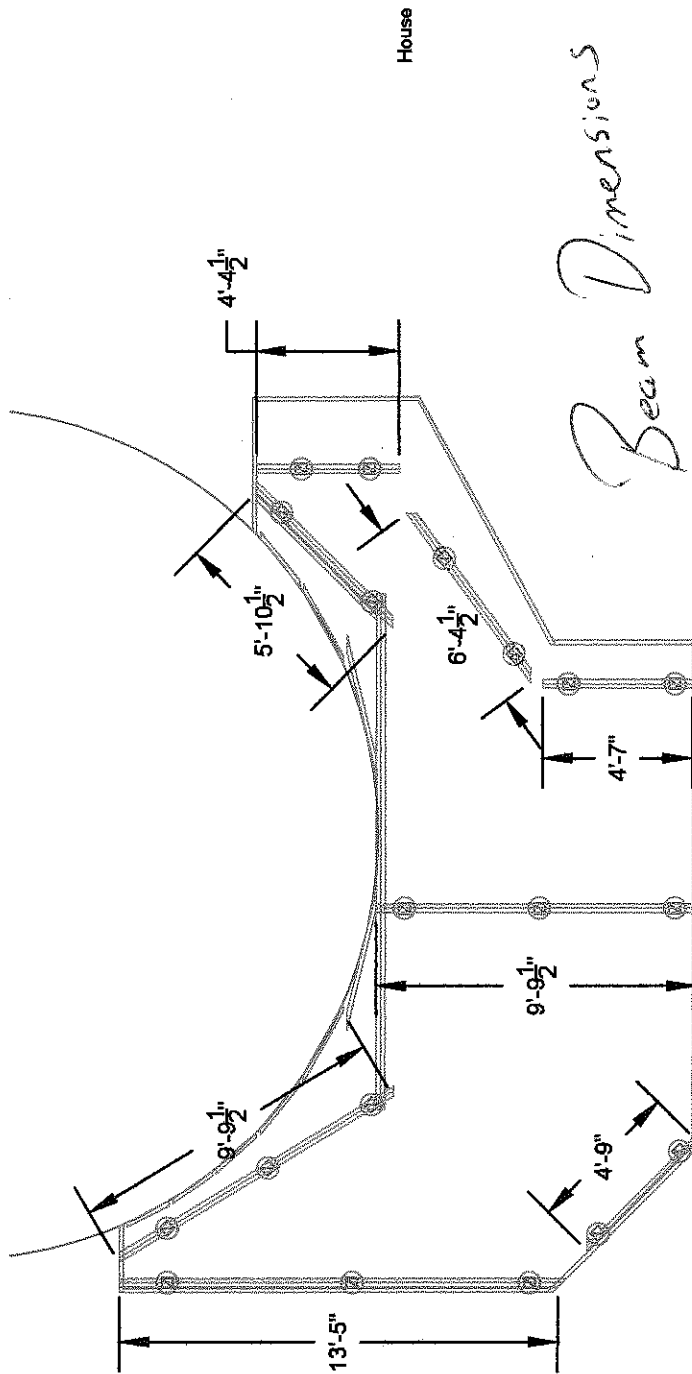
House

Beam Dimensions

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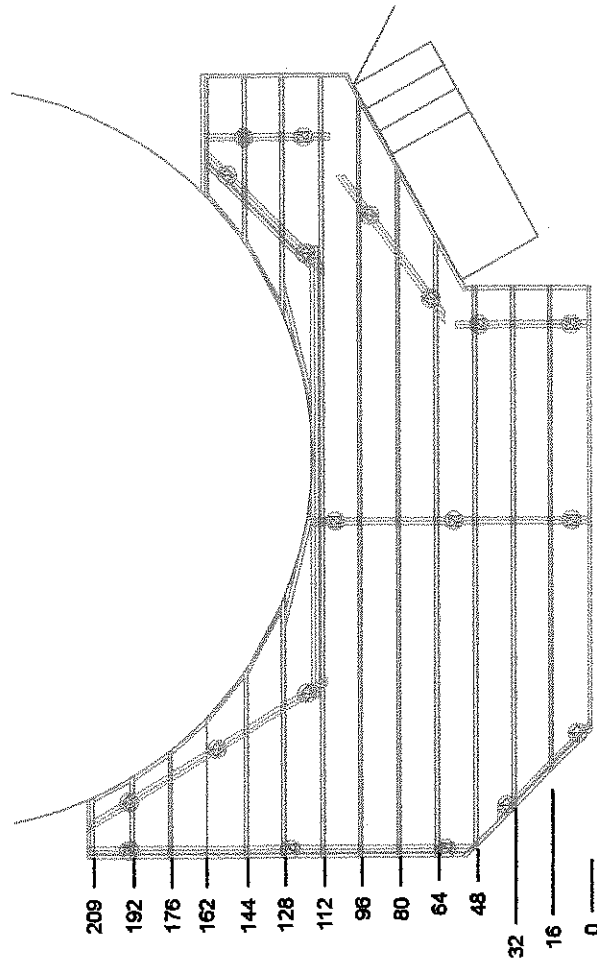


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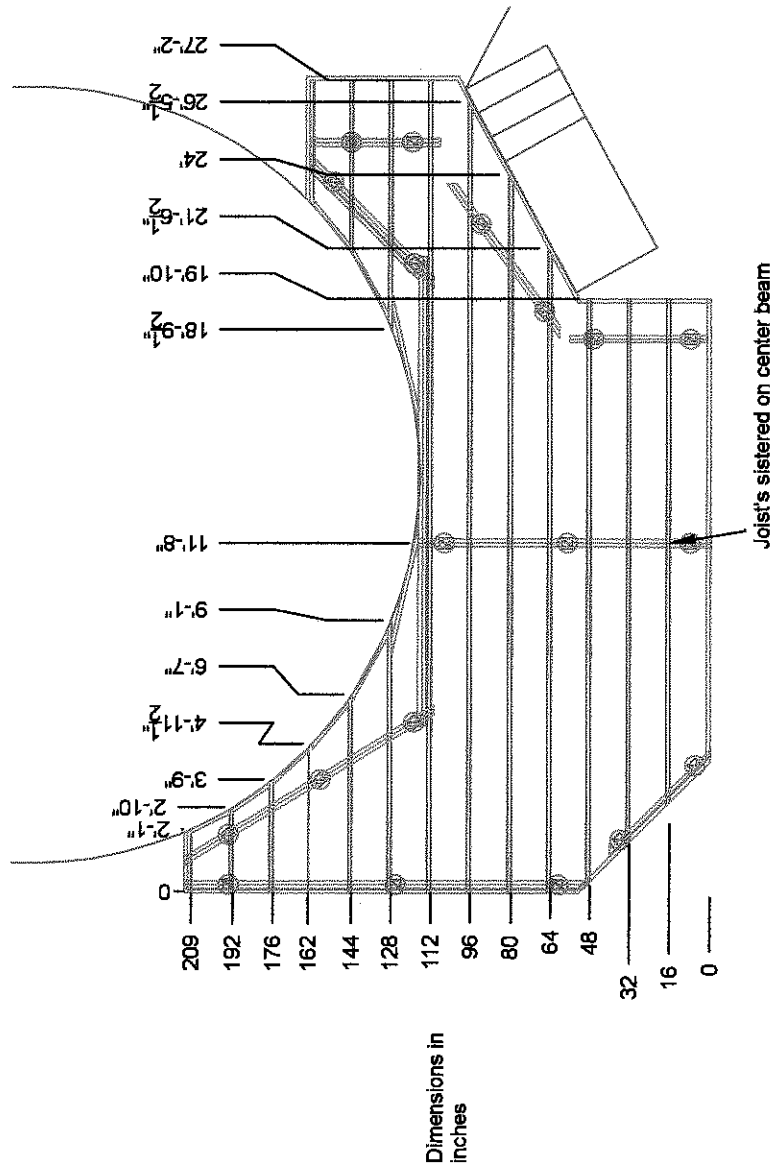
House



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House



16" centers for joists

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