



#2012-91
73 Lincoln Parkway (Harkins)
Project Review for Planning and Zoning Commission

Meeting Date: September 5, 2012

Zoning Requests

- 1) A Special Use Permit for a detached accessory structure greater than 600 square feet to allow a garage at 2,880 square feet.
- 2) A variation to the required 5-foot side yard setback to allow the garage to be 3.82 feet from the property line.
- 3) A variation from the maximum 20% of the side's length of a dormer to allow a dormer at 24.5 feet which is 61% of the side's length.

Location: 73 Lincoln Parkway

Acreage: 19,898 sq. ft.

Existing Zoning: R-2 Single-family Residential

Surrounding Properties:

North: R-2 Single Family Residential
South: R-2 Single Family Residential
East: R-2 Single Family Residential
West: R-2 Single Family Residential

Staff Contact: Elizabeth Maxwell (815.356.3615)

- Background:**
- The homeowner would like to remove an existing garage and construct a new garage. The new garage would be 960 square feet in area on each floor for a total of 2,880 square feet, requiring the Special Use Permit.
 - The homeowner is requesting to keep the new garage in the same location as the existing garage, which is 3.82 feet from the property line. All accessory structures are required to be a minimum of 5 feet from a side or rear property line.



73 Lincoln
Parkway garage

Land Use Analysis:

Special Use Permit

- Accessory structures over 600 square feet require a Special Use Permit.
- The Special Use Permit process is designed to ensure there is no adverse impact to the surrounding property owners due to large accessory structures.
- Each floor of the structure is 960 square feet, for a total of 2,880 square feet.

Setback

- Accessory structures are required to be a minimum of 5 feet from any rear or side property line. The existing garage is only 3.82 feet from the side yard property line. Since the existing garage will be removed any existing non-conformity is lost. The new garage should meet the required setbacks.

Dormer size

- Accessory structures are permitted to have a continuous dormer at a length not to exceed 20% of the structure's side length. In this case, that would be 8 feet.
- Accessory structures can have up to two dormers for a total length not to exceed 40% of the structure's side length. This would allow two dormers at a total of 16 feet.
- If the dormers are separated into two dormers and the center portion removed, it would meet ordinance requirements. A condition of approval to this affect has been added.

Height

- An accessory structure is permitted to be 15 feet tall. This height is measured at the midpoint of the roof line. The height of this garage is 15 feet.

Stories

- Stories are measured based on the height of the wall plates. Any wall plate over 4 feet in height constitutes a story. With a gambrel roof, the wall plates are only about a foot high for the upper floor, therefore, this structure is only one story in height.

Findings of Fact:

SPECIAL USE PERMIT

Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.

Meets *Does not meet*

2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.

Meets *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*
6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*
7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*
8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*
9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.
 Meets *Does not meet*
10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.
 Meets *Does not meet*

ZONING ORDINANCE VARIATIONS

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future residential areas including a combination of single-family and multi-family housing types. The following goal is applicable to this request:

Land Use

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the City that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines.

Housing

Goal: Promote strong neighborhoods by preserving their character and historical significance and ensuring that they are well served by a variety of community facilities and services.

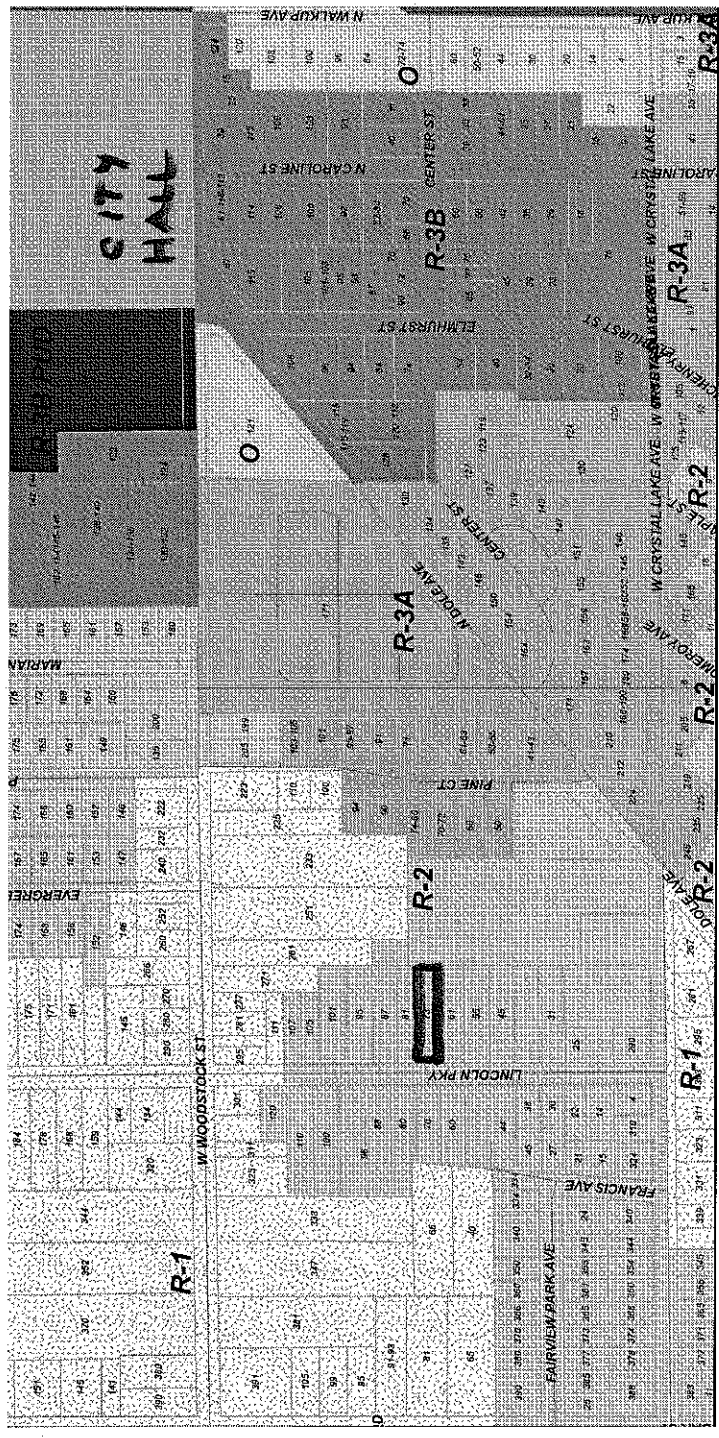
This can be accomplished with the following supporting action:

Supporting Action: Preserve the unique character of existing neighborhoods.

Recommended Conditions:

If a motion to recommend approval of the Special Use Permit at 68 Carmella Drive is granted, the following conditions are recommended:

1. Approved plan, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Harkins, received 08/13/12)
 - B. Architectural Plan Set (Unnamed, dated 08/09/12, received 08/13/12)
2. The garage shall not be utilized for living quarters.
3. Expansion of the garage in size and or volume shall require an amendment to the Special Use Permit.
4. The dormer should be split into two dormers, not exceeding 8 feet in length each, for a total of 16 feet of dormer area.
5. The garage shall not be located within any Public Utility Easement, Municipal Utility Easement or Public or Private Drainage Easement.
6. The north wall of the garage shall be 1-hour fire rated. New ventilation for the second floor is required as eave vents are not permitted
7. The petitioner shall comply with all of the requirements of the Engineering and Building, Fire Rescue, Public Works and Planning and Economic Development Departments.



City of Crystal Lake Development Application

Office Use Only
File # _____ 9 1 2012

Project Title: _____

RECEIVED
AUG 13 2012
BY: _____

Action Requested

- | | |
|-------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: REDMOND HARKINS
Address: 73 LINCOLN PARKWAY C.L.
Phone: 815 353 3970
Fax: _____
E-mail: redal@comcast.net

Owner Information (if different)

Name: _____
Address: _____
Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: Replace Garage detached

Project Address/Location: 73 LINCOLN PARKWAY C.L.

PIN Number(s): 14-32 376 017

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: ERIC PANGLE

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

REDMOND HARKINS [Signature] 8/9/12
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

**IN THE MATTER OF THE APPLICA-
TION OF REDMOND HARKINS**

LEGAL NOTICE

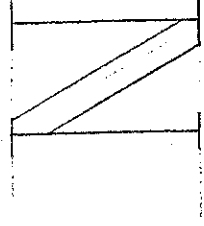
Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Redmond Harkins for approval of a Special Use Permit and variations relating to the following described real estate commonly known as 73 Lincoln Parkway, Crystal Lake, Illinois 60014, PIN: 14-32-376-017

This application is filed for the purposes of seeking a Special Use Permit to allow a detached accessory structure greater than 600 square feet in area; a variation to the required 5 foot side yard setback and a variation to the dormer length to allow a 2,880 square foot garage 3.82 feet from the side yard property line and continuous dormer which exceeds 20% of the length of the side; pursuant to Article 4-600 D, E 2, and F 3., Article 9-200 A and D; and any other variations as necessary to allow the construction of the structure as presented. Plans for this project can be viewed at the City of Crystal Lake Planning and Economic Development Department at City Hall.

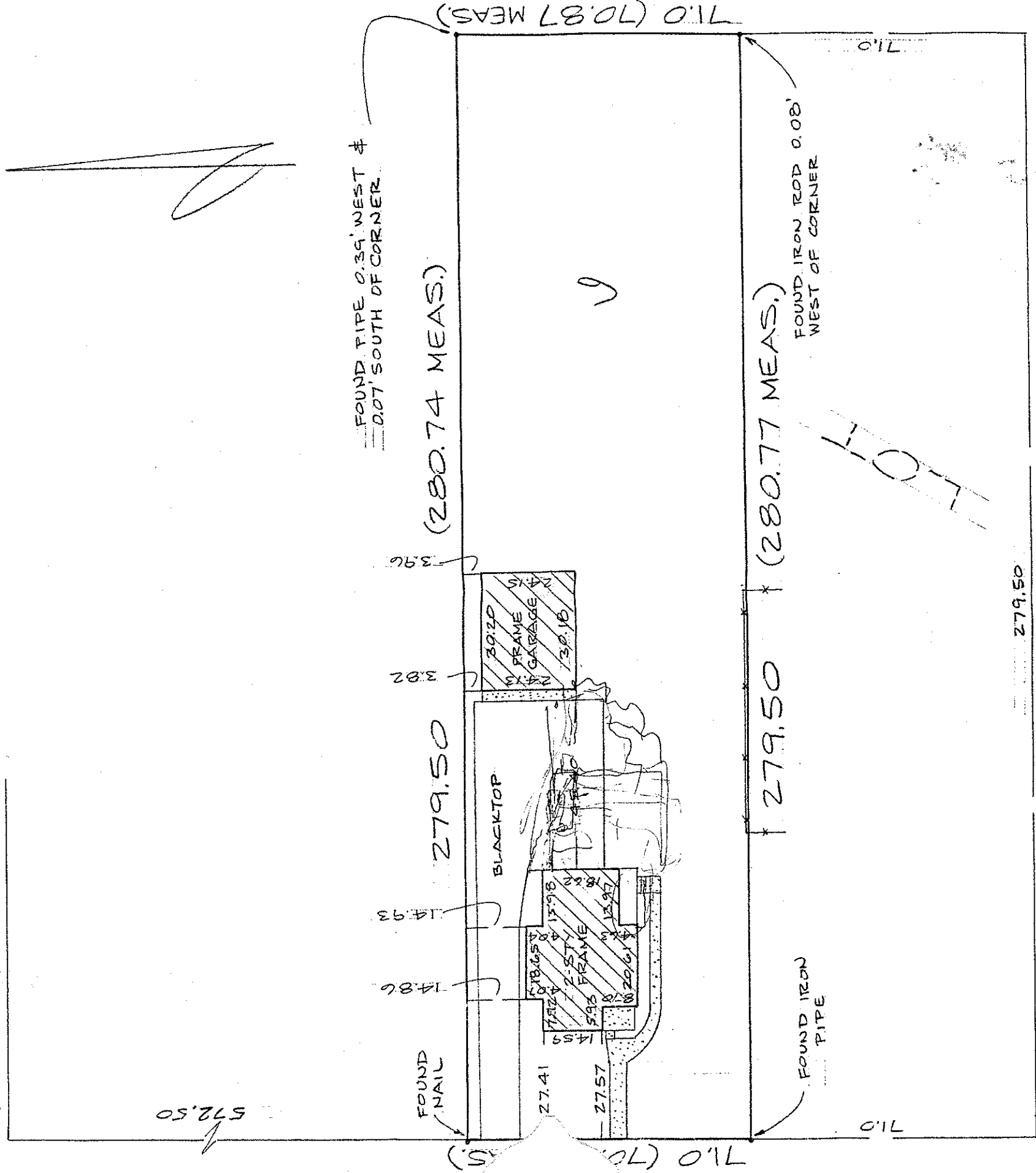
A public hearing before the Planning and Zoning Commission on the request will be held at 7:30 p.m. on Wednesday, September 5, 2012, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
August 21, 2012)

The North One-Half of Lot Number Six (6) in Block Number One (1) of Frisbie's Addition to Crystal Lake, in the Village of Crystal Lake, County of McHenry, State of Illinois.



W. OF WOODSTOCK ST.



RECEIVED
AUG 13 2012
9 1 2012
BY:

NOTE:
THIS SURVEY IS NOT CURRENT AND MIGHT NOT REFLECT THE PRESENT CONDITION OF THIS PROPERTY.

THIS SURVEY IS VALID ONLY WITH EMBOSSED SEAL.

Scale: 1" = 30'
Ordered: Don Brewer
Owner: Sroko
Page: 14-32-3
Drawn: [Signature]
Job: A48,758SL
City: Crystal Lake

STATE OF ILLINOIS ss APRIL 12, 1996
COUNTY OF KANE

I hereby certify that the buildings on lot shown are within property lines and that the adjoining improvements do not encroach on said premises.

[Signature: Alan J. Coulson]

Any discrepancy in measurements should be promptly reported to surveyor for explanation or correction.

WE DO NOT CERTIFY AS TO LOCATION OF UNDERGROUND IMPROVEMENTS.

I hereby certify that I have surveyed the above described premises according to the official record, and that the above plat correctly represents said survey.

[Signature: Alan J. Coulson]

ALAN J. COULSON, P.C.
PROFESSIONAL LAND SURVEYORS
ILLINOIS - WISCONSIN

205 W. MAIN ST.
W. DUNDEE, IL 60118
PHONE 708 - 426-2911

Compare the description on this plat with deed. Refer to deed for easements and building lines.

CONSTRUCTION and CODE NOTES

- All footings to bear on undisturbed soil (3,000 P.S.F. min).
- All concrete to be 3,000 PSI at 28 days.
- All reinforcing steel to be min. Fy-60KSI. Welded wire fabric shall be placed 2" from the top of the slab. Lapped 6" at edges.
- Concrete reinforcing shall have the following coverage: concrete deposited against soil 3" concrete exposed to ground 2" concrete in other locations 1 1/2"
- Structural steel to be A36.
- Provide plates, angles, connections, etc. to complete structural steel and misc. steel as required as indicated on drawings.
- Steel shims shall be used under steel beams and columns. Wood shims not approved.
- Exterior columns shall have decay protection, a min. of 3" diameter.
- Framing Notes:
 - Structural Lumber shall be min. S-P-F #2 or better Unless Noted Otherwise (UNO).
 - MicroLam (LVL) beams shall be min. Fb-2600 psi and Parallel (PSL) shall be min. Fb-2900 psi. Install per manufacturers specifications for multiple members and bearing.
 - Bridging to be Max. 8'-0" OC
 - Headers at exterior walls and interior bearing walls to comply with tables set forth in 2003 IRC
 - Double joists under parallel walls above block under perpendicular walls.
 - Double headers and rafters at skylight openings.
 - Install rafter ties where ceiling joists do not tie rafters at plate line (i.e. cathedral ceilings and tray ceilings).
 - Headers at exterior walls to be (2) 2x12's with 1/2" plywood plate. Headers at interior walls shall be (2) 2x10's.
- All joists and rafters bearing onto flush headers shall be supported by joist hangers.
- Notching joists shall comply with current codes.
- Provide double joists under all bath tubs, showers, kitchen islands and other fixtures with concentrated loads.
- Provide 1x3 cross bridging in floors with a maximum spacing of 8'-0" o.c. for conventional lumber.
- All bearing wall openings shall be framed with a minimum of (2) 2x12 headers with 1/2" plywood spacer.
- All non-bearing wall openings shall be framed as follows:
 - less than 48" (2) 2x8
 - 4'-0" to 8'-0" (2) 2x10
 - 8'-0" to 10'-0" (2) 2x12
- Wood sill plates shall be leveled and grouted or filled with insulation. Joist, rafters, headers framing into beams or other framing members shall be installed with Simpson or equal galv. metal hangers.
- Provide wood blocking for all fixtures, cabinets, etc.
- Firestopping per 2006 IRC Sec. 602.8
- Install vapor barrier at all insulated ceilings and exterior walls. Fill window and exterior door shim spaces with insulation or foam-in-place.
- Glazing, Windows and Escape Window Notes:
 - Comply with 2006 IRC Sec. 3101 for egress windows at bedrooms:
 - Min. Net clear opening = 5.7 SF (Except at grade = 5 SF)
 - Min. clear width = 20". Min. clear height = 22"
 - Max. sill height = 36 inches above floor
 - Windows and exterior doors to be clad-type (verify color) with insulating glass.
 - Glazing shall comply with 2006 IRC Sec. 308.
 - Hazardous locations requiring tempered glass include (but not limited to):
 - Full-lite doors or fixed panels of doors, storm doors
 - Glazing less than 18" above floor.
 - Glazing in doors and enclosures for tubs and showers including windows if glass is less than 60" above deck or surface.
 - Glazing adjacent to a door where the nearest vertical edge is within a 24" arc of the door in a closed position and whose bottom edge is less than 60" above the floor.
- Flashing:
 - Install Flashing at top and sides of window and door openings in frame walls. Install flashing at lintels and foundation at brick veneer walls (with Tyvek lapped over flashing a minimum of 4"). Install flashing at roof to wall junctions, deck to wall junctions and at roof valleys. Flash and counter-flash chimney as required.
 - Firestop all penetrations with drywall compound or other approved fire stopping material.
 - Provide flashing under shingles and siding at roof and wall intersection.
 - Flashing shall be pre finished aluminum.
 - Provide 15 lb. roll felt paper. Asphalt shingles to project 1" beyond edge of roof sheathing at fascia board.
 - Provide flashing at heads of all openings, sills, and trim boards to be caulked.
 - Provide ice and water shield 1'-6" on each side of valleys and 2'-0" extend on interior side of exterior walls and at intersections of vertical walls with roof slope.
 - Provide positive drainage at all areas where sloped roofs meet vertical structures. Provide crickets, roof saddles etc.
 - All vapor barrier joints, edges, punctures and penetrations to be sealed with vapor barrier tape to form continuous vapor barrier.
- Stair and Railing Notes:
 - Comply with 2006 IRC Sec. 314 For Stairways:
 - Maximum Riser: 7 3/4"
 - Minimum Tread: 10" (excluding nosing)
 - Minimum Head Room: 6'8" above nosing
 - Winders: Width no less than 6". Min width of 10" at a point 12" from converging end.
 - Comply with 2006 IRC Sec. 315 For Handrails and Guardrails:
 - Handrails shall have min. height of 34" and max. height of 38"
 - Handrails shall be continuous (except at newel posts) the full length of stairs.
 - Handrails shall be min. 1 1/2" away from wall and have ends returned to wall or post.
 - Handrail grip size shall comply w/ Sec. 315.2: 1 1/4" - 2" circular or max 2 1/4" wide w/ perimeter dimension of min. 4" not greater than 6 1/4".
 - 36" high guardrails required where height is greater than 30" above floor or grade.
 - Spacing of railing components shall not permit the passage of a 4" or greater sphere, except space formed by riser, tread and bottom rail shall be 6" or greater sphere.
- Use Type "W" gypsum board (Water-resistant) at damp locations. Use Cement Board ("like becker board" or "Durock") at wet locations.
- Pre-prime and/or pre-stain all exterior wood trim and siding on all sides prior to installation.
- All construction activity, movement, and/or placement of equipment materials or spoils shall be limited to the construction activity area.
- Wrap all trees with 2x6x8" boards wired together to protect trunks.
- Any trees damaged during construction will be replaced by contractor.
- Excavation as required to install foundations and footings into virgin soil, having the required bearing capacity. All soil and fill under and around foundation walls shall be mechanically compacted to 95% modified proctor in 12" lifts.
- All spoils not required for backfill shall be removed from site immediately.

PLUMBING NOTES

- All plumbing work shall comply with the Illinois Plumbing Code 2004
- At interior- Water supply to be type 1/2" copper with shutoffs and 1/2" air chambers at each fixture. Risers and showers to have 24" air chambers and shutoffs. At exterior- Water supply shall be Type K copper.
- Sanitary Sewer lines:
 - At exterior, underground: Cast Iron - Service Weights or extra heavy hub and spigot (ductile iron pipe also may be used).
 - At interior below slab: Cast Iron only
 - At interior above grade: Cast Iron, Galv. Steel, or Copper Type DWV.
- Install hot water recirculation line to Master Bath.
- New waste to include:
 - Master bath fixtures, Mechanical room equipment. Provide new sanitary and vent lines as required for connections to new fixtures.
- New supply to include:
 - Master bath fixtures & Mechanical room
- New gas piping (Sch. 40 Black Iron):
 - Dryer, water heater and new furnace
- All work shall comply to ASTM standards and pass final inspection by the building dept.
- Contractor shall be responsible for all water tap fees, sewer connection fees, license and approval and removal of all existing unused sewer connections.
- Contractor shall provide complete domestic water distribution system, including but not limited to: water piping, pipe insulation, hangers, shut off valves, wall plates, check valves, thermal insulation and final connections.
- Contractor shall provide complete sanitary waste system, including but not limited to: vent piping, drains, traps, fixtures and clean outs.
- Contractor shall provide complete gas piping system, including but not limited to: gas service, gas cocks, piping, shut-off valves, final connections, and hangers as required.
- Contractor to rough in and make final connections to all fixtures and equipment requiring gas and water.
- All plumbing fixture to have 1/2" air chambers 12" long. Risers to have air chambers 24" long.
- Insulate all horizontal cold water lines and all plumbing lines in exterior walls or unheated spaces, and horizontal PVC drains with 1/2" thick 3 lb. density fiberglass insulation with universal jacket.
- Contractor shall provide all necessary patching, cutting, excavation and backfill for the installation of work.
- Verify with owner plumbing fixtures that are owner supplied, contractor installed.
- The waste line from the ejector pit shall be 18" from floor joist and have a clean out at the change of direction from vertical to horizontal.
- Replace all existing water valves with 125 PSI bronze ball valves.

MECHANICAL NOTES

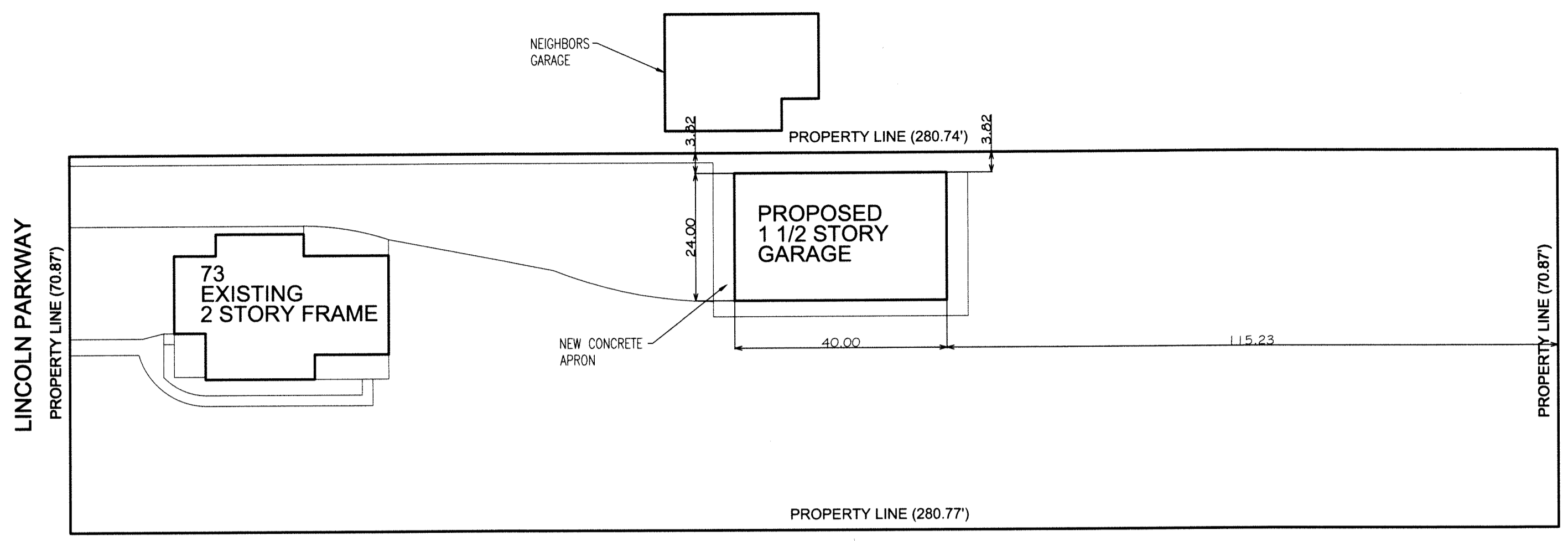
- All work shall be completed on Design/Build basis. Design and layout shall be approved by owner prior to commencement of any work.
- Mechanical plans are schematic in nature. The contractor is responsible for final verification of sizing, and coordination with existing conditions, new conditions, and work of other trades.
- All routing, transitions and fittings shall be provided as required.
- All ductwork shall be installed with maximum headroom and minimize need for soffits or chases.
- All toilet exhaust shall be vented to exterior thru roof/eave.
- All diffusers shall be fully adjustable. All supply diffusers shall be baseboard and all return diffusers shall be ducted hi lo.
- Flexible ducts shall be metal flex with a maximum length of 6'-0".
- Clothes dryer exhaust and duct sizes, and exhaust ducts shall be installed per the mfg.'s instructions and will comply with the requirements of Chapter 15 2006 IRC.
- Provide complete gas fired furnace and a/c system including furnace, humidifiers, furnace filter plenums, registers, ductwork balance dampers, plenums, condense unit, refrigerant piping, temp controls, etc for new mechanical system.
- Provide complete toilet & kitchen exhaust duct, wall caps & back draft damper.
- All flue stacks shall be double wall type and all flues shall be min. 6'-0" above the roof.
- Cap all existing ducts that have been abandoned. The existing duct work and the upstairs system shall be connected to new HVAC unit.

SITE NOTES

- After backfilling of foundation is completed, all excess excavated material and spoil shall be removed from the property and graded to the approved plans.
- No alteration of existing grades are permitted except as indicated on plans.
- All disturbed parkway lawn areas shall be restored with four (4) inches of topsoil and sodded.
- If required:
 - All damaged portions of public sidewalks are to be replaced with six (6) inches Poured in Place Concrete over a 4" CA-6 aggregate base and be 5' by 5' in size.
- If required:
 - Existing driveway curb cuts and transition shall be removed and a new PCC curb to match adjacent shall be installed.
- All services shall be verified as to installation and locations with the Arlington Heights and all Utility Companies. Call J.U.L.I.E. before digging.

GENERAL NOTES/CODE REQUIREMENTS

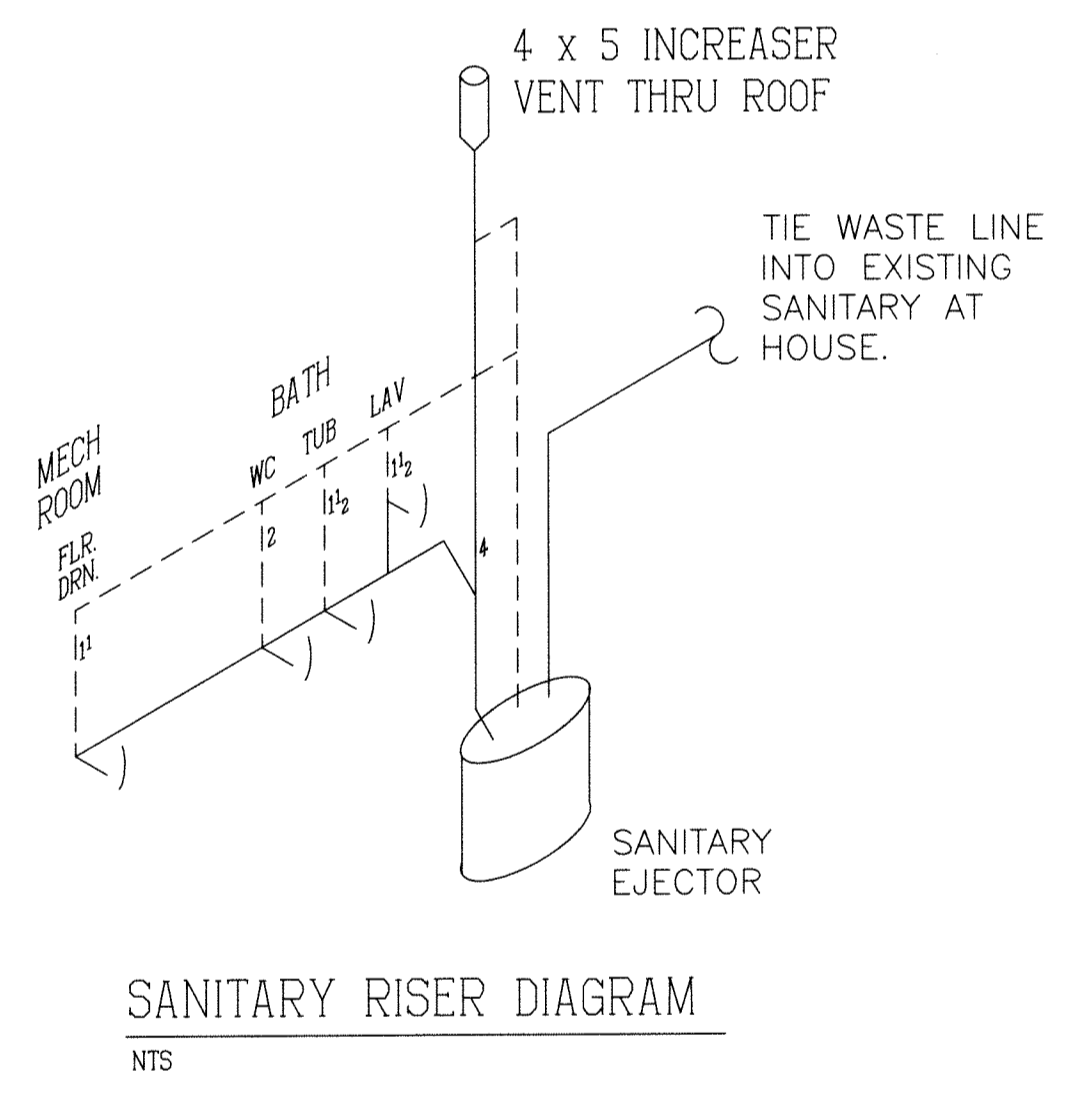
- All work performed shall comply with the Zoning and Building Codes of Crystal Lake with all amendments:
- International Residential Code 2006
- NEC National Electrical Code w/ amendments 2005
- International Mechanical Code w/ amendments 2006
- 2004 Illinois Plumbing Code w/ amendments
- General Contractor shall protect adjacent areas and properties Not In Contract
- General Contractor shall properly dispose of all trash and debris.
- General Contractor shall maintain a safe and orderly construction site.
- Sub-Contractors shall verify all dimensions and conditions in the field prior to start of work.
- Sub-Contractors to verify with General Contractor for information pertaining to installation of all built-in items and all owner supplied items.



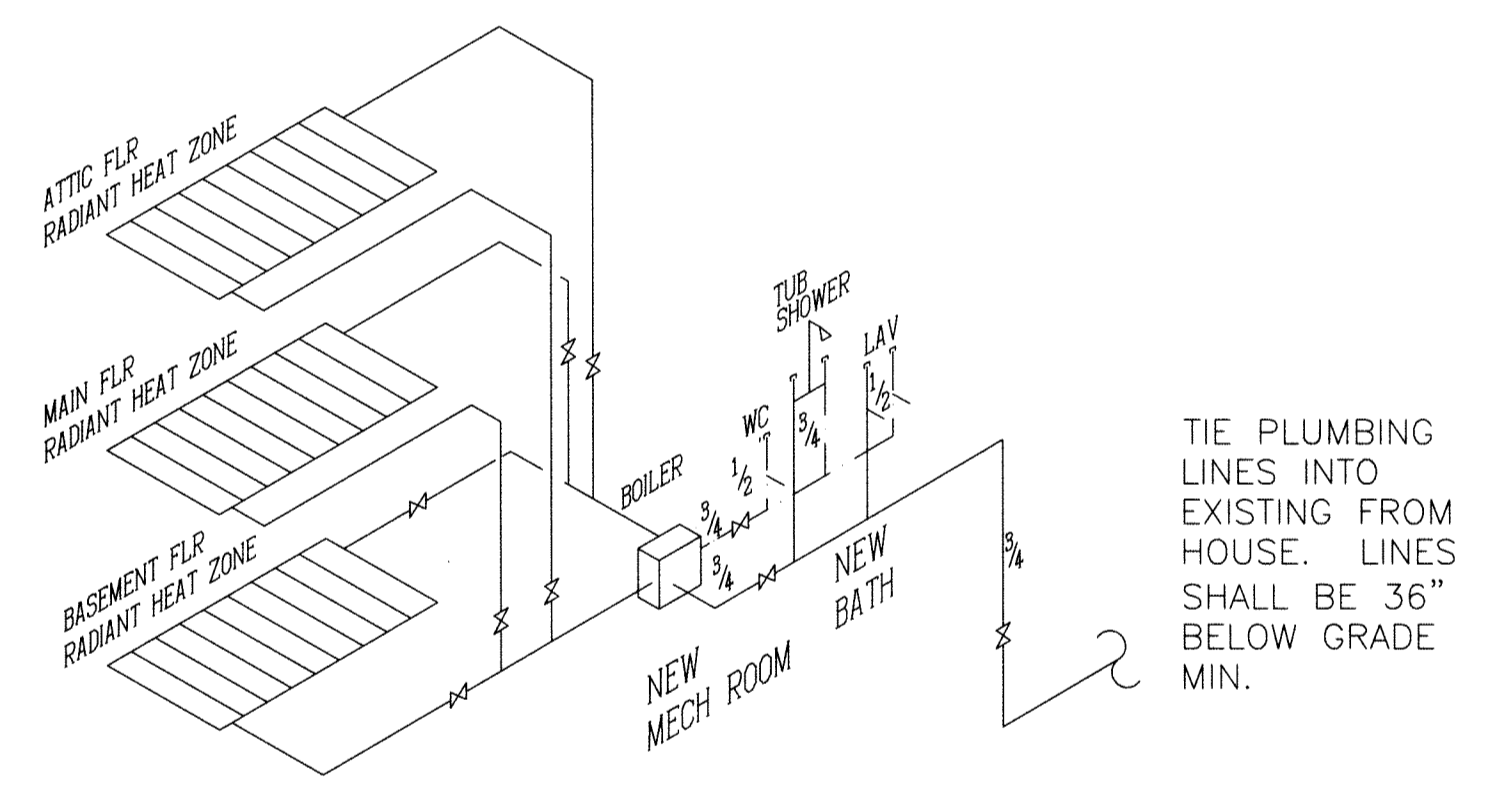
NEW SITE PLAN
SCALE 1:20

THE NORTH ONE-HALF OF LOT NUMBER SIX (6) IN BLOCK NUMBER ONE (1) OF FRISBIE'S ADDITION TO CRYSTAL LAKE, IN THE VILLAGE OF CRYSTAL LAKE, COUNTY OF MCHENRY, STATE OF ILLINOIS.

- WATER VALVES WITH 125 PSI BRONZE ALL VALVES.
- INSULATE ALL HORIZONTAL WATER PIPE AND VERTICAL HOT LINE.
- MECHANICAL CONTRACTOR SHALL COORDINATE WITH OWNER DESIGN/BUILD RADIANT HEAT SYSTEM FOR BASEMENT AND MAIN FLOOR.



SANITARY RISER DIAGRAM
NTS



SUPPLY RISER DIAGRAM
NTS

ZONING REQUIREMENTS

ZONING CLASSIFICATION:
CALSS 5-B
SINGLE FAMILY RESIDENCE
SEISMIC ZONE = B
ZONING AREA: 14-31

FRONT YARD SETBACK:
25'-0" MINIMUM
125'-0" ACTUAL (COMPLIES)

SIDE YARD SETBACK:
5'-0" REQUIRED
EXISTING 3.82' (NO CHANGE)

LOT SIZE = 19,898.17 SF
NO CHANGE
NO CHANGE
NEW 2 CAR GARAGE = 960SF

- DESIGN LOADS:**
- FLOOR:**
MAIN FLOOR= 100 PSF LIVE LOAD
ATTIC FLOOR= 40 PSF LIVE LOAD
EA. FLOOR= 10 PSF DEAD LOAD
- ROOF:**
LIVE= 30PSF (SNOW)
DEAD= 10PSF
TOTAL= 40PSF
DEFLECTION= L/180
- CEILING:**
LIVE= 20PSF
DEAD= 10PSF
TOTAL= 30PSF
DEFLECTION= L/240
- WIND PRESSURE 90 MPH**

INDEX OF DRAWINGS

T1	SITE PLAN, LT./ VT. SCHEDULE, NOTES
A1	FLOOR PLAN/ SECOND FLOOR PLAN/ FRAMING PLANS
A2	FRAMING PLANS & SECTIONS
A3	EXTERIOR ELEVATIONS/ BUILDING SECTION
E1	ELECTRICAL PLANS

9 1 2012

RECEIVED
AUG 13 2012
BY:

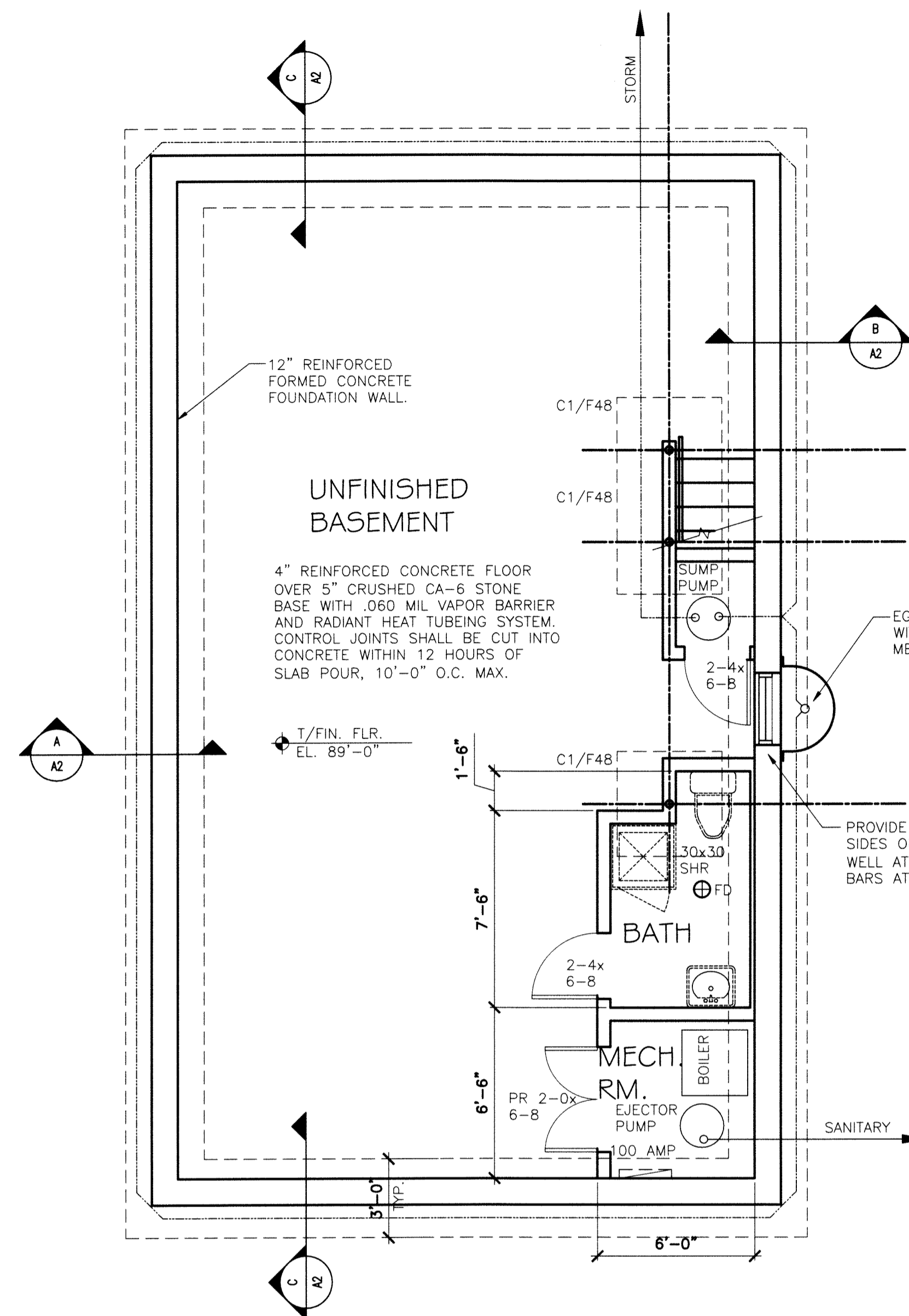
HARKINS RESIDENCE GARAGE
73 LINCOLN PKWY.
CRYSTAL LAKE, IL

DATE	ISSUE
01/27/12	REVIEW
08/09/12	PERMIT

T1
CONCRETE

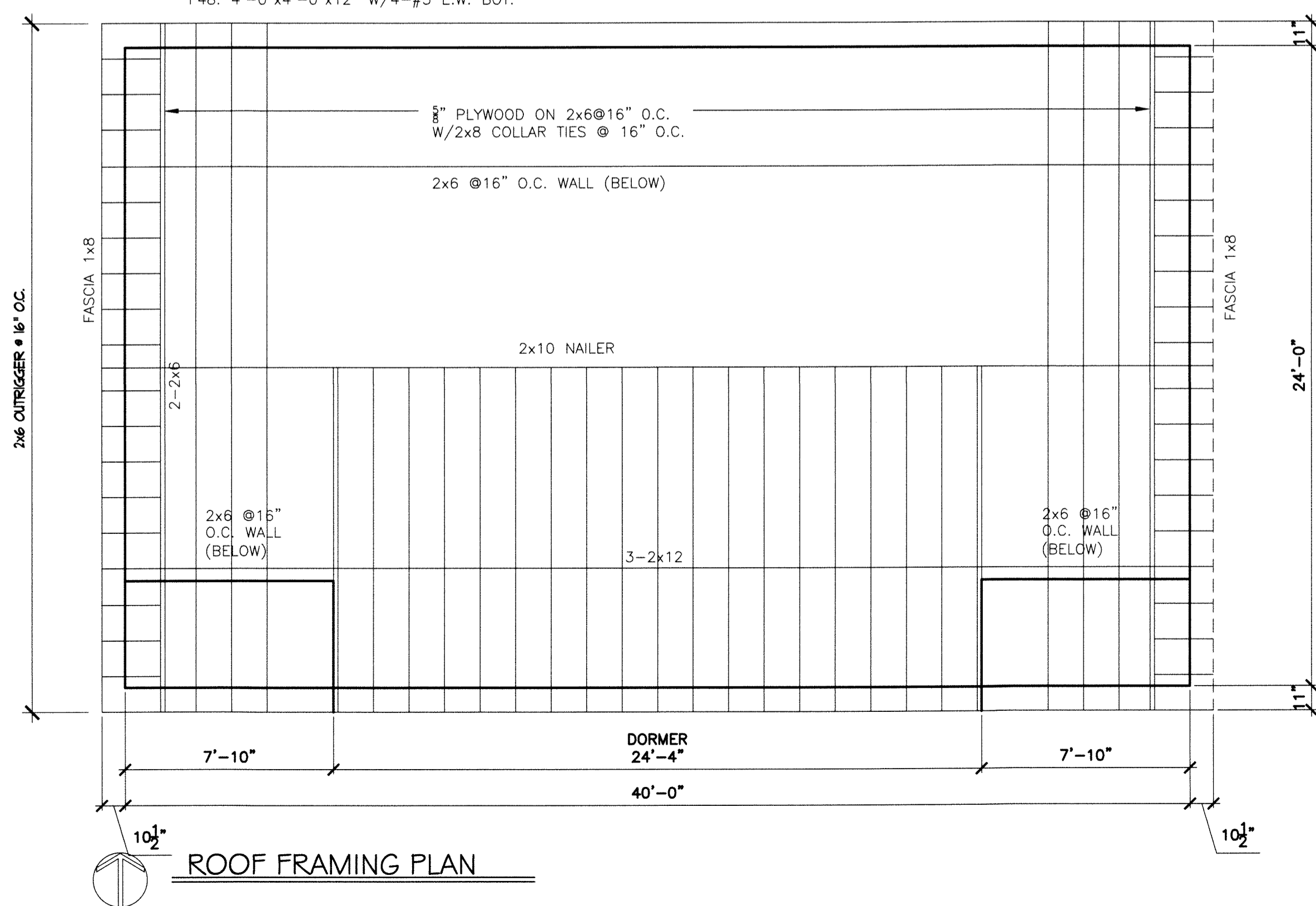
THESE DRAWINGS WERE PREPARED UNDER MY DIRECTIONS AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CRYSTAL LAKE BUILDING CODE.

THIS SEAL APPLIES TO THE DRAWINGS LISTED IN THE "INDEX OF DRAWINGS"

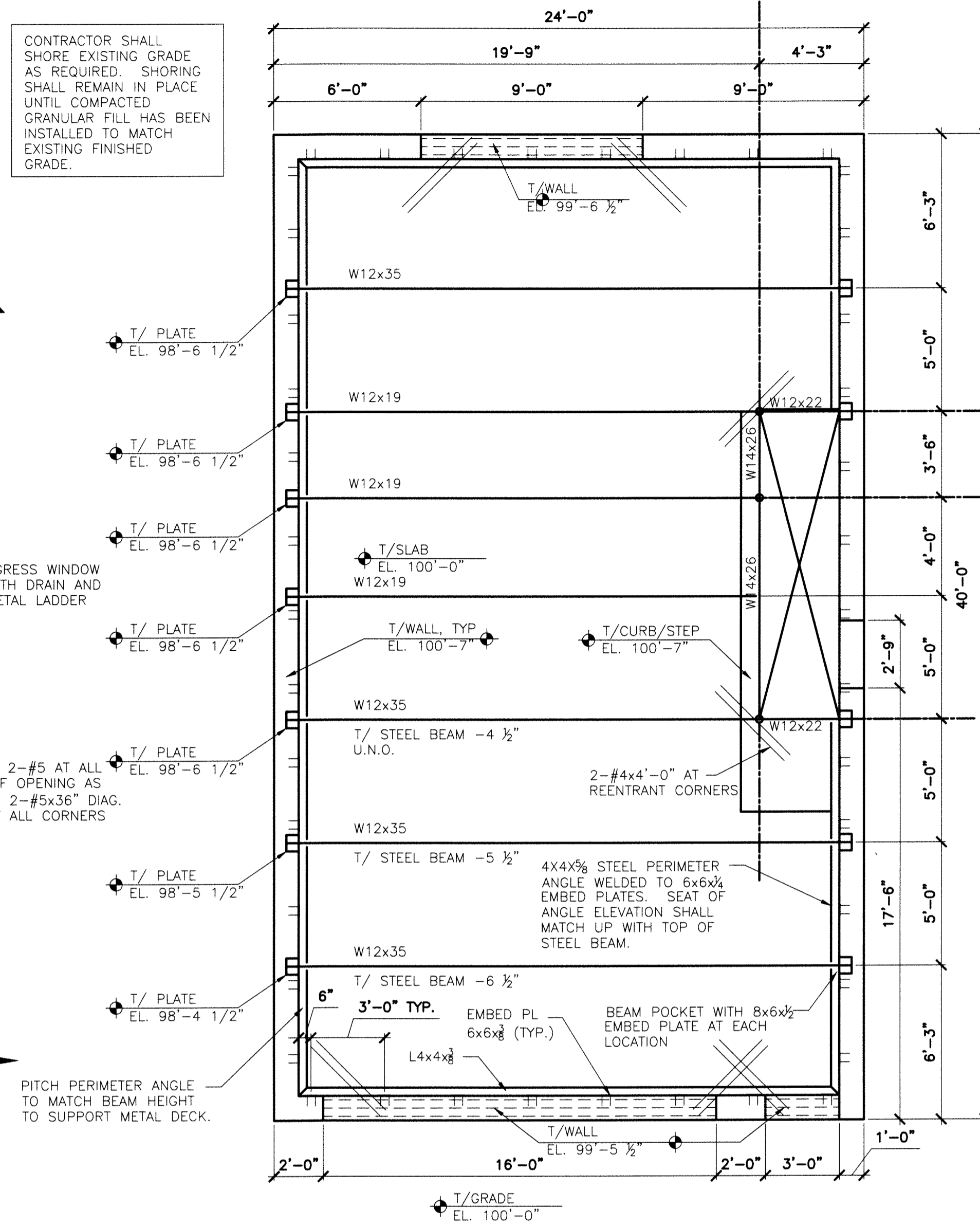


FOUNDATION/BASEMENT PLAN
1/4" = 1'-0"

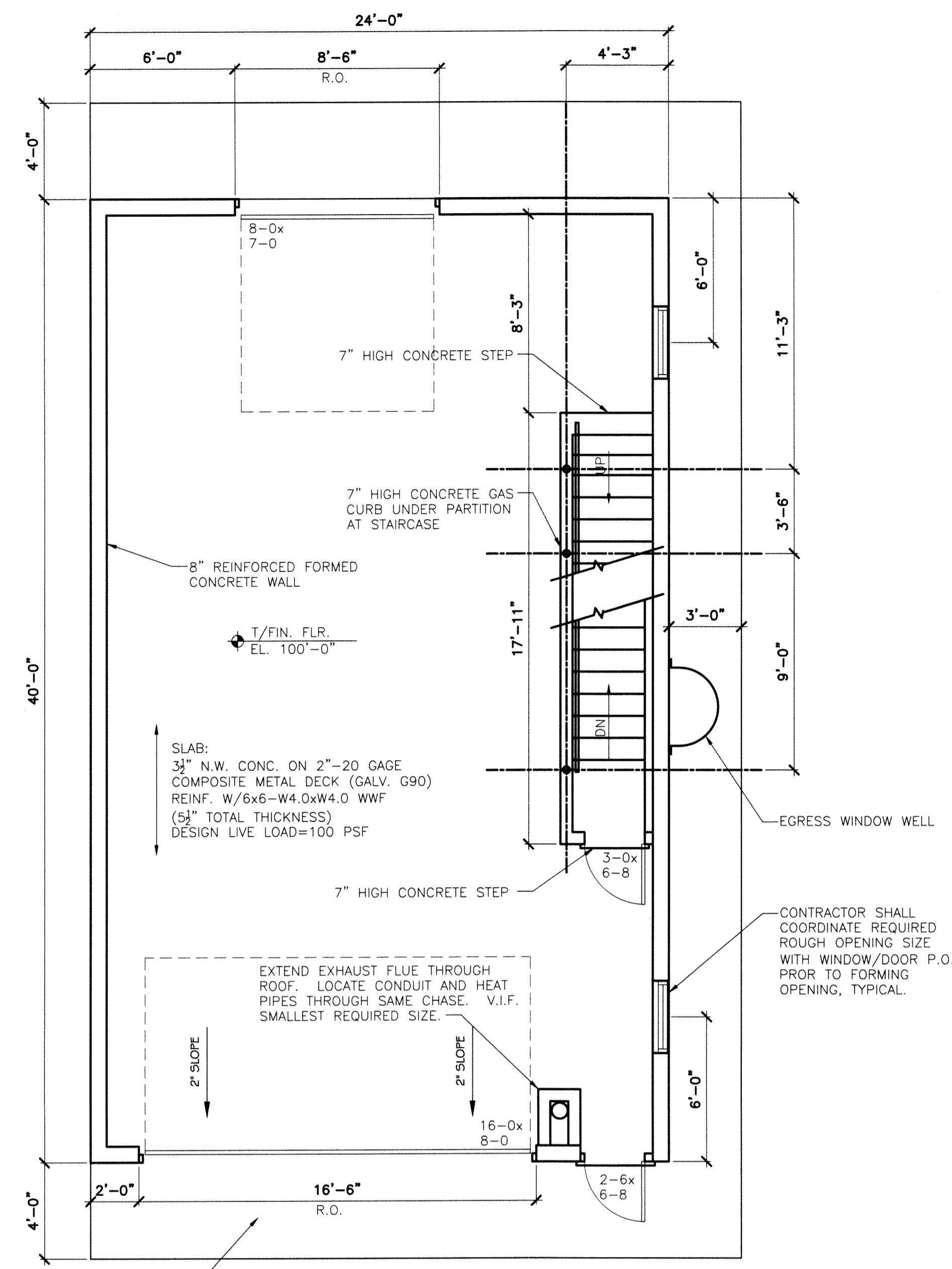
C1: PIPE 3/4" SCH. 40 W/PL 1/2"x8"x8" W/4-3/8"x6" A.B.
F48: 4'-0"x4'-0"x12" W/4-#5 E.W. BOT.



ROOF FRAMING PLAN

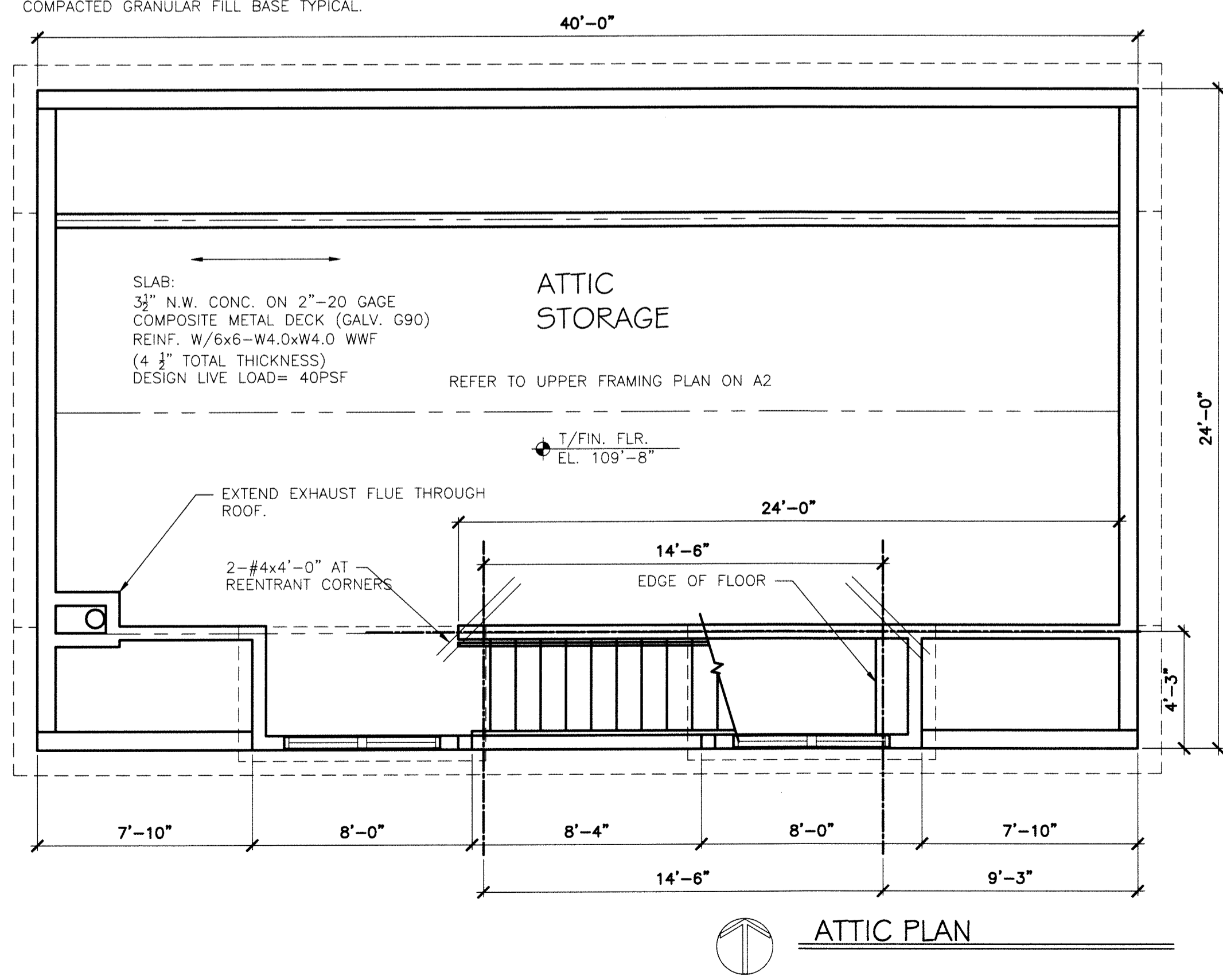


LOWER FRAMING PLAN
1/4" = 1'-0"



GARAGE PLAN
1/4" = 1'-0"

NEW 5" CONCRETE APRON WITH CONTROL JOINTS 5'-0" O.C. TYP. OVER 5" CRUSHED COMPACTED GRANULAR FILL BASE TYPICAL.



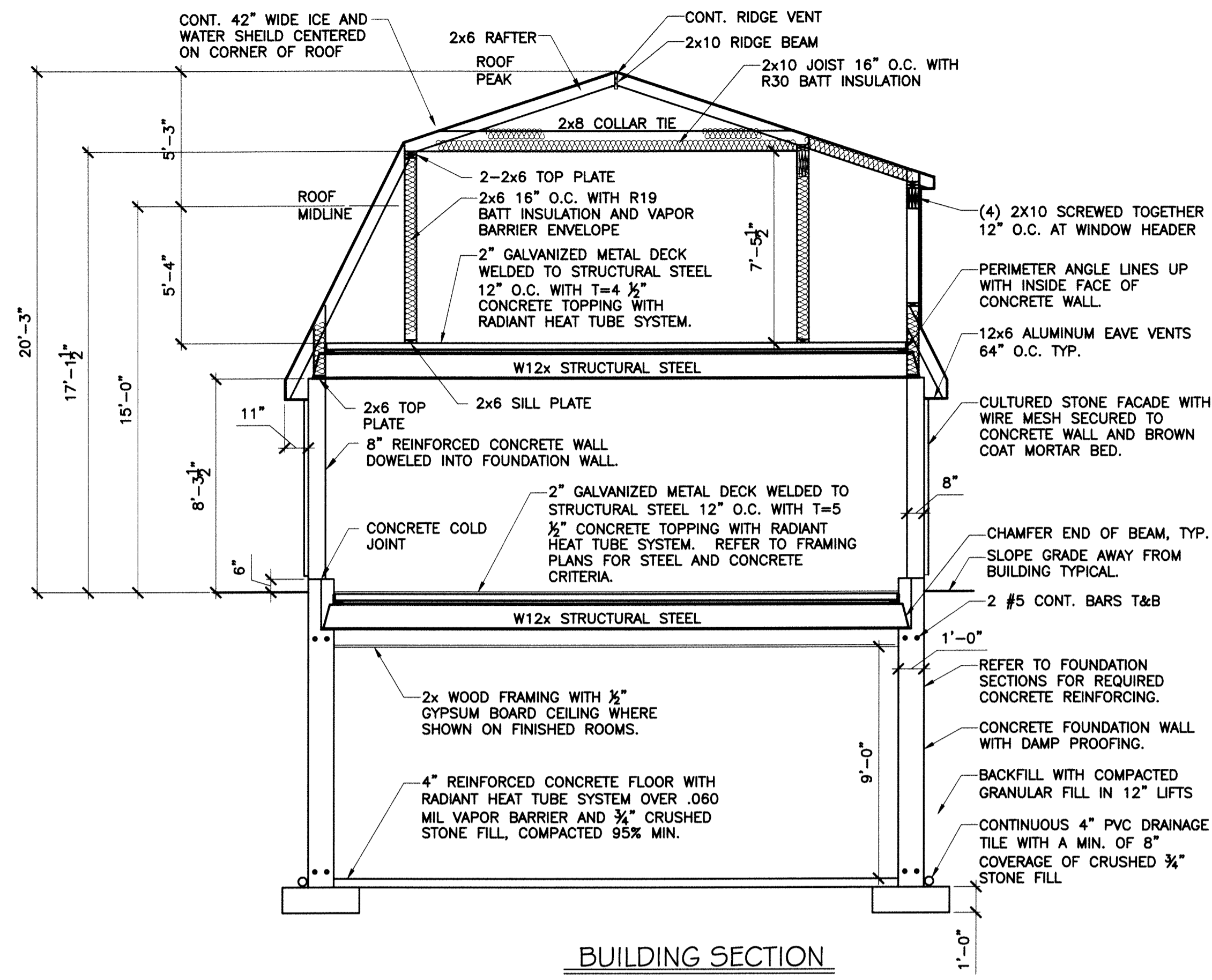
ATTIC PLAN

RECEIVED
AUG 13 2012
BY:

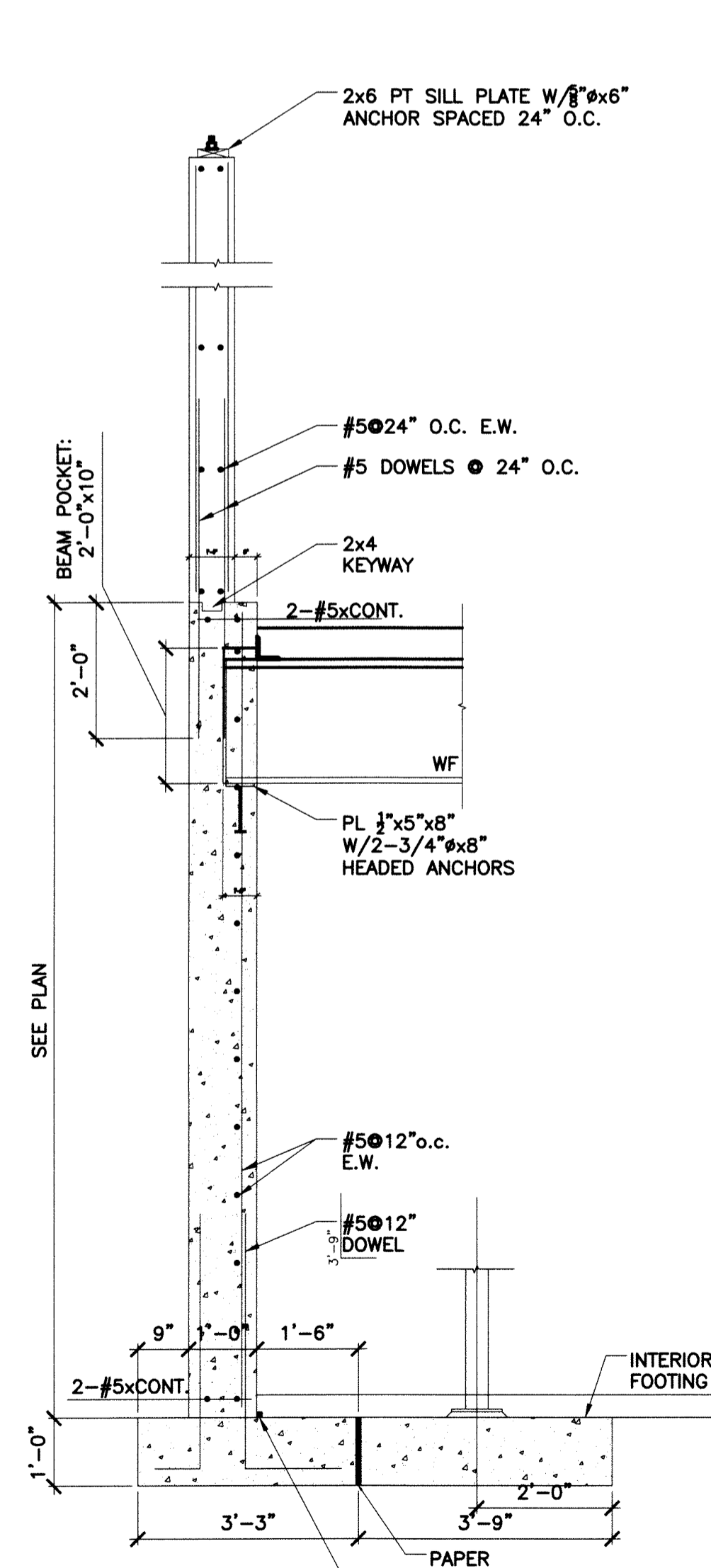
HARKINS RESIDENCE GARAGE
73 LINCOLN PKWY.
CRYSTAL LAKE, IL

DATE	ISSUE
01/27/12	REVIEW
08/09/12	PERMIT

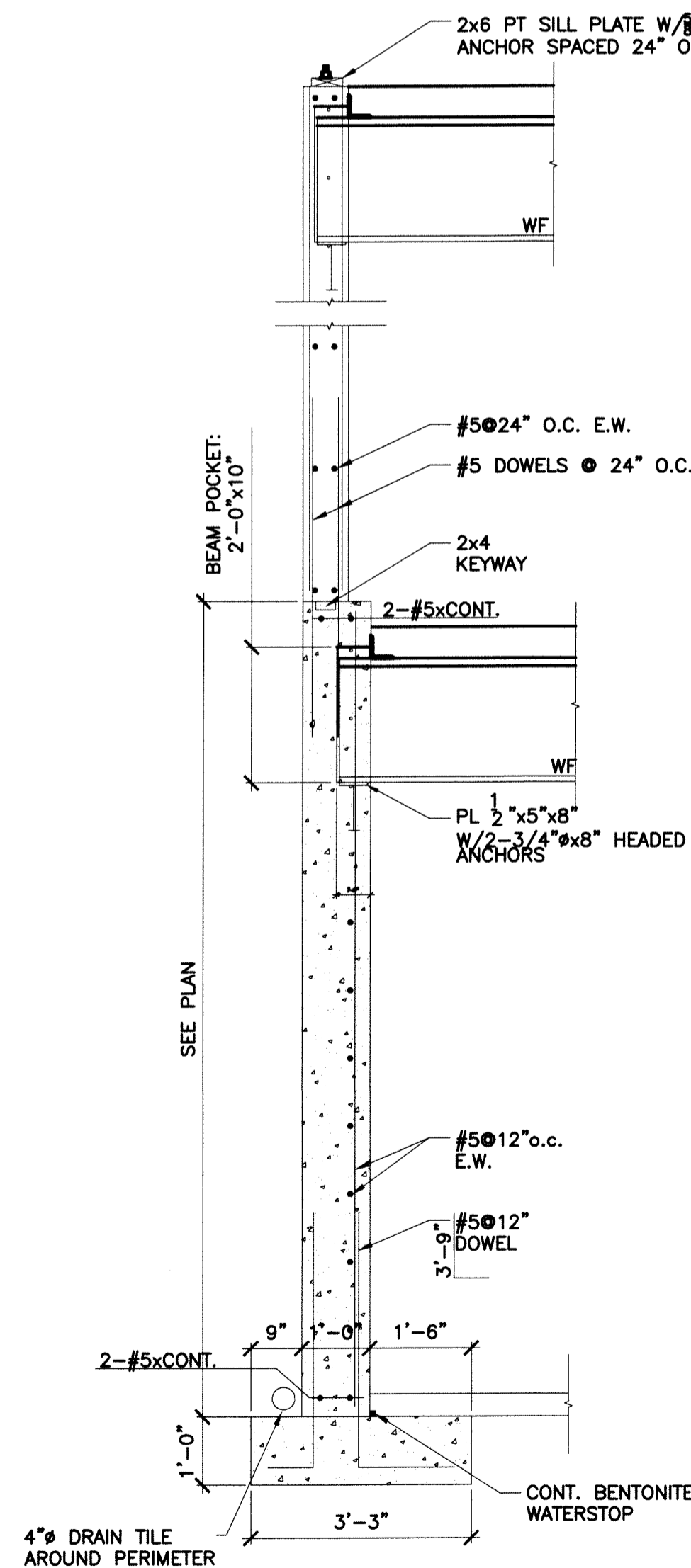
A1
CONCRETE



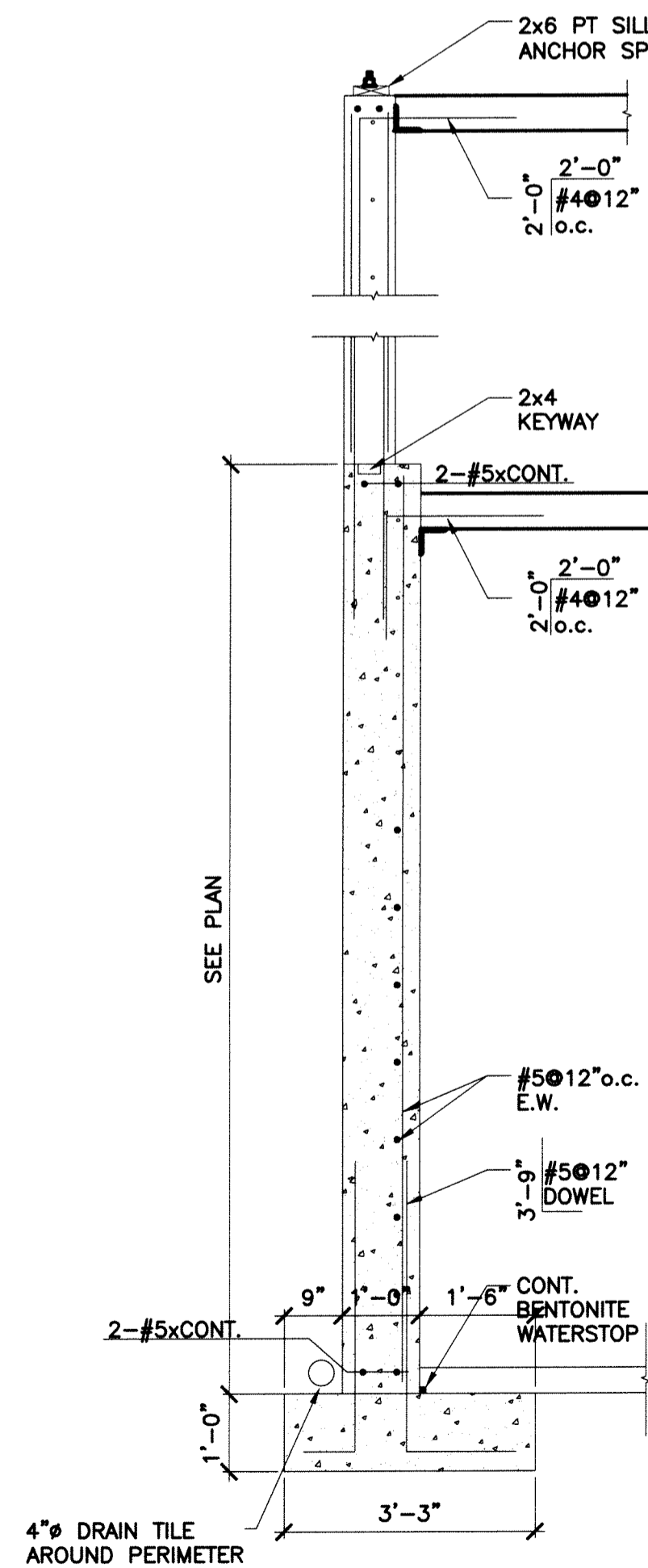
BUILDING SECTION
1/4" = 1'-0"



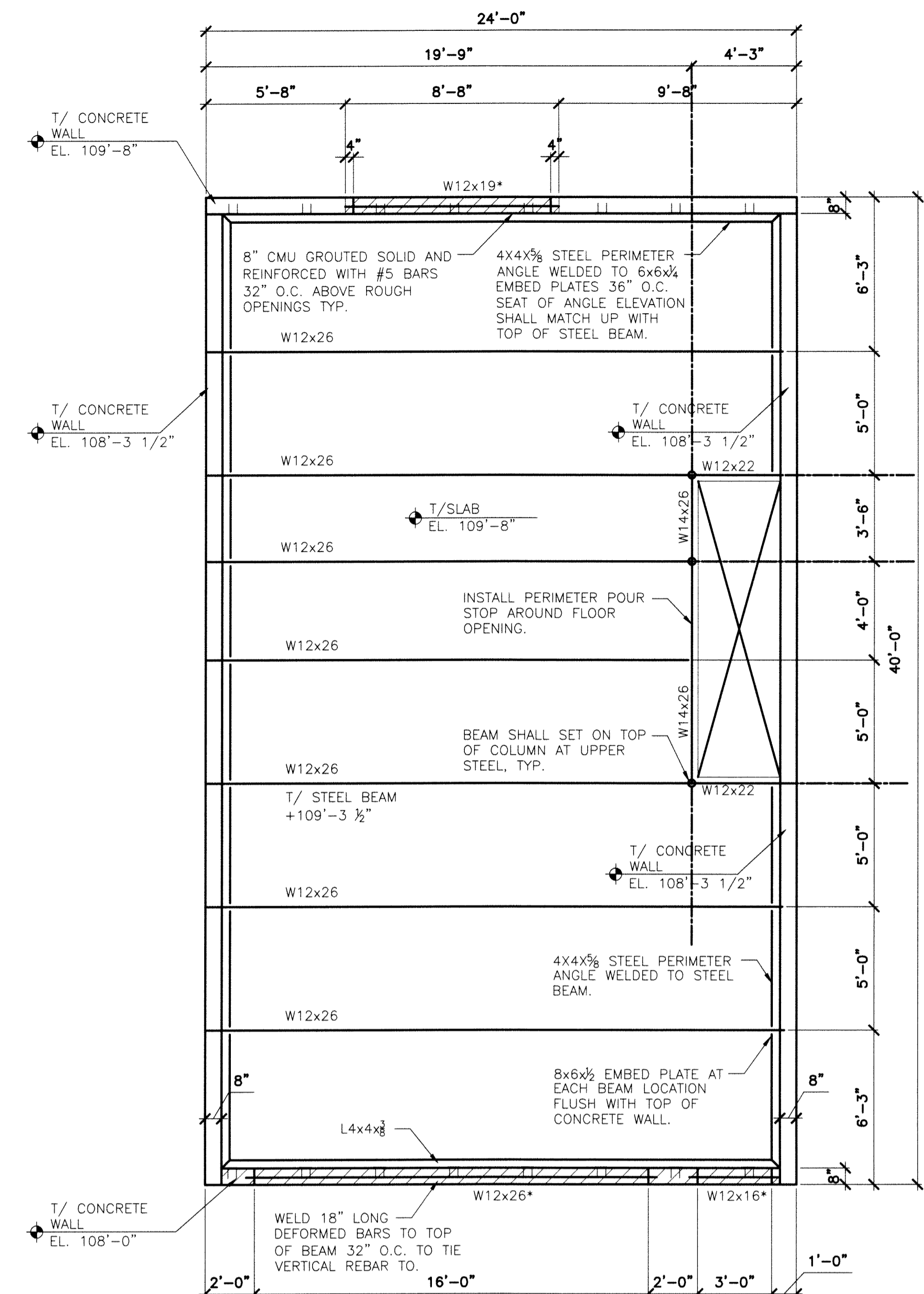
FOUNDATION SECTION A
1/2" = 1'-0"



FOUNDATION SECTION B
1/2" = 1'-0"



FOUNDATION SECTION C
1/2" = 1'-0"



UPPER FRAMING PLAN
1/4" = 1'-0"

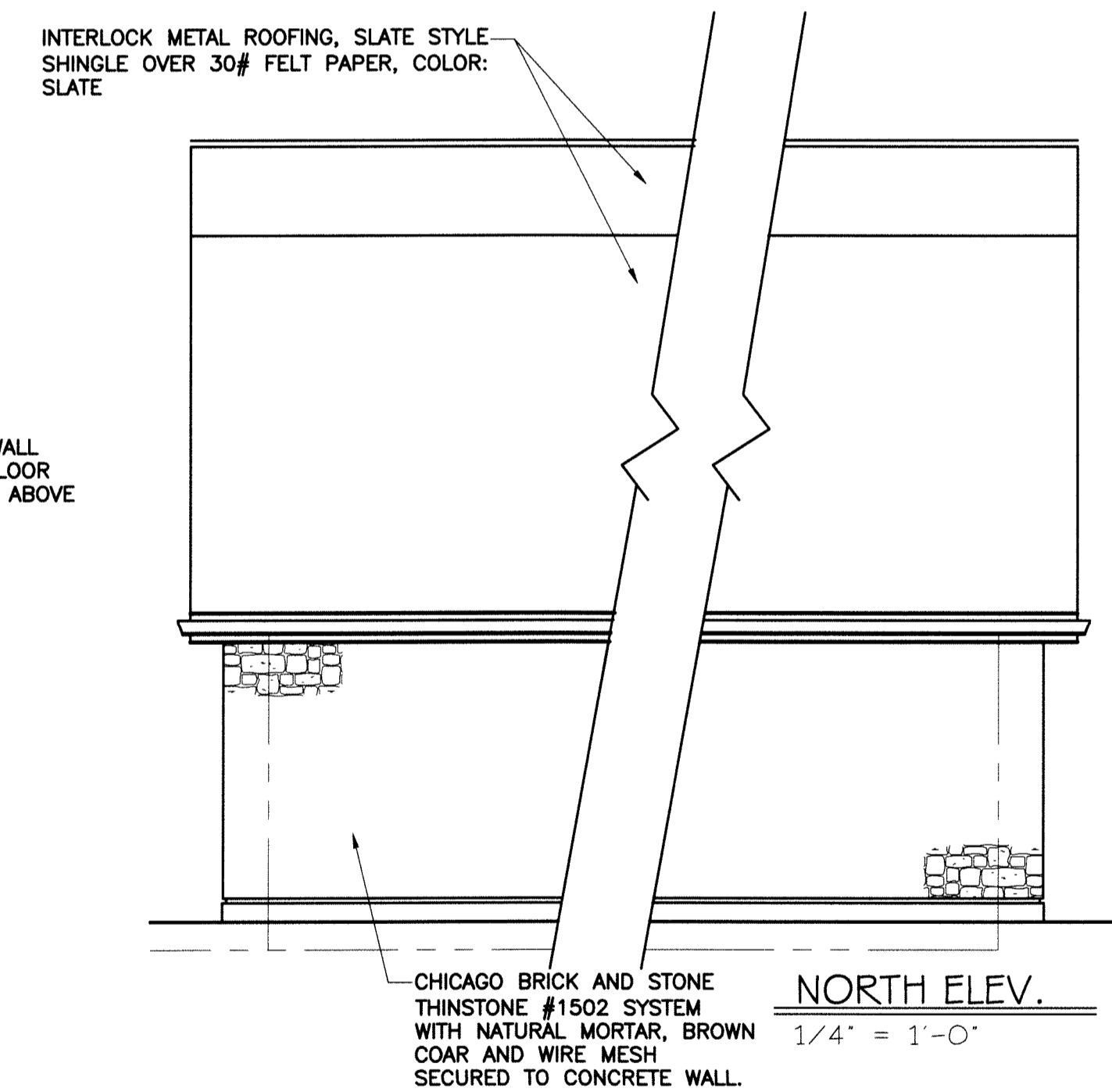
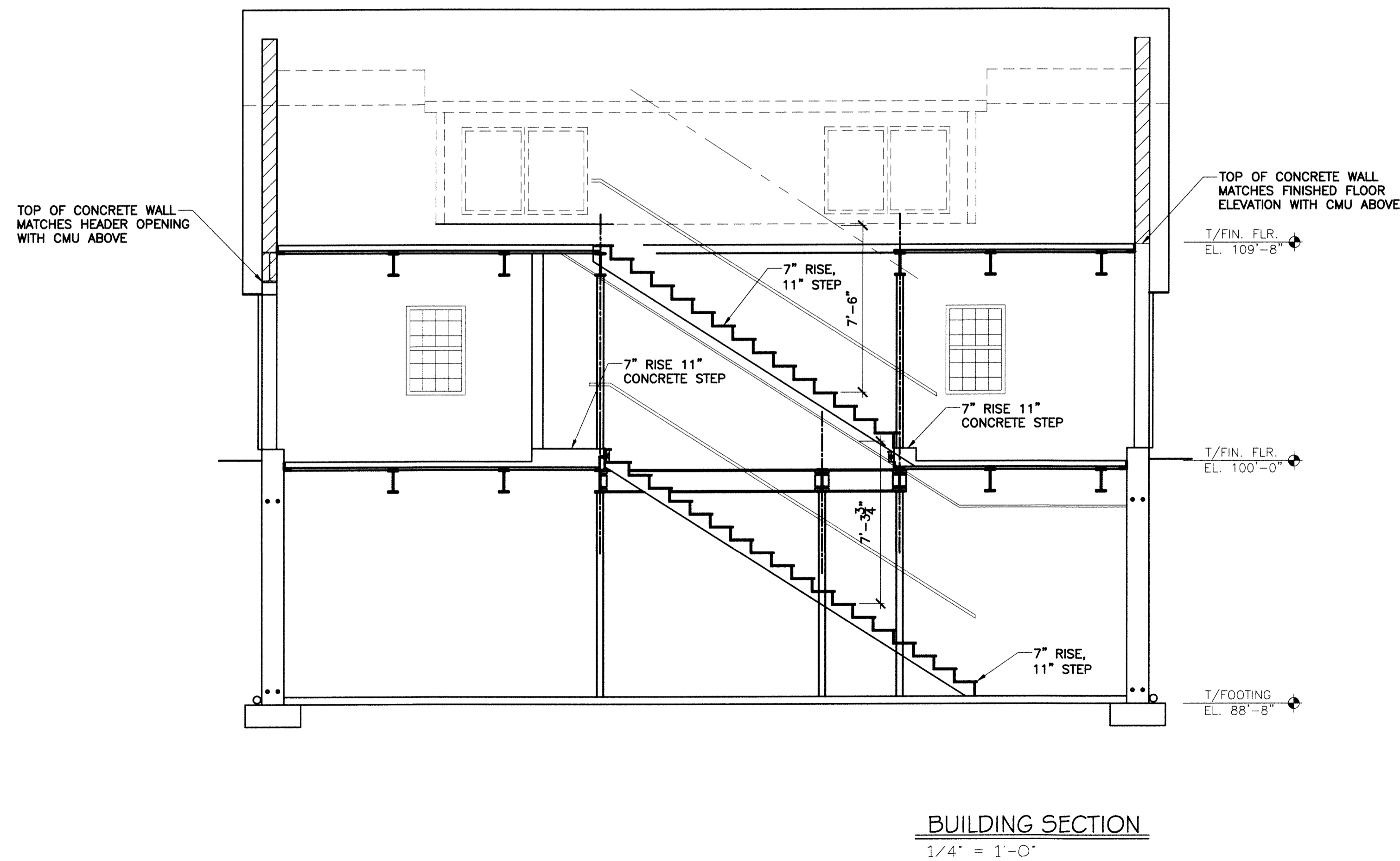
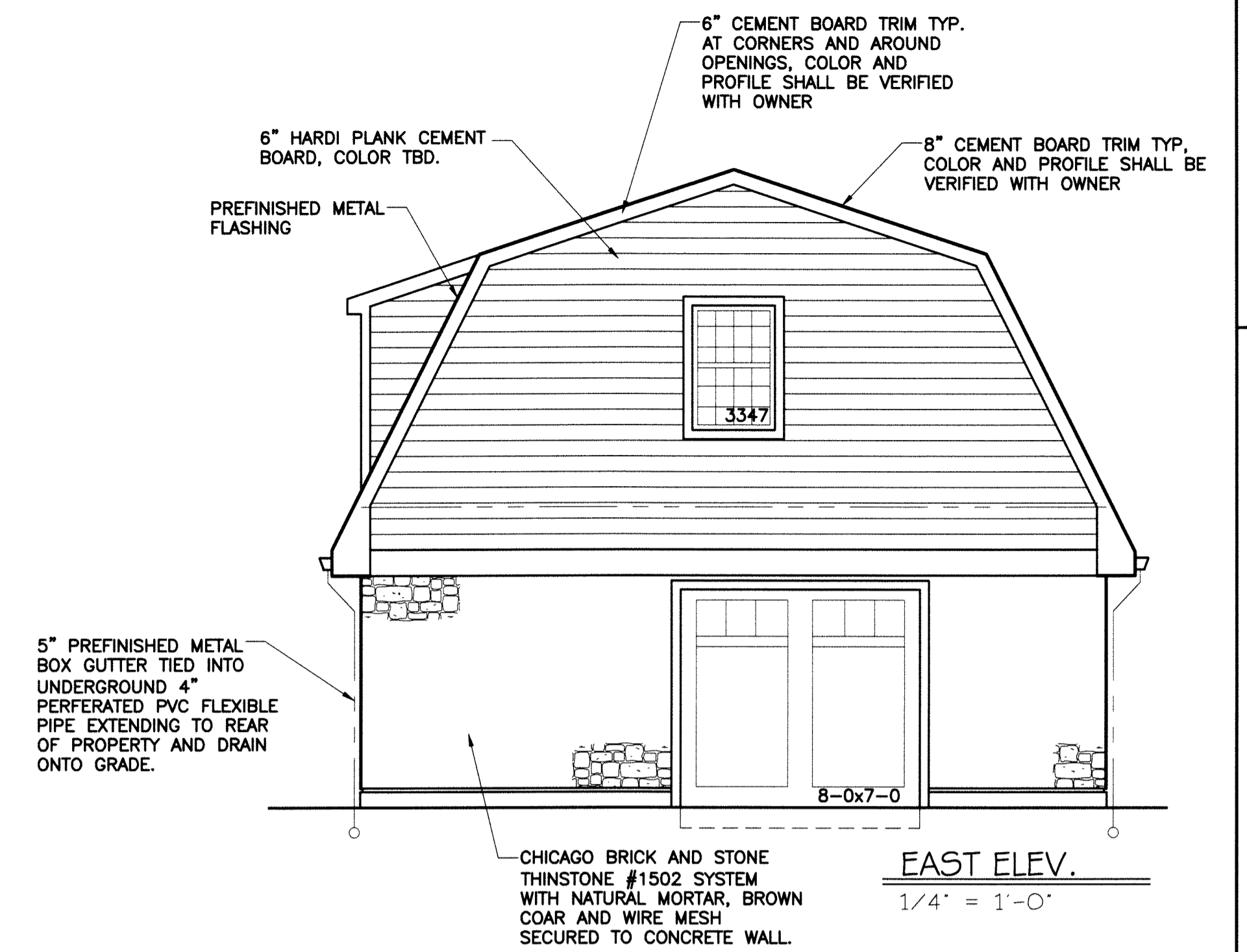
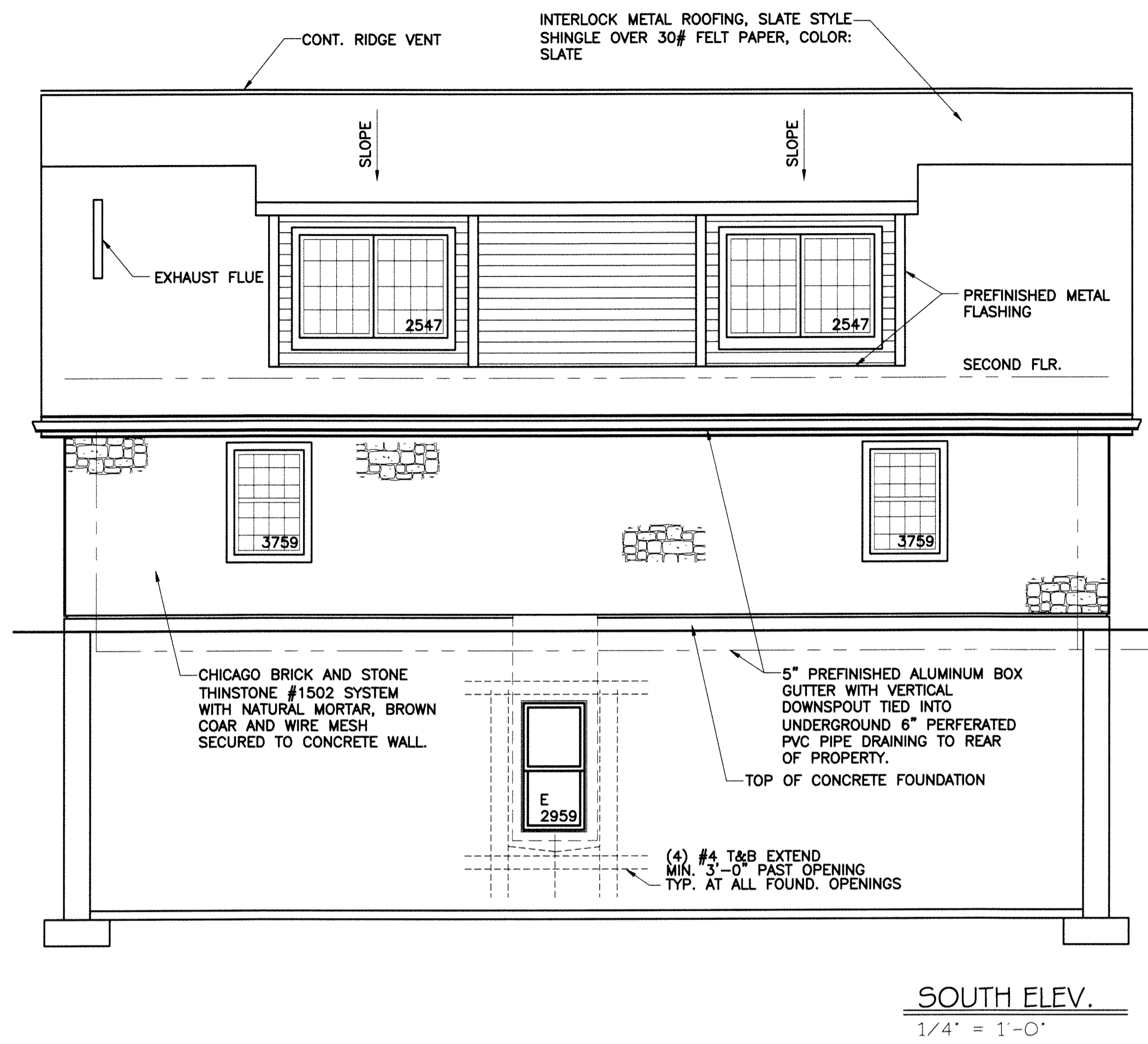
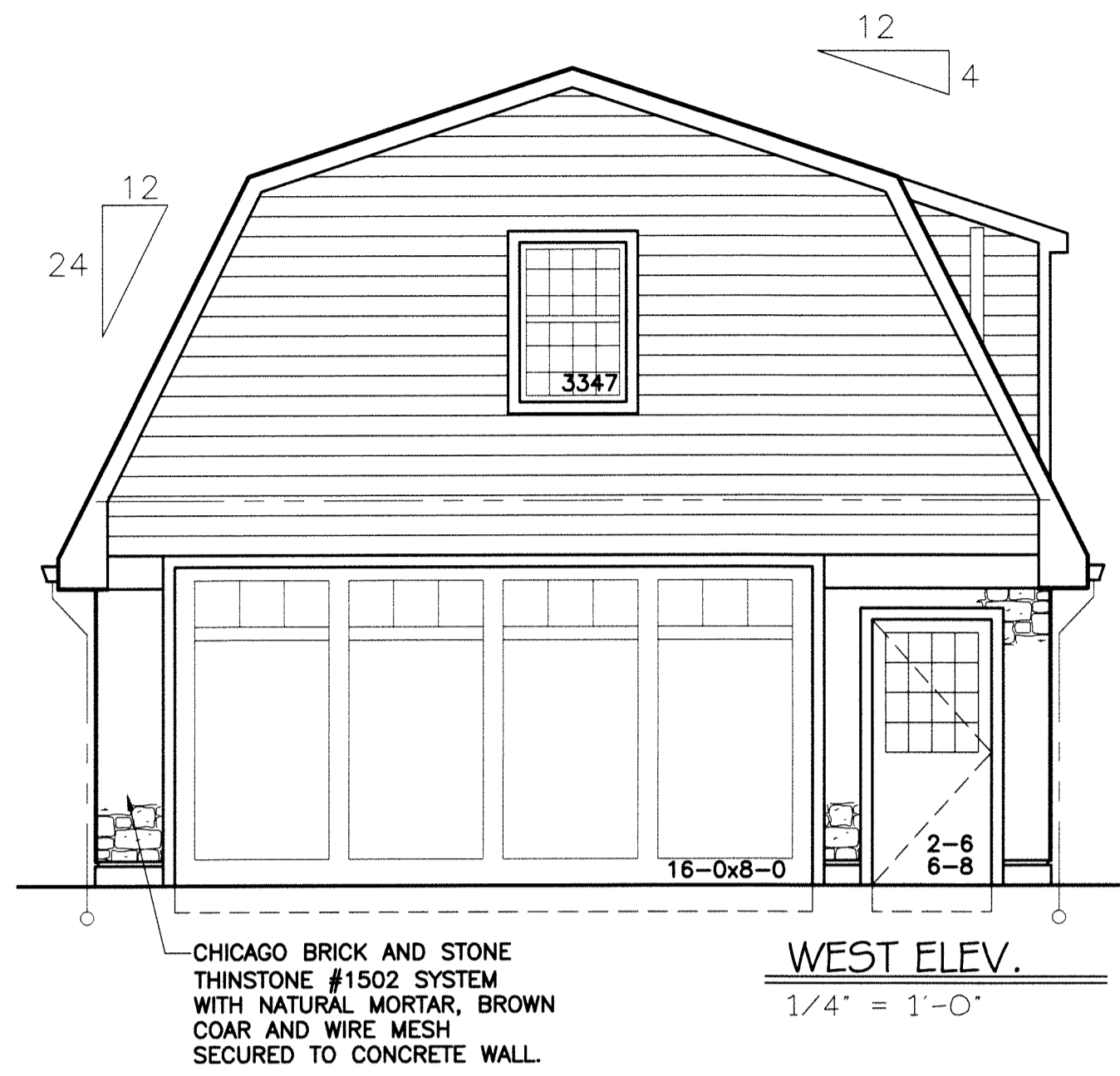
*: BEAM W/ CONT 7 1/2" x 5/8" LINTEL PLATE AT EACH OPENING, 8x4x1/2" BEARING PLATE EMBEDDED INTO CONCRETE WITH 3/2" DIA. 8" LONG ANCHORS; SET FLUSH WITH TOP WALL, TYP. 3. EACH LINTEL BEAM SHALL HAVE MASONRY TIES ON EXTERIOR SIDE.

RECEIVED
AUG 13 2012
BY:

HARKINS RESIDENCE GARAGE
73 LINCOLN PKWY.
CRYSTAL LAKE, IL

DATE	ISSUE
01/27/12	REVIEW
08/09/12	PERMIT

A2
CONCRETE

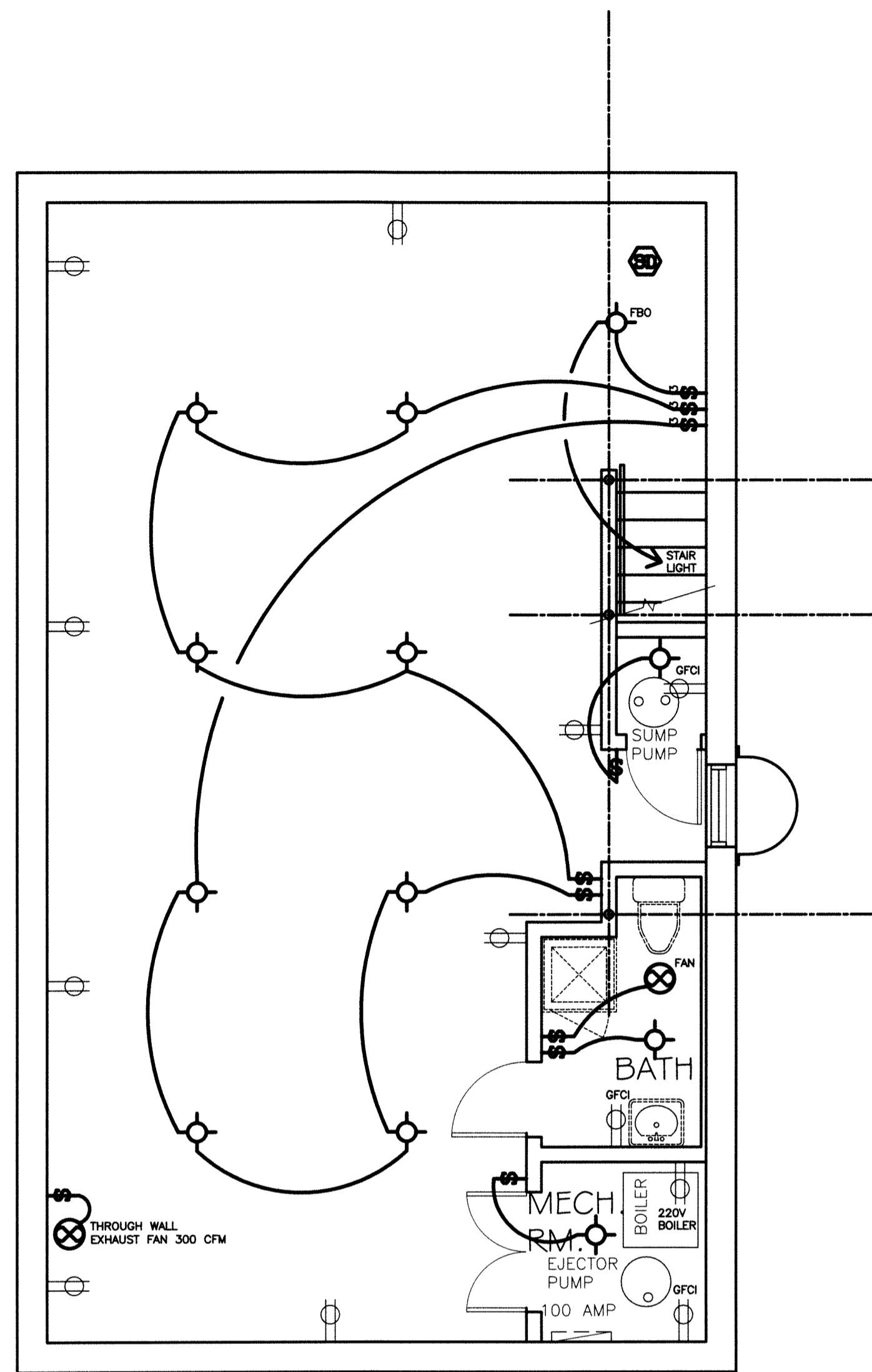


RECEIVED
AUG 1 2012
BY:

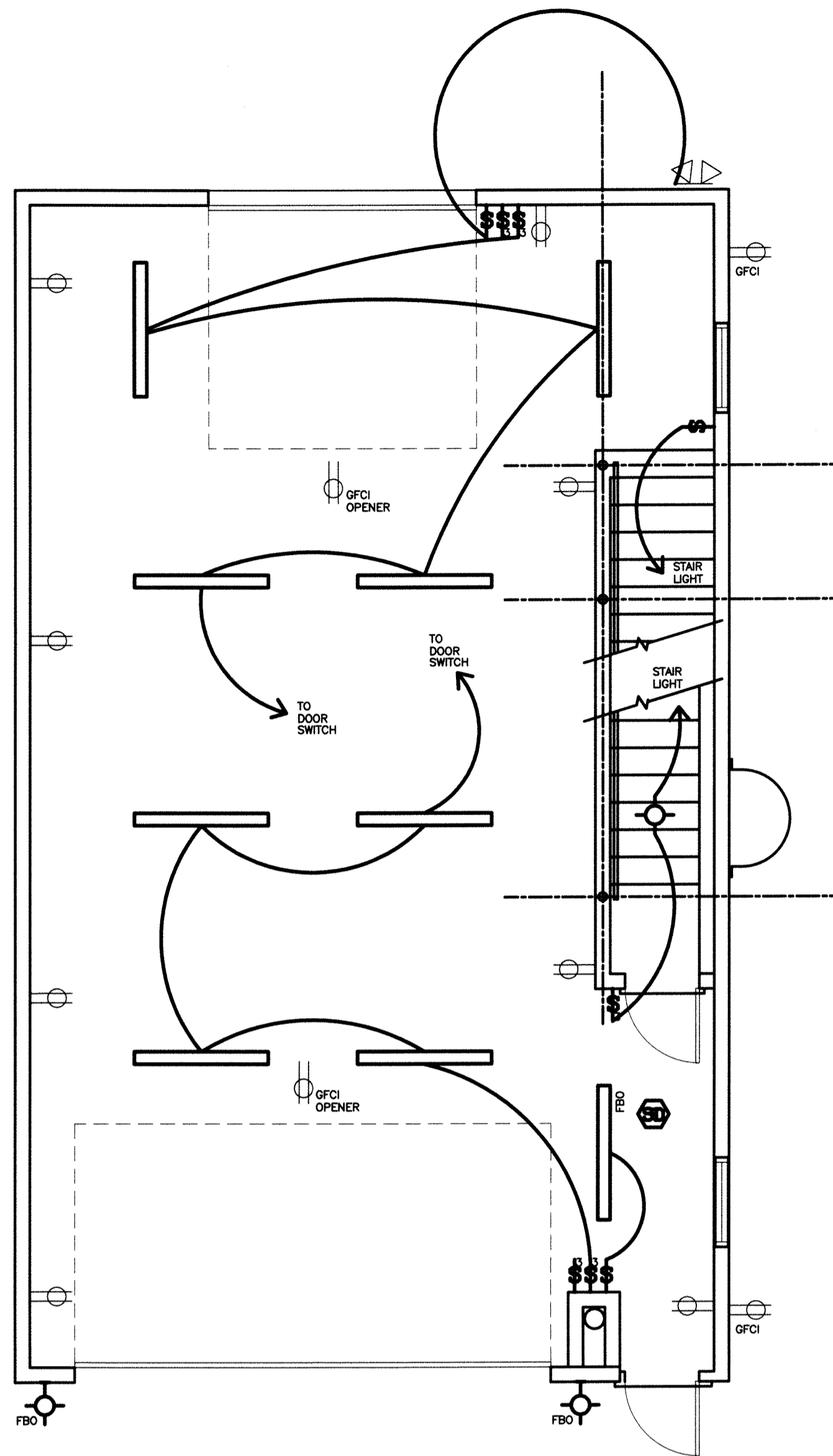
HARKINS RESIDENCE GARAGE
73 LINCOLN PKWY.
CRYSTAL LAKE, IL

DATE	ISSUE
01/27/12	REVIEW
08/09/12	PERMIT

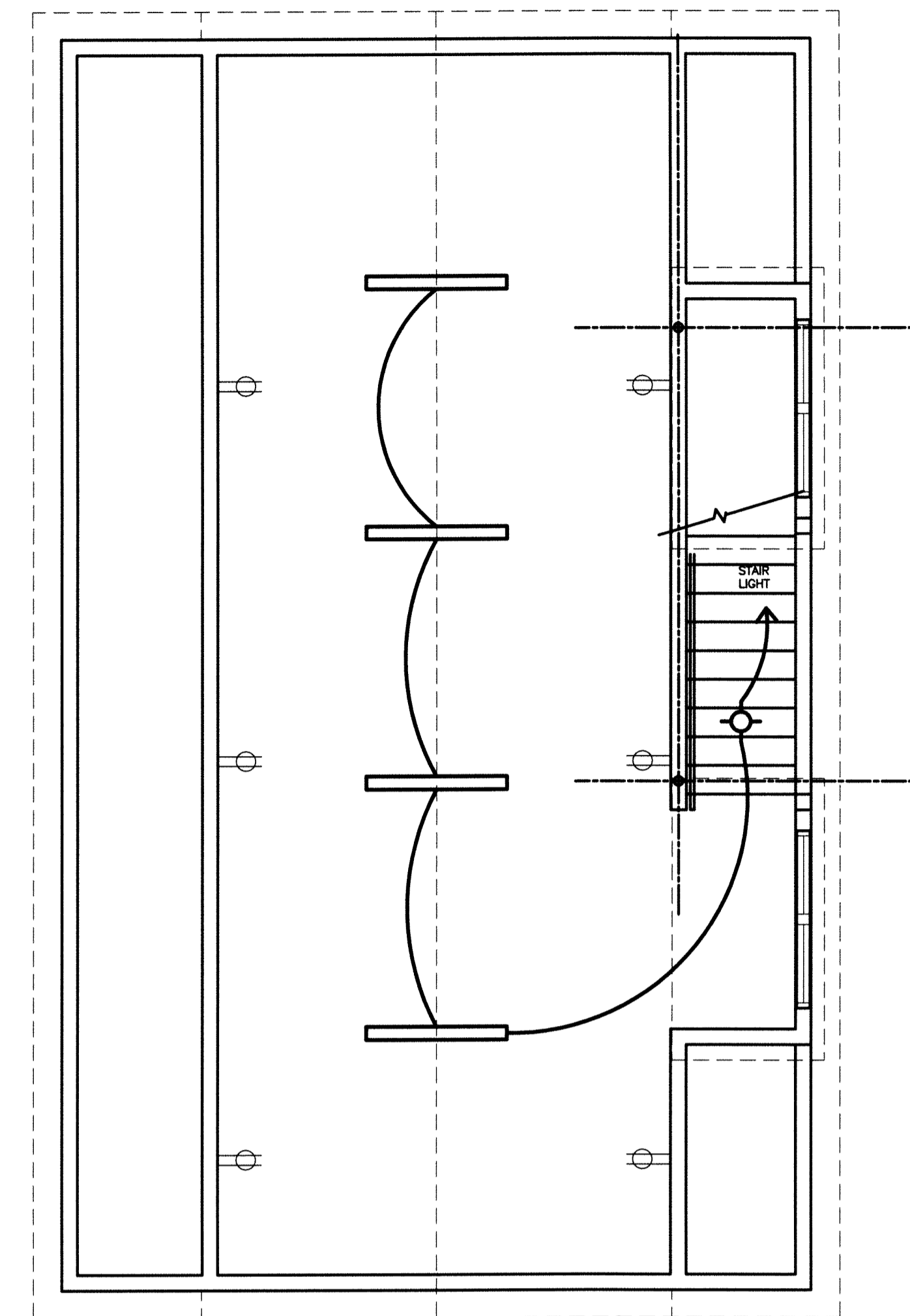
A3
CONCRETE



BASEMENT ELECT. PLAN
1/4" = 1'-0"



GARAGE ELECT. PLAN
1/4" = 1'-0"



ATTIC ELECT. PLAN
1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND

SYMBOL DESCRIPTION

- DUPLEX GROUNDED RECEPTACLE 12" ABOVE FINISHED FLOOR (AFF)
- DUPLEX GROUNDED RECEPTACLE INSTALLED ABOVE COUNTER
- DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER (GFI DENOTES WEATHERPROOF)
- DUPLEX GROUNDED RECEPTACLE SPLIT-WIRED
- DUPLEX GROUNDED RECEPTACLE INSTALLED IN FLOOR
- 240 V OR OTHER SPECIAL GROUNDED RECEPTACLE
- JUNCTION BOX
- 4' FLUORESCENT LIGHT

- TELEPHONE (W DENOTES WALL MOUNTED)
- TELEVISION OUTLET
- DOOR CHIMES
- PUSH BUTTON
- SINGLE POLE SWITCH INSTALL 48" AFF OR MATCH EXISTING
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH (S DENOTES THREE-WAY)
- SWITCH W/ INDICATOR LAMP
- RECESSED DOWN LIGHT
- SURFACE MOUNT CEILING FIXTURE

- WALL MOUNT FIXTURE
- EXHAUST FAN
- EXHAUST FAN/ LIGHT COMBINATION
- EXTERIOR FLOODLIGHTS
- TRACK LIGHTING
- UNDER CABINET LIGHTING REMOTE SWITCHED
- UNDER CABINET LIGHTING DIRECT SWITCHED
- SMOKE DETECTOR W/ BATTERY BACK-UP, MULTI-STATIONED
- HEAT DETECTOR
- DISCONNECT (WEATHERPROOF AT EXTERIOR)
- MOTOR

ELECTRIC NOTES

1. All electric work shall comply with the National Electrical Code 2005.
2. Scope of Work:
New 100 amp sub breaker box electrical service wired to existing service.
Wiring and connections as indicated on electric plans including boiler, telephones, smoke detectors, exhaust fans etc.
3. Exterior, Garage and Basement outlets shall be GFCI. Receptacles within 6'-0" of sinks and lavatories shall be GFCI.
4. Recessed lights at insulated ceilings to be rated for direct contact with insulation (IC or AL type).
5. Closet lights shall be fluorescent. (See fixture schedule).
6. Install boxes appropriate for ceiling fans at all locations shown or which could have ceiling fans installed at a future date.
7. Electric Contractor responsible for lamping of fixtures supplied by contractor.
8. Electric contractor responsible for proper labeling of circuits at panel.
9. Electric contractor responsible for verifying with General Contractor for electrical and installation requirements of all owner furnished items.
10. Fluorescent light fixtures in closets to be min. 6" from line of shelf typical.
11. All exhaust fans to vent directly to outside.
12. All GFCI outlets in kitchen shall be 20 amp.

RECEIVED
AUG 13 2012
BY:

HARKINS RESIDENCE GARAGE
73 LINCOLN PKWY.
CRYSTAL LAKE, IL

DATE	ISSUE
01/27/12	REVIEW
08/09/12	PERMIT

E1
CONCRETE