



#2012-99
296 Liberty Drive (Sea Level Diving)
Project Review for Planning and Zoning Commission

Meeting Date: October 3, 2012

Zoning Requests

- 1) A variation from Article 4 Section 4-100 D 2.g from the requirement to install sidewalk to defer the sidewalk until an area wide program is established,
- 2) A variation from Article 4 Section 4-200 C 8 from the requirement to install curb around the perimeter of the parking lot and landscape island,
- 3) A variation from Article 4 Section 4-400 F from the requirement to have a landscape island at the end of the parking row and every ten spaces, a variation of two landscape islands.

Location: 296 Liberty Drive

Acreage: 1.2 acres

Existing Zoning: M Manufacturing

Surrounding Properties:

North: B-2 General Commercial
South: M Manufacturing
East: B-2 PUD General Commercial
West: M Manufacturing

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- The property is a vacant lot which backs to the detention area adjacent to Three Oaks Recreation Area.
- Sea Level diving currently operates from 93 E. Berkshire Drive.
- The petitioner is constructing a new facility at this location.
- The petitioner is requesting variations from the sidewalk, parking lot curbing and parking lot landscape islands.

Land Use Analysis:

Use

- The petitioner will operate a technical/trade school for scuba training.
- Technical/trade schools are permitted in the M Manufacturing zoning district.

Site Plan

- The building is located perpendicular to Liberty Drive with the driveway and parking lot to the west.
- Water would drain off the west side of the parking lot into a swale down to the detention basin to the south.
- The petitioner would sheet flow the water into the landscape swale; the curb would prohibit this type of water flow, which is why the variation is being requested.
- Currently, sidewalk does not exist along the frontage of this parcel and the two adjacent parcels to the west. The petitioner is requesting a variation from the requirement to install sidewalk, asking for a deferral until the adjacent properties can be part of a larger sidewalk installation. Sidewalk also does not exist along the parking lot to the east.



Elevation

- The building would be horizontal vinyl siding with vertical siding along the bottom of the north and west elevations.
- A cantilevered roof projects out from over the front door.
- The UDO design standards apply to commercial buildings, not to schools or non-commercial buildings in the M-L or M zoning districts.

Landscape

- The site contains existing trees on the west and south sides of the property.
- The petitioner will add landscape around the west side of the parking lot for the swale and screening.
- Foundation base landscape will be planted around the perimeter of the building.
- Parking lots are required to be screened, additional landscape materials are required in the landscape island along the north side of the parking lot.

Findings of Fact:

ZONING ORDINANCE VARIATIONS

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.
 Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.
 Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;
or
 Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
 Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future residential areas including a combination of single-family and multi-family housing types. The following goal is applicable to this request:

Economic Development

Grow the City's Tax Base

Goal: Establish economic development practices that recruit new businesses and retain existing businesses and allow for the ease to redevelop vacant centers.

This can be accomplished with the following supporting action:

Supporting Action: Attract major recreational or green retailers and businesses to the Three Oaks Recreation Area

Success Indicator: The number of new occupancies for buildings in this area.

Recommended Conditions:

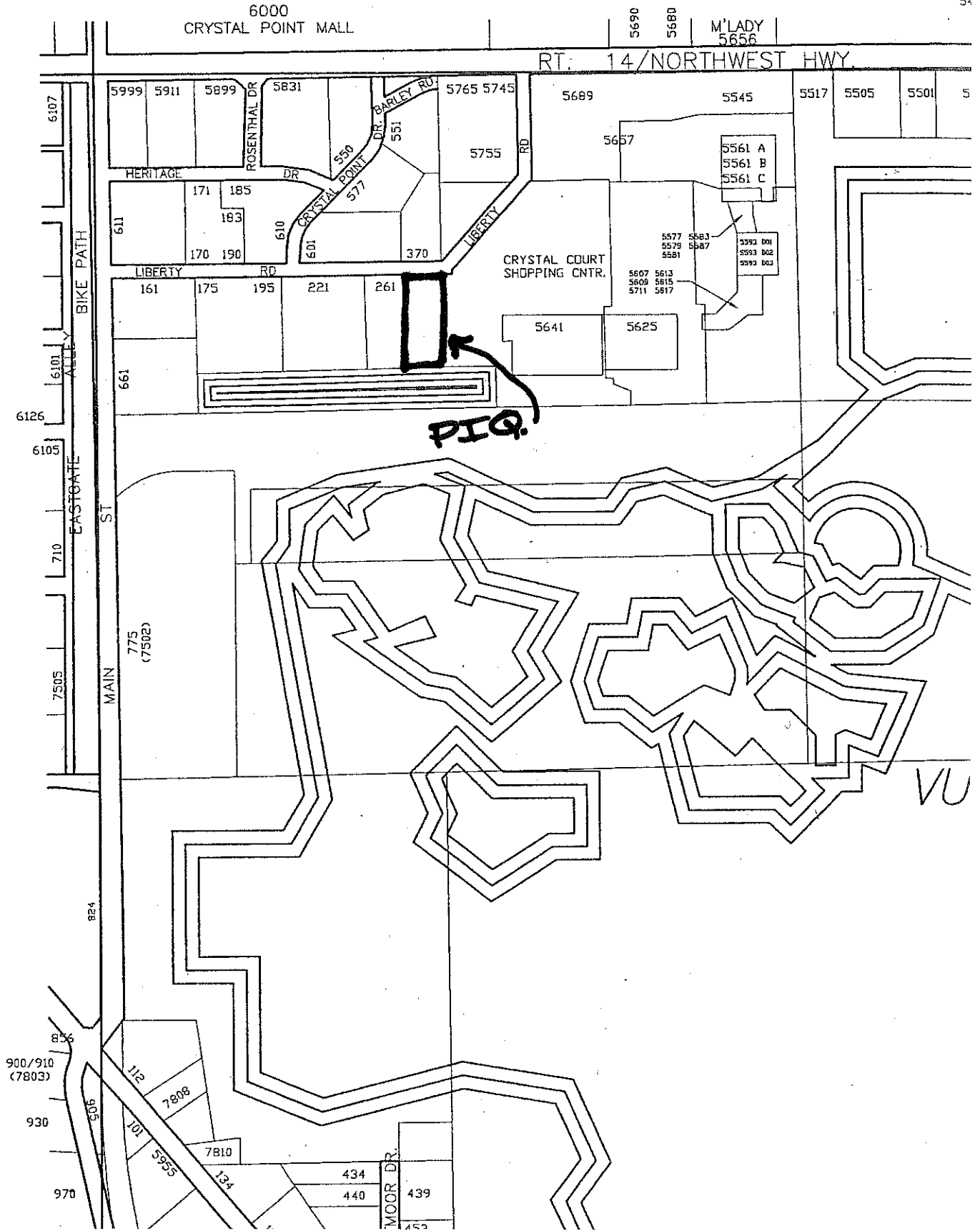
If a motion to recommend approval of the Variations at 296 Liberty Drive is granted, the following conditions are recommended:

1. Approved plan, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (CSC Commercial, Inc, received 09/18/12)
 - B. Geometry Plan (CSC Commercial, undated, received 09/18/12)

2. The following variations are granted:
 - A. A variation to install the sidewalk, deferring the installation until an area wide program is established or within 5 years whichever is sooner.
 - B. A variation from the requirement to install curbing around the perimeter of the parking lot and the landscape island.
 - C. A variation from the requirement to have a landscape island at the end of the row as well as every ten spaces.

3. Add additional landscape materials in the end landscape island on the north side of the parking lot to screen the parked cars.

4. The petitioner shall comply with all of the requirements of the Engineering and Building, Fire Rescue, Public Works and Planning and Economic Development Departments.



City of Crystal Lake Development Application

Office Use Only
File # 992012

Project Title: _____

RECEIVED
SEP 18 2012
BY: _____

Action Requested

- | | |
|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation <i>parking lot, curb, sidewalk, landscaping Island.</i> |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: CSC Commercial, INC
Address: 9 Crystal Lake Rd. Suite 220
Lake In the Hills, IL 60156
Phone: 847.417.9884
Fax: 847.854.0583
E-mail: CSCcommercial@gmail.com

Owner Information (if different)

Name: Arthur Koch
Address: 93 E Berkshire
Crystal Lake, IL 60094
Phone: 815.479.0996
Fax: 815.479.0997
E-mail: art@sealeveldiving.com

Property Information

Project Description: Construct 5,000 sq ft Scuba training Facility.

Project Address/Location: 269 Liberty Rd. Crystal Lake, IL

PIN Number(s): 19-09-104-015

Development Team

Please include address, phone, fax and e-mail

Developer: CSC Commercial, Inc. Lake In The Hills, IL 60156 ⁸⁴⁷⁴¹⁷⁹⁸⁸⁴ ^{CSCconnect@com} ^{gma.com}

Architect: Midwest Design Group (Adrian Shore) Huntley, IL 224.800.3030

Attorney: N/A

Engineer: Haeger Engineering (Mike Anderson) Schaumburg, IL ^{1304 N Plum Grove Rd. 847.394.6008-F 847.394.6000-O}

Landscape Architect: David Nabang 815.790.3672

Planner: N/A

Surveyor: Haeger Engineering (same as above)

Other: _____

Signatures

[Signature] Per CSC Commercial, Inc. 9.17.12
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.
[Signature] 9-17-12
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHEMRY COUNTY, ILLINOIS

**IN THE MATTER OF THE APPLI-
CATION OF Arthur Koch**

LEGAL NOTICE

Notice is hereby given in compli-
ance with the Unified Development
Ordinance of the City of Crystal
Lake, Illinois that a public hearing
will be held before the Planning
and Zoning Commission of the City
of Crystal Lake upon the applica-
tion of Arthur Koch, representing
Sea Level Diving, relating to the fol-
lowing described real estate com-
monly known as 296 Liberty Drive,
Crystal Lake, Illinois 60014, PIN:
18-09-104-015.

This application is filed for the
purposes of seeking a Variation
from Article 4 Section 4-100 D 2.g
from the requirement to install side-
walk to defer the sidewalk until an
area wide program is established,
Section 4-200 C.8 from the re-
quirement to install curb around the
perimeter of the parking lot and
around the landscape island, Sec-
tion 4-400 F from the requirement
to have a landscape island at the
end of the parking row and one ev-
ery ten parking spaces, and as well
as any other variations as neces-
sary to approve the plans as pre-
sented. The application and plans
can be found at the City of Crystal
Lake Community Development De-
partment at City Hall

A public hearing before the Plan-

ning and Zoning Commission on
the request will be held at 7:30
p.m. on Wednesday October 3,
2012 at the Crystal Lake City Hall,
100 West Woodstock Street, at
which time and place any person
determining to be heard may be
present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald :
September 18, 2012)

Joseph F. Antolak, D.D.S.

370 Liberty Road

Crystal Lake, IL 60014



9/22/2012

Attn: Planning Commission

Re: 296 Liberty Drive, Crystal Lake, IL PIN# 19-09-104-015

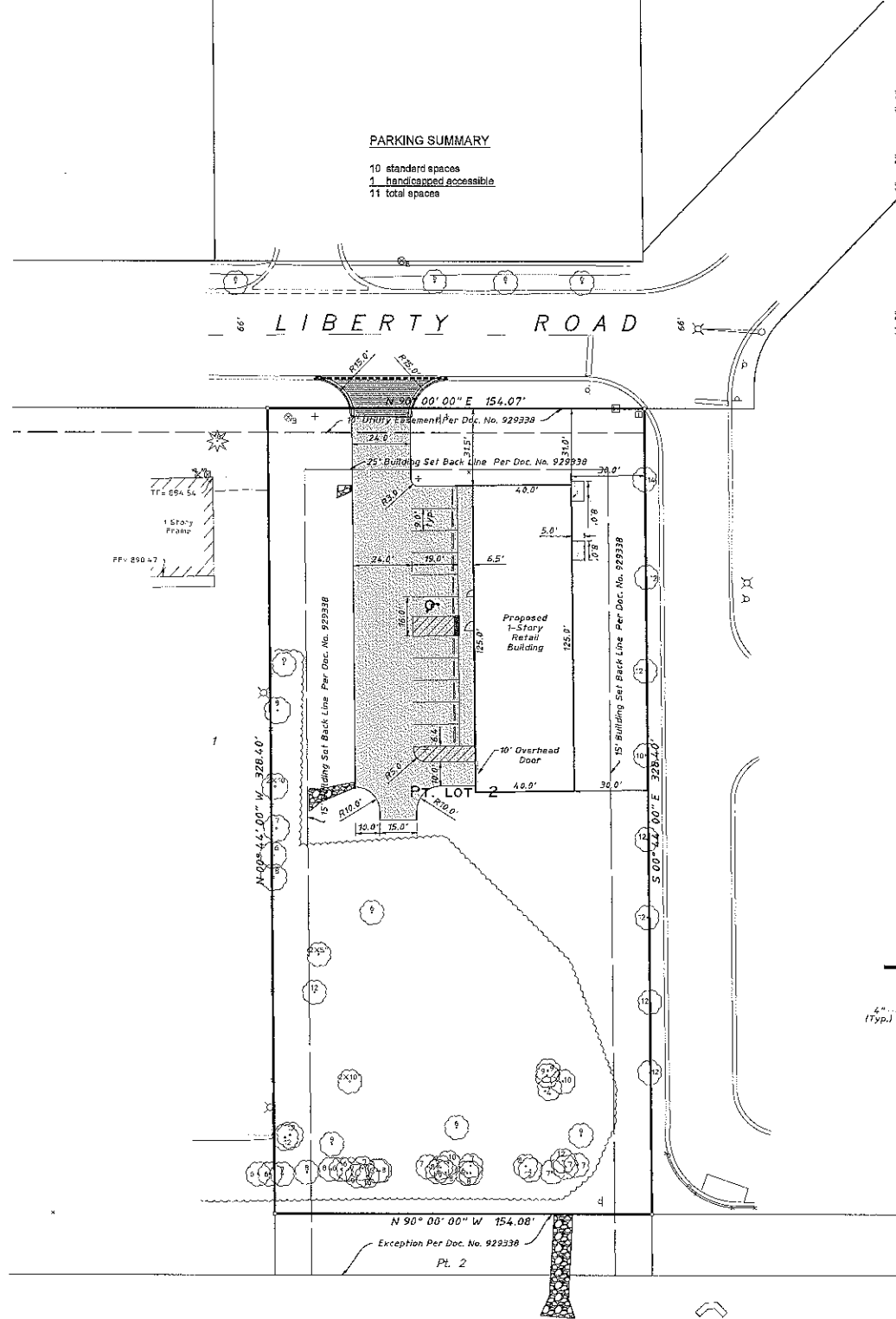
My office is located directly across the street of the newly planned property improvement located at 296 Liberty Drive. As a neighbor and Local business in Crystal Lake I am glad to see this property will no longer be a vacant plot of land.

My recent observation of a young woman pushing a stroller down the side of Liberty Road with another child by her side leaves me with a feeling of obligation to the community to write this letter in support of sidewalks on this planned property improvement. I would further encourage the City of Crystal Lake to consider the need of sidewalks on the adjacent properties at 221 and 261 Liberty Road as well. Over the last four years my staff and I have witnessed many people using Liberty Road as a walking "short cut." By completing sidewalks on 221, 261 and 296 Liberty Road, a pathway from Main Street to the Crystal Court Shopping Center would be completed. As business returns to the Crystal Court Shopping Center and the popularity of Three Oaks Recreation increases, more and more walkers will undoubtedly be passing through this area. For this reason I would be apposed to a variance that delays sidewalks in this area unless it is for a period of less than one year. I hope you will not agree to a variance that leaves a date for completion open ended.

Thank you for your consideration

A handwritten signature in cursive script that reads "Joseph F. Antolak, D.D.S.".

Joseph F. Antolak, D.D.S.

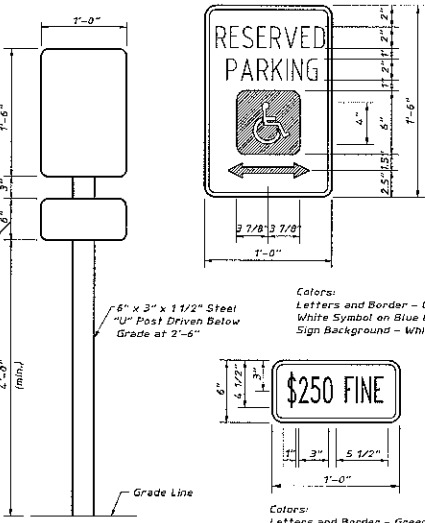


PARKING SUMMARY

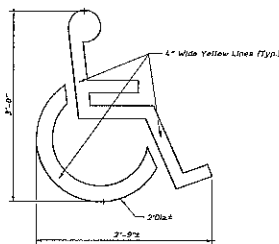
10 standard spaces
 1 handicapped accessible
 11 total spaces

GEOMETRY PLAN

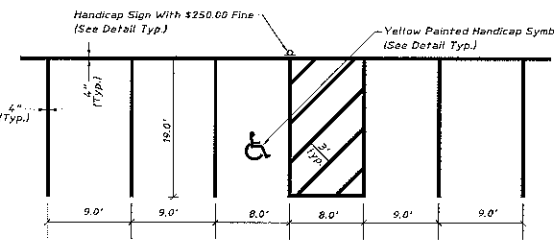
- Notes:**
1. Dimensions are to edge of pavement, face of building unless otherwise noted.
 2. See typical details for additional information on paving, curb and gutter, etc.
 3. Striping dimensions are to center of pavement marking.
 4. All pavement marking shall be provided and installed per IDOT specifications and details.



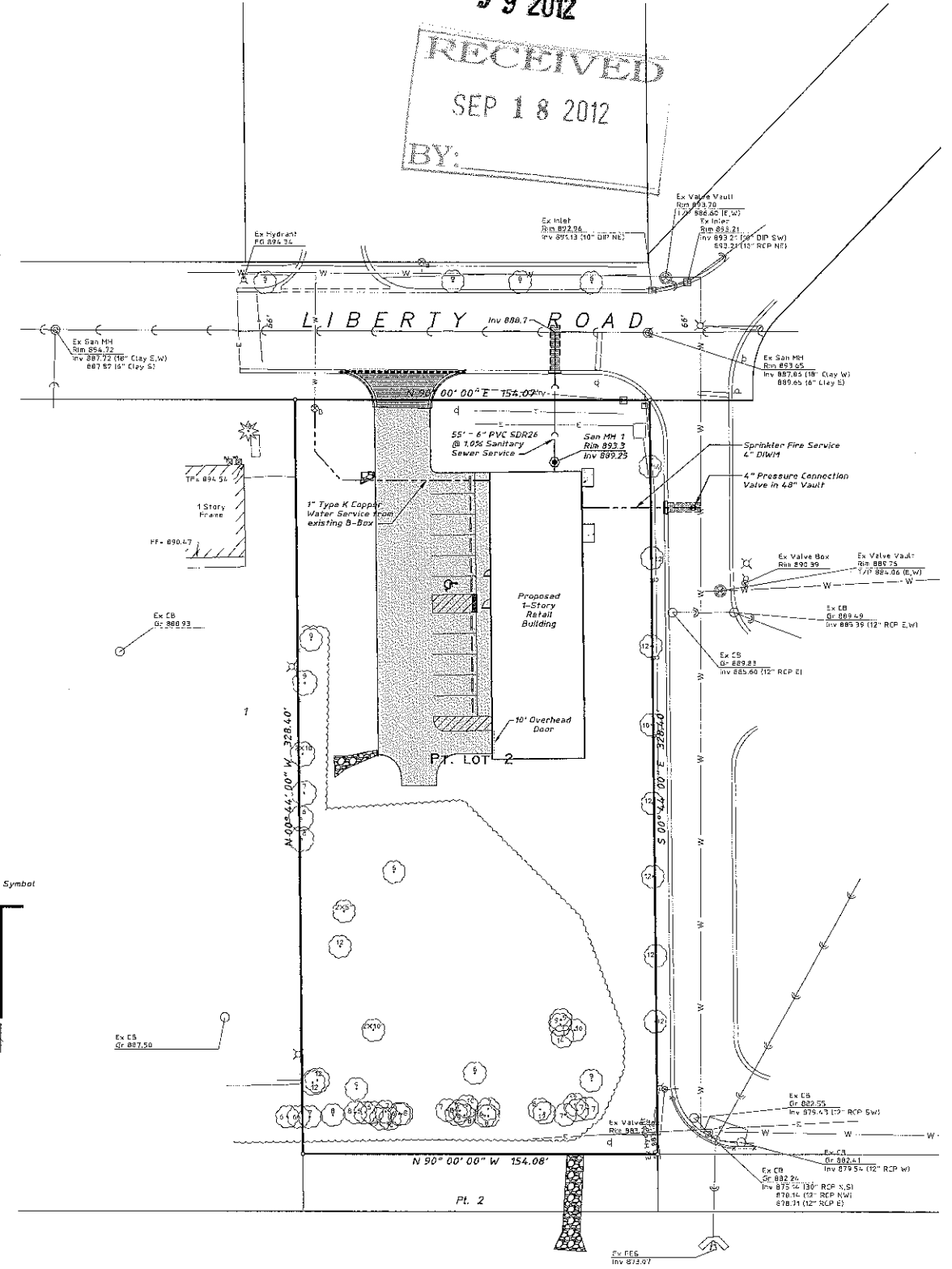
HANDICAP PARKING SIGN



PAVEMENT MARKING

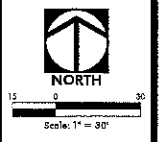


PARKING DETAIL



UTILITY PLAN

- Notes:**
1. Where sanitary sewer crosses over watermain a minimum 18" vertical separation shall be maintained for a distance of 10' on either side of the sewer and the sanitary sewer shall be constructed of watermain quality pipe (SDR 26 ASTM D2241) and joints (ASTM E2159).
 2. Where watermain crosses over a sewer with less than 18" vertical separation the watermain shall be encased for a distance of 10' either side of the sewer with watermain quality pipe (SDR26 ASTM D2241) and joints (ASTM D3136) or the sewer shall be constructed of watermain quality pipe for a distance of 10' either side of the watermain.
 3. Caution to be used in areas with overhead wires.
 4. Existing watermain to be located by contractor. Watermain assumed to be 6' deep per Crystal Clear Water Co. records. If actual watermain depth differs from that assumed on plans, contractor to notify Haeger Engineering.



HAEGER ENGINEERING
 consulting engineers • land surveyors
 1301 N. Plum Grove Road, Schaumburg, IL 60193 • Tel: 630-294-6600 Fax: 630-294-6008
 Illinois Professional Design Firm License No. 164-000132
 www.haegerengineering.com

GEOMETRY & UTILITY PLAN
SEA LEVEL DIVING
LIBERTY ROAD
 CRYSTAL LAKE, IL

Project Manager: MLA
 Engineer: MLA
 Date: 6-15-12
 Project No. 12-D48E
 Sheet 4/8

9 9 2012

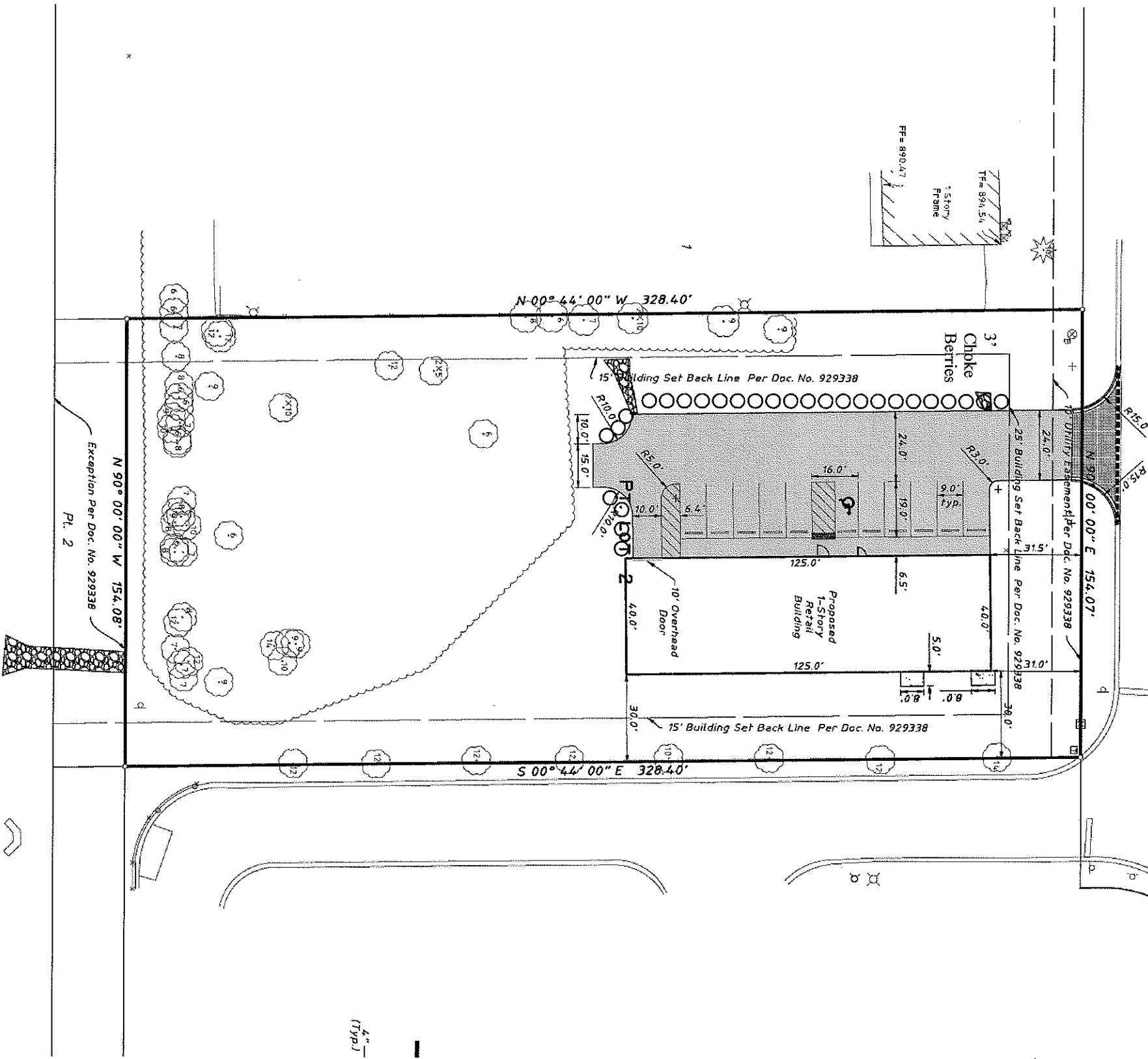
RECEIVED
SEP 18 2012
BY: _____

Proposed Parking Lot
Perimeter Barrier

PARKING SUMMARY

- 10 standard spaces
- 1 handicapped accessible
- 11 total spaces

LIBERTY ROAD



4" = 1' (Typ.)

GEOMETRY PLAN

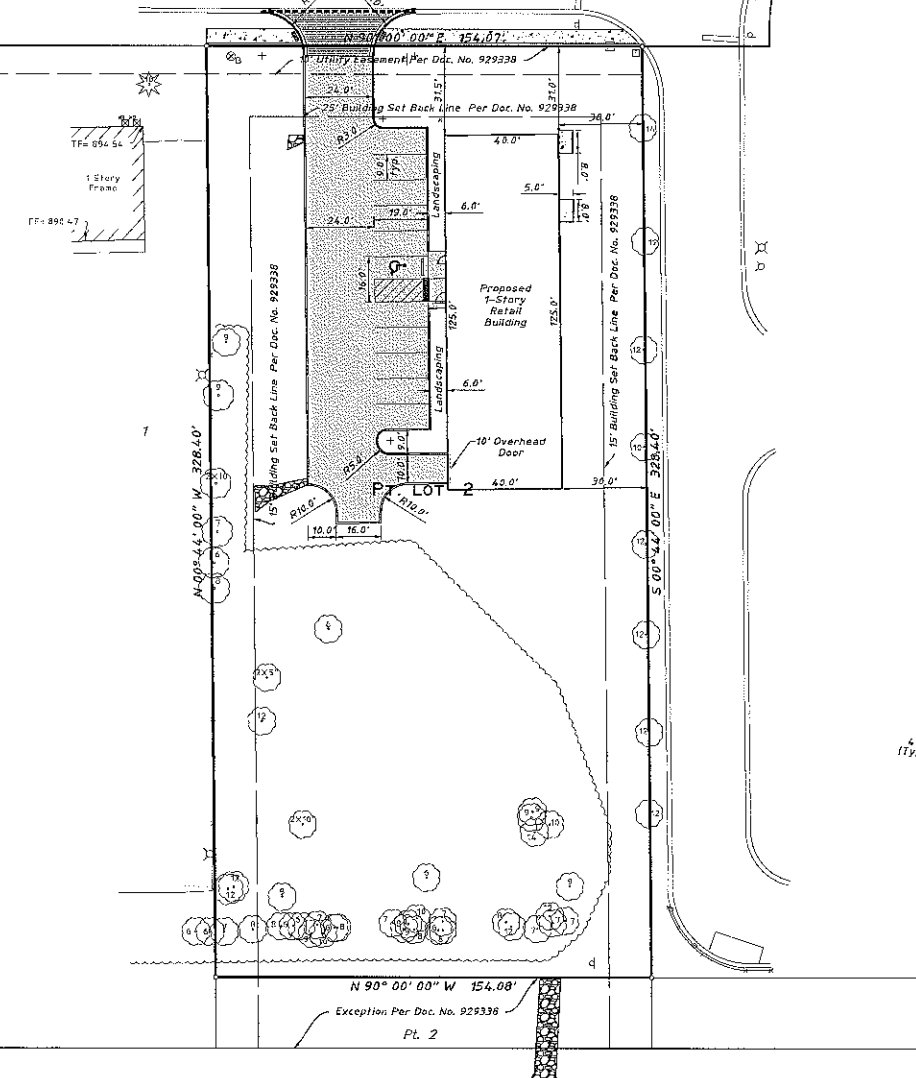
Exception Per Doc. No. 929338

- Notes:
1. Dimensions are to edge of pavement, face of building unless otherwise noted.
 2. See typical details for additional information on paving, curb and gutter, etc.
 3. Striping dimensions are to center of pavement marking.
 4. All pavement marking shall be provided and installed per IDOT specifications and details

PARKING SUMMARY

- 10 standard spaces
- 1 handicapped accessible
- 11 total spaces

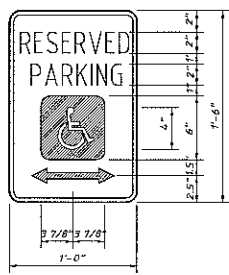
LIBERTY ROAD



GEOMETRY PLAN

Exception Per Doc. No. 929338
Pl. 2

- Notes:**
1. Dimensions are to edge of pavement, face of building unless otherwise noted.
 2. See typical details for additional information on paving, curb and gutter, etc.
 3. Striping dimensions are to center of pavement marking.
 4. All pavement marking shall be provided and installed per IDOT specifications and details.

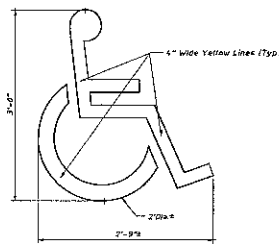


Colors:
Letters and Border - Green
White Symbol on Blue Background
Sign Background - White

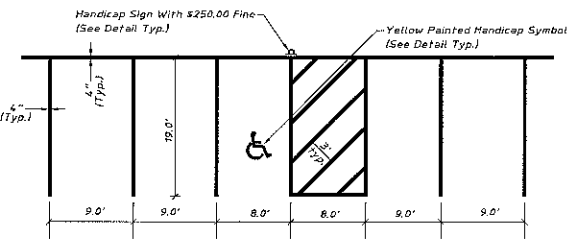


Colors:
Letters and Border - Green
Non-ReflectORIZED Sign Background - White
ReflectORIZED

HANDICAP PARKING SIGN



PAVEMENT MARKING

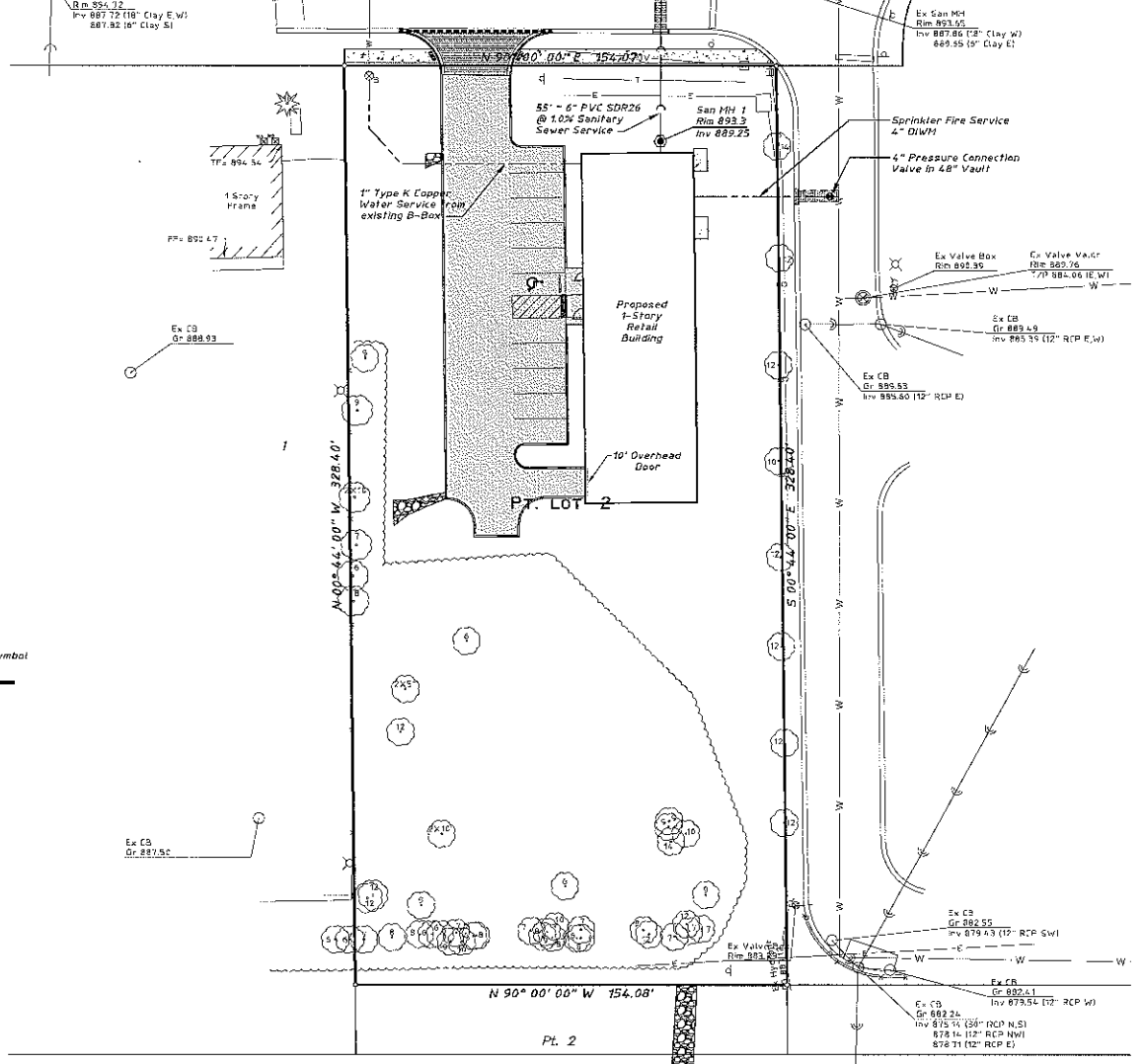


PARKING DETAIL

9 9 2012

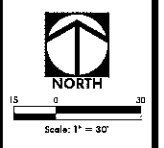
RECEIVED
SEP 18 2012
BY:

LIBERTY ROAD



UTILITY PLAN

- Notes:**
1. Where sanitary sewer crosses over watermain a minimum 18" vertical separation shall be maintained for a distance of 10' on either side of the sewer and the sanitary sewer shall be constructed of watermain quality pipe (SDR 26 ASTM D2241) and joints (ASTM D3139).
 2. Where watermain crosses over a sewer with less than 18" vertical separation the watermain shall be encased for a distance of 10' either side of the sewer with watermain quality pipe (SDR26 ASTM D2241) and joints (ASTM D3139) or the sewer shall be constructed of watermain quality pipe for a distance of 10' either side of the watermain.
 3. Caution to be used in areas with overhead wires.
 4. Existing watermain to be located by contractor. Watermain assumed to be 6' deep per Crystal Clear Water Co. records. If actual watermain depth differs from that assumed on plans, contractor to notify Haeger Engineering.



HAEGER ENGINEERING
consulting engineers and land surveyors
1304 N. Plum Grove Road, Schaumburg, IL 60173 • Tel: 815.394.6600 Fax: 815.394.6608
Illinois Professional Design Firm License No. 194-000192
www.haegerengineering.com

GEOMETRY & UTILITY PLAN
SEA LEVEL DIVING
LIBERTY ROAD
CRYSTAL LAKE, IL

Project Manager: MLA
Engineer: MLA
Date: 6-15-12
Project No. 12-048E
Sheet 4