



#2012-98
235 Crystal Ridge Drive (Tittle)
Project Review for Planning and Zoning Commission

Meeting Date: October 3, 2012

Zoning Request: Special Use Permit for a detached accessory structure greater than 600 square feet, to allow a pool and deck totaling 1,161 square feet.

Location: 235 Crystal Ridge Drive

Acreage: »14,224 sq. ft.

Existing Zoning: R-1 PUD Single-family Residential

Surrounding Properties: North: R-1 PUD Single Family Residential
South: R-1 PUD Single Family Residential
East: R-1 PUD Single Family Residential
West: R-1 PUD Single Family Residential

Staff Contact: Latika Bhide (815.356.3615)

Background:

- **Lot Details:** Conforming lot in the “R-1” district. Platted in 1999.
- **Existing Improvements:** Two-story residence with an attached garage. A 15’ x 30’ above-ground pool was installed earlier in 2012.
- **Request:** Special Use Permit to allow a detached accessory structure greater than 600 square feet.
- **Details:** The proposed deck will be approximately 43’ x 27’, around the above-ground pool. The deck will meet the required 5 foot side yard setback for detached accessory structures. The deck and pool together shall be approximately 1,161 square feet.



Land Use Analysis:

- **Ordinance Requirements:** Upon adoption of the UDO, detached accessory structures greater than 600 square feet require a Special Use Permit. The Special Use Permit process is designed to ensure there is no adverse impact to the surrounding property owners due to large accessory structures that could potentially be located as close as 5 feet from the property line.
- **Site specific conditions:** The property at 225 Crystal Ridge Drive (immediately to the east) also has an above ground pool and deck in the rear yard that will be adjacent to the proposed pool and deck.

Findings of Fact:

SPECIAL USE PERMIT

Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*

2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*

4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*

5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*

6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.

Meets *Does not meet*

7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.

Meets *Does not meet*

8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.

Meets *Does not meet*

9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.

Meets *Does not meet*

10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.

Meets *Does not meet*

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future residential areas including a combination of single-family and multi-family housing types. The following goal is applicable to this request:

Land Use

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the City that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

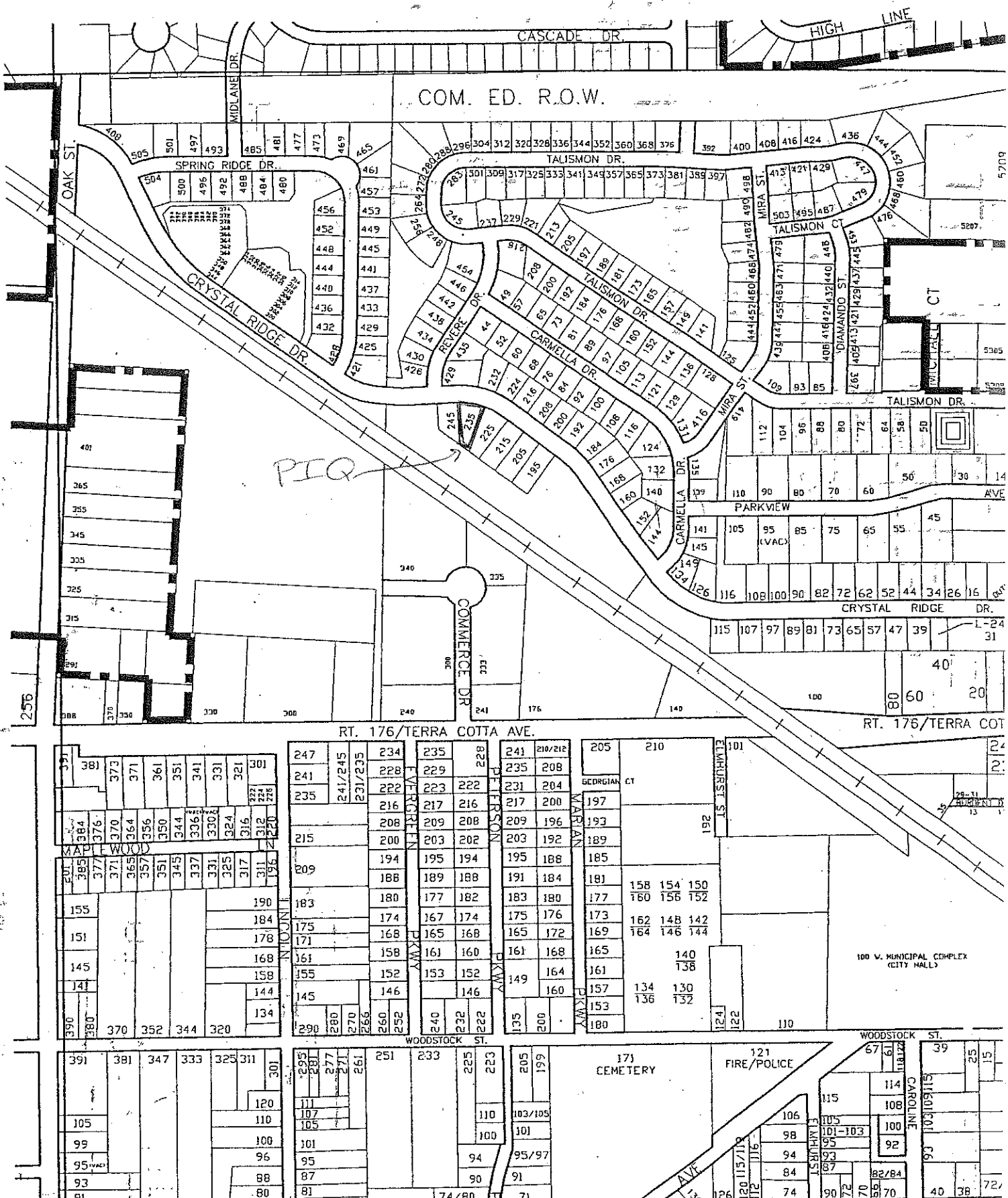
Supporting Action: Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Recommended Conditions:

If a motion to recommend approval of the Special Use Permit at 68 Carmella Drive is granted, the following conditions are recommended:

1. Approved plan, to reflect staff and advisory board comments, as approved by the City Council:
 - A. Application (Tittle, received 9/12/12)
 - B. Plat of Survey/Site Plan (Henderson and Bodwell, received 9/12/12)

2. No structure or attachment shall be constructed between the deck or pool and the principal residence. The pool and deck must remain at least 6 feet from the principal structure.
3. The petitioner shall comply with all of the requirements of the Engineering and Building, and Planning and Economic Development Departments.



COM. ED. R.O.W.

PIQ

RT. 176/TERRA COTTA AVE.

RT. 176/TERRA COT

100 W. MUNICIPAL COMPLEX CITY HALL

171 CEMETERY

121 FIRE/POLICE

WOODSTOCK ST.

CAROLINE

SILVIA

69

39

25

15

72

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114

108

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101-103

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82/84

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**City of Crystal Lake
Development Application**

Office Use Only

File # _____

9 8 2012

Project Title: HERBERT TITTLE

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: HERBERT TITTLE
Address: 235 CRYSTAL RIDGE DR
CRYSTAL LAKE, IL 60012
Phone: (815) 479-8819
Fax: (815) 790-1625 (CELL)
E-mail: TITTLESNW@ATT.NET

Owner Information (if different)

Name: _____
Address: _____
Phone: _____
Fax: _____
E-mail: _____

Property Information

Project Description: DECK AROUND ABOVE GROUND POOL

Project Address/Location: 235 CRYSTAL RIDGE DR.

PIN Number(s): _____

Development Team

Please include address, phone, fax and e-mail

Developer: _____

Architect: _____

Attorney: _____

Engineer: _____

Landscape Architect: _____

Planner: _____

Surveyor: _____

Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

OWNER: Print and Sign name Date
9/12/2012

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE APPLICA-
TION OF HERBERT TITTLE

LEGAL NOTICE

Notice is hereby given in compli-
ance with the Unified Development
Ordinance (UDO) of the City of
Crystal Lake, Illinois, that a public
hearing will be held before the
Planning and Zoning Commission
of the City of Crystal Lake upon the
application of Herbert Tittle for ap-
proval of a Special Use Permit and
Variations relating to the following
described real estate commonly
known as 235 Crystal Ridge Drive,
Crystal Lake, Illinois 60012, PIN:
14-32-182-007

This application is filed for the
purposes of seeking a Special Use
Permit to allow a detached acces-
sory structure greater than 600
square feet in area for a deck and
swimming pool pursuant to Articles
4 and 9 of the UDO; and any other
variations as necessary to allow the
construction of the structure as pre-
sented. Plans for this project can
be viewed at the City of Crystal
Lake Planning and Economic De-
velopment Department at City Hall.

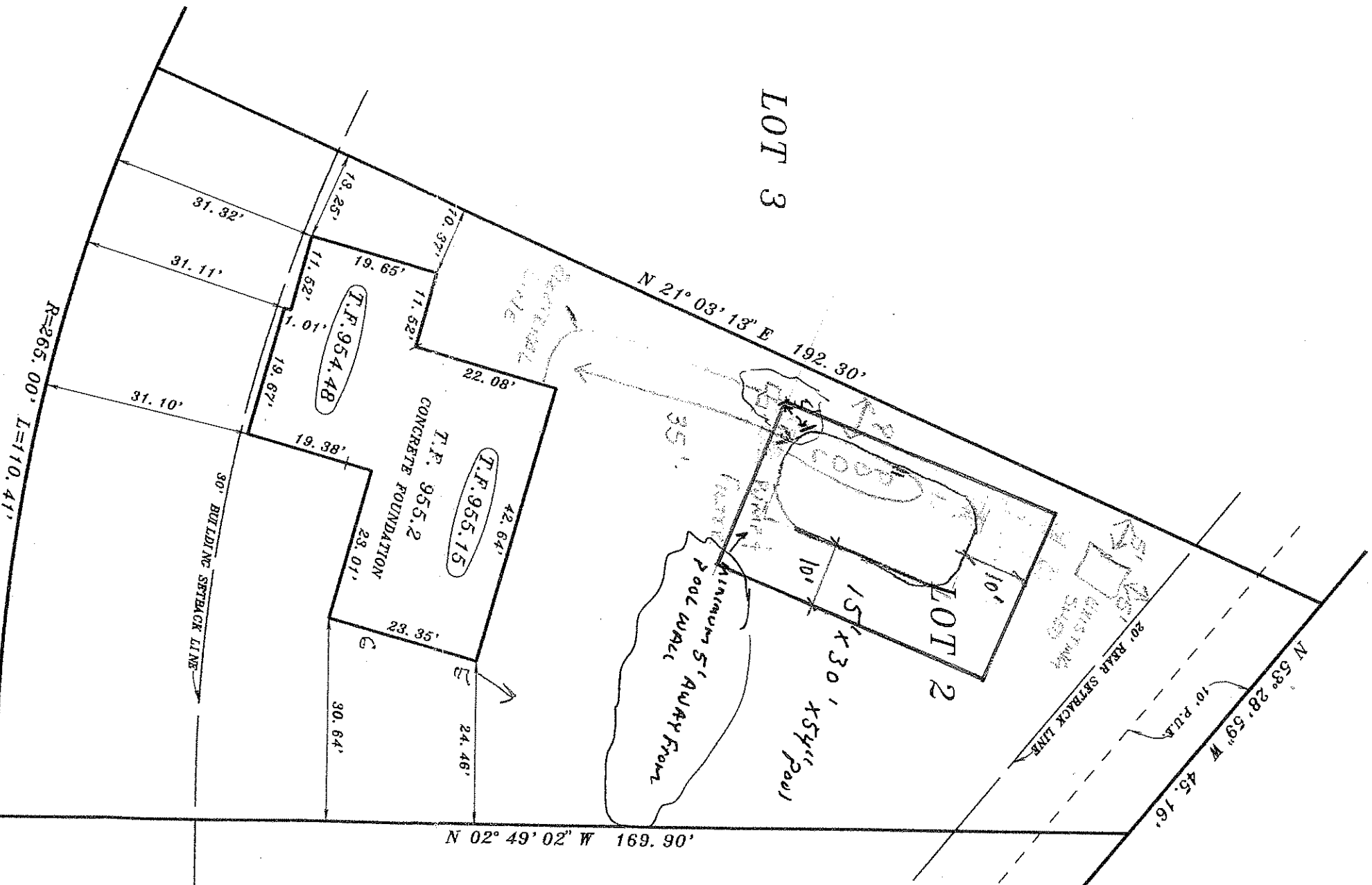
A public hearing before the Plan-
ning and Zoning Commission on
the request will be held at 7:30
p.m. on Wednesday, October 3,
2012, at the Crystal Lake City Hall,
100 West Woodstock Street, at
which time and place any person
determining to be heard may be
present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake
(Published in the Northwest Herald
September 18, 2012)

PLAT OF SURVEY
FOR
RESERVE ONE HOMES INC.

LOT 2 OF WALKUP AT THE PARK UNIT ONE, PART OF THE NORTH HALF OF SECTION 32, TOWNSHIP 44 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN McHENRY COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1st, 1999 AS DOCUMENT NO. 1999R0075300.

SCALE: 1" = 20'



CITY COPY

APPROVED
WITH CONDITIONS

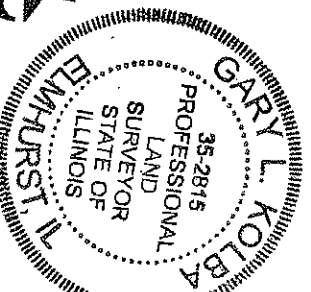
08-15-12P01:11 RCVD

- R-1 ZONING REQUIREMENTS
- FRONT YARD SETBACK 30'
 - REAR YARD SETBACK 20'
 - SIDE YARD SETBACK 8' MIN. 20' TOTAL
 - CORNER SIDE YARD 30'

NOTE:

1. PLEASE CHECK LEGAL DESCRIPTION WITH DEED AND REPORT ANY DISCREPANCIES IMMEDIATELY.
2. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND REPORT ANY DISCREPANCIES AT ONCE.
3. BUILDING LINES, IF ANY, SHOWN HEREON ARE BUILDING LINES SHOWN ON THE RECORDED SUBDIVISION PLAT.
4. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCE.
5. P.U.R. = PUBLIC UTILITY EASEMENT
6. R.P.U.E. = RESTRICTED PUBLIC UTILITY EASEMENT
7. D.E. = DRAINAGE EASEMENT
8. D.E.F.O.F.R. = DRAINAGE EASEMENT-EMERGENCY OVERLAND FLOOD ROUTE
9. NON-CIRCLED ELEVATIONS ARE PROPOSED.
10. FOR CONVERSION TO METRIC LENGTHS (METERS) MULTIPLY SHOWN U.S. SURVEY LENGTHS BY 1200/3937.

APPROVED



STATE OF ILLINOIS)
COUNTY OF DUPAGE)

SS

ON BEHALF OF HENDERSON AND BODWELL, L.L.P., I, GARY L. KOLBA, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECT SUPERVISION AND THAT THE PLAT HEREIN DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES SHOWN ARE IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.

DATED THIS 18th DAY OF JANUARY

GARY KOLBA
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 36-2814

HENDERSON and BODWELL, L.L.P.
CONSULTING ENGINEERS
124 WEST DIVERSEY