



#2012-111
400 S. Federal Drive – Milestones Therapy
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	November 7, 2012 and November 19, 2012
<u>Request:</u>	Prelim/Final PUD and Prelim/Final Plat of Subdivision for a medical office for Milestones Therapy.
<u>Location:</u>	400 S. Federal Drive (between Sam's Club and McHenry County Federal Financial Credit Union)
<u>Acreage:</u>	Approximately 2 acres
<u>Existing Zoning:</u>	B-2 PUD General Commercial
<u>Surrounding Properties:</u>	North: B-2 PUD General Commercial (McHenry County Federal Financial Credit Union) South: B-2 PUD General Commercial (Sam's Club) East: B-2 PUD General Commercial (in-line tenant building) West: B-2 PUD General Commercial (Post Office)
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- **History:** This 2-acre lot was created with the subdivision for the credit union and is within the Crystal Lake Business Center.
- **Existing Use:** The lot is currently vacant. Improvements for detention including storm sewer piping were installed along the west and south sides of this lot for the detention requirements of the credit union. An existing 35-foot utility and drainage easement exists on the south side of this lot.

Development Analysis:

General

- **Request:** Prelim/Final Planned Unit Development approval and a Prelim/Final Plat of Subdivision for two lots.
- **Land Use:** The land use map shows the area as Commerce. This is appropriate for a medical office.
- **Zoning:** The site is zoned B-2 PUD. B-2 zoning is appropriate for a medical office.

Site Layout

- The building is located along the north side of the lot with the parking on either side and to the south.
- There is one shared access point which lines up with the driveway across Federal Drive.
- There is an outdoor play area for the kids to utilize on the west side of the building away from Federal Drive as part of their therapy programs.
- The south half of the lot will be sold to a future user.

Building Elevations

- The building architecture will utilize similar materials to the other office buildings in the area with brick and stone.
- The front elevation will have a unique look with the CMU block creating a tower element in front with two adjacent projecting areas on either side.
- The proposed elevations meet the Design Standards in the Unified Development Ordinance.

Parking

- Medical office buildings require 1 space per 150 square feet of gross floor area, requiring 61 parking spaces.
- The petitioner has requested a 10% reduction in required parking from the Zoning Administrator, which has been approved, requiring 55 spaces.
- 56 parking spaces have been provided, meeting the ordinance requirements.

Landscape

- A landscape plan will be forthcoming.

Findings of fact:

Preliminary and Final Planned Unit Development

The petitioner is requesting approval of a Preliminary and Final Planned Unit Development to allow the construction of Milestones Therapy medical office building in the B-2 PUD zoning district. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*

3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 2 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.
 Meets *Does not meet*
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets *Does not meet*
3. PUD's must provide transitional uses to blend with adjacent development.
 Meets *Does not meet*
4. PUD phases must be logically sequenced.
 Meets *Does not meet*

5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets *Does not meet*
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets *Does not meet*
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets *Does not meet*
8. Any private infrastructure shall comply with the city standards.
 Meets *Does not meet*
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets *Does not meet*
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets *Does not meet*

Preliminary and Final Plat of Subdivision

The preliminary and final plat of subdivision would allow for two lots to be created from one. The access point shown on this plan will be a shared access for both lots. Both lots meet the lot area and lot width requirements in the UDO.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future business uses. The following goal is applicable to this request:

Land Use

Office

Goal: Maintain and expand the availability of professional and research office in appropriate locations throughout the city to complement commercial and manufacturing uses.

This can be accomplished with the following supporting action:

Supporting Action: Encourage office development along major roadways, near transit stops and bicycle routes, and in proximity to residential uses.

Success Indicator: The number of new office occupancies.

Recommended Conditions:

If a motion to recommend approval of the petitioner's requests is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Milestones Therapy, received 11/01/12)
 - B. Elevations (ALA Architects, dated 10/30/12, received 10/30/12)
 - C. Engineering Plan Set (Northwestern Engineering Consultants, dated 10/24/12, received 10/31/12)
2. Final Plat of Subdivision
 - A. Provide a Final Plat of Subdivision meeting all the requirements in Article 5-200G 3.b.
 - B. Illustrate the cross-access easement over the main driveway. A cross-access agreement shall be provided when the property to the south develops.
3. Site and Landscape Plan
 - A. Street trees shall be planted along Federal Drive, every 40 feet on center along the property frontage.
 - B. The landscape plan shall illustrate parking lot perimeter landscape, foundation base landscape and parking lot island landscape, which meets Article 4-400.
 - C. The landscape materials along Federal Drive shall be similar in species and layout as the Crystal Lake Business Center Unit 4 Landscape Plan.
 - D. A fire hydrant shall be available within 100 feet from the Fire Department connection and not closer than 1.5 times the height of the building.
4. Elevations
 - A. A sample color and material board shall be presented with the Final PUD application.
5. The petitioner shall address all of the review comments and requirements of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

410-CITY. COMPOST SITE

147/420
155/440
163/460
171
189

500

250

215 245

EXCHANGE DR

220

265

300

COMMONWEALTH DR

350

300

200

286

290

300

318

338

360

380

DR

450

282

284

MEMORIAL CT

280

278

MEMORIAL

285

345

350

390

PKWY

415

407

325

335

345

355

365

375

320

CONGRESS

260/270

290

345

387

401

405

360

400

FEDERAL DR

0696

5580

5540

5460

5420

5340

431

EXCHANGE DR

PIQ

5670 SAM'S CLUB

0695

0680

5656 M'LADY

5620

5500

5380

5300

5260

6000 CRYSTAL POINT MALL

RT. 14/NORTHWEST HWY./RONALD REAGAN HWY.

5999

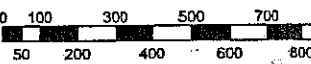
555

5831

5701

5689

7019



RE

**City of Crystal Lake
Development Application**

Office Use Only
File # _____

11/11/2012

Project Title: MILESTONE THERAPY

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

RECEIVED
NOV 01 2012
BY: _____

Petitioner Information

Name: MILESTONE THERAPY

Address: 411 E. CONGRESS PARKWAY STE B
CRYSTAL LAKE, IL 60014

Phone: 815-459-3810

Fax: 815-356-3550

E-mail: milestonescenter2@gmail.com

Owner Information (if different)

Name: KAPADIA & SONS LTD.

Address: 451 COUNTRY LANE
CRYSTAL LAKE, IL 60014

Phone: 815-566-2890 (C)

Fax: 815-356-3550

E-mail: milestonescenter2@gmail.com

Property Information

Project Description: CONSTRUCTION OF AN APPROXIMATELY 9000 SF ONE
STORY BRICK & STONE PEDIATRIC THERAPY BUILDING

Project Address/Location: 400 S. FEDERAL DRIVE

PIN Number(s): 19-04-327-002

Development Team

Please include address, phone, fax and e-mail

Developer: Milestones Therapy, 411 E. Congress Parkway, Ste B, Crystal Lake, IL
815.459.7810; 815.356.3550(F); milestonescenter2@gmail.com

Architect: ALA Architects & Planners, 2600 Behan Road @ Rt 176, Crystal Lake
815.788.9200; 815.788.9201(F); crusso@alarchitects.com

Attorney: _____

Engineer: Northwestern Engineering Consultants, 1110 Lake Cook Road, Buffalo Grove, IL
847.520.8410; 847.520.8481(F); dhavli@tds.net

Landscape Architect: Nierman Landscape & Design, P.O. Box 765, Woodstock, IL
815.337.8873; 815.337.9043(F); jtromniermanland.com

Planner: _____

Surveyor: _____

Other: _____

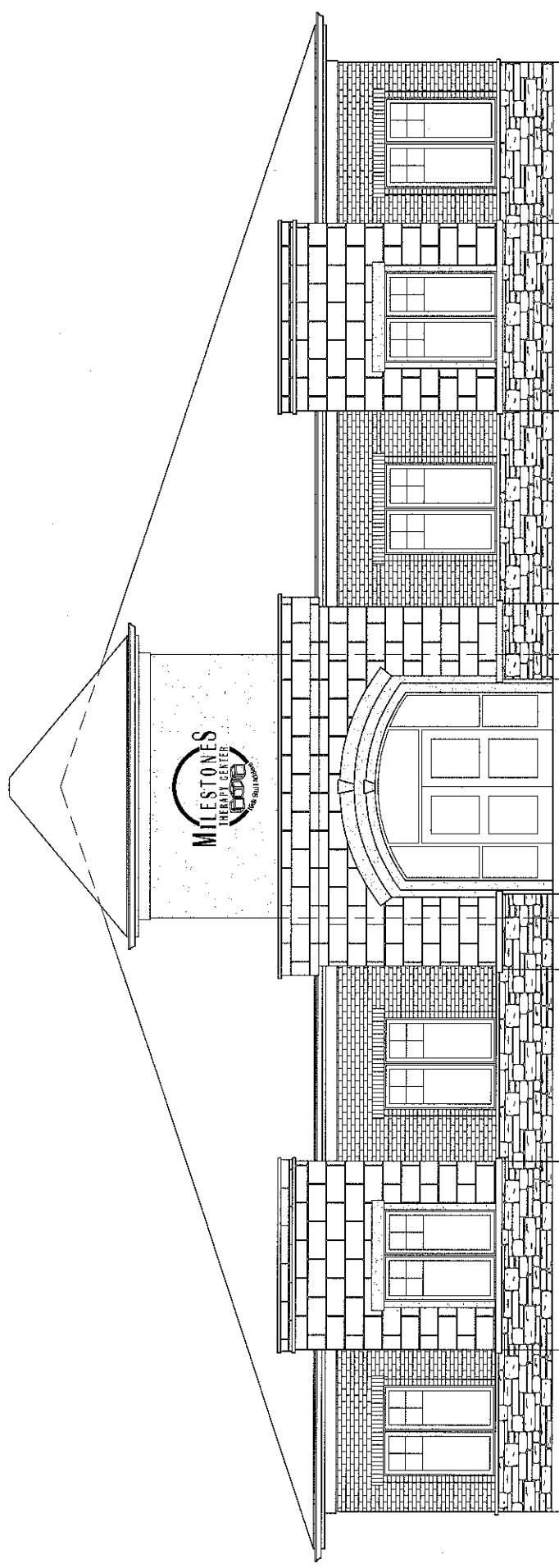
Signatures

Sakina Kapadia / SAKINA KAPADIA 11-1-12
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Sakina Kapadia / SAKINA KAPADIA 11-1-12
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

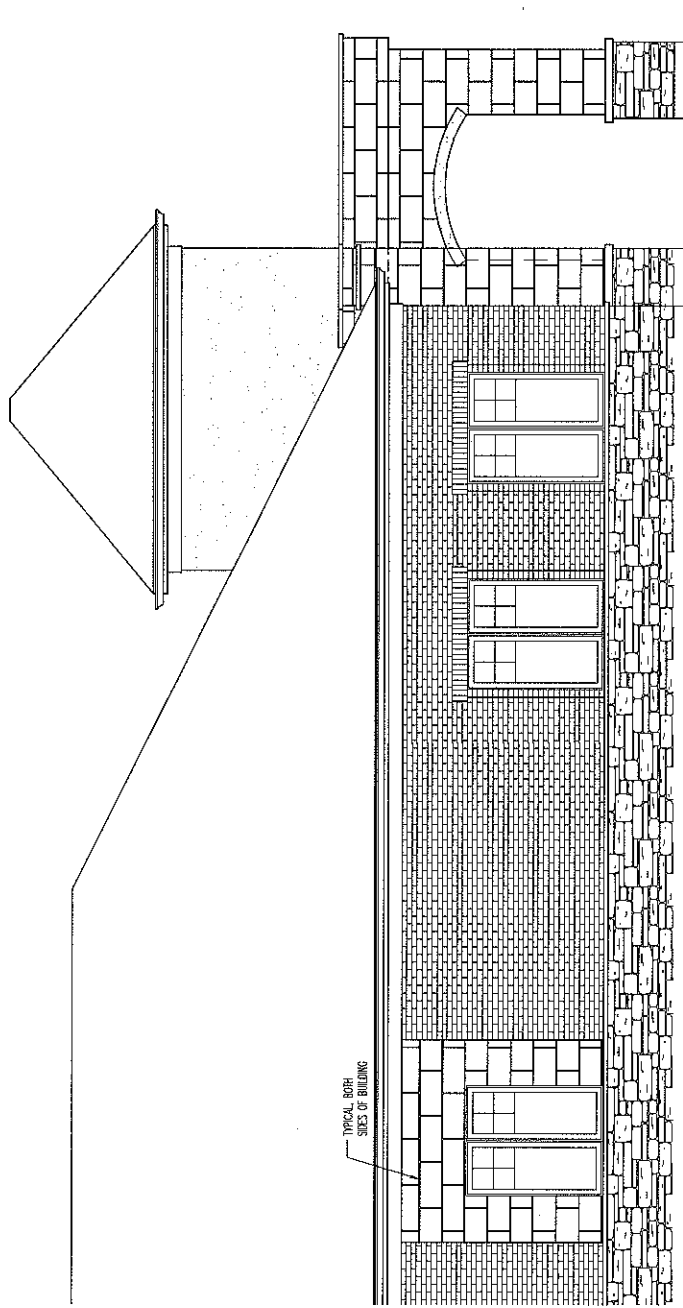


1 FRONT ELEVATION

MILESTONES THERAPY CENTER
10-30-12

1/8" = 1'-0"

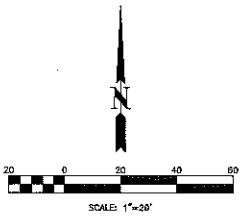
RECEIVED
OCT 30 2012
BY:



LEFT ELEVATION
MILESTONES THERAPY CENTER
10-30-12

1/8" = 1'-0"

RECEIVED
OCT 30 2012
BY:



PARKING MARKING (STAMPING) FOR PARKING LOTS

- After paving operations are completed, or when directed by the General Contractor, marking as designated on the drawing may proceed. Marking shall consist of 4" wide lines contrasted as indicated on drawings. Traffic Yellow paint shall be manufactured by DuPonts, Williams, or approved equal. Apply in strict conformance with manufacturer's instructions.
- Painted white work shall include symbols of handicapped parking symbol at designated parking for handicapped, as indicated on drawings.
- Protect work against traffic for at least 48 hours after application of painting.

SPECIAL NOTE:

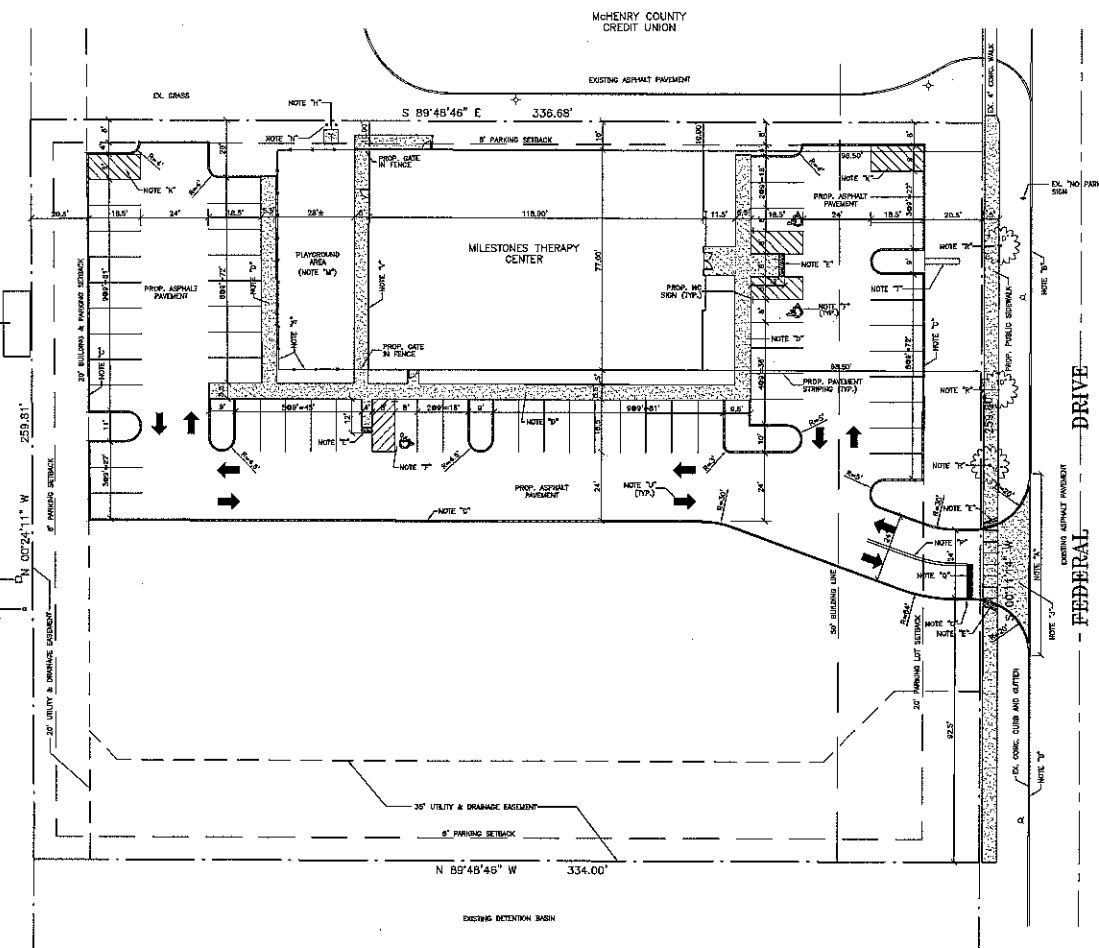
Existing obstructions and improvements not shown from the best information available and must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.



- NOTE:** ALL TRAFFIC SIGNS ARE TO BE INSTALLED AT 7' MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.
- NOTE:** SEE ARCHITECTURAL DRAWING FOR EXISTING DIMENSIONS, PARKING LOT LAYOUT, STORAGE AND LANDSCAPE.
- NOTE:** ALL DIMENSIONS ARE TO THE FACE OF SIDEWALK OR FACE OF CURB UNLESS OTHERWISE NOTED.

- NOTE 0-1:** REMOVE AND REPLACE EXISTING CONCRETE CURB AND OUTER SIDEWALK WITH NEW IMPROVED CONCRETE CURB AND OUTER SIDEWALK. NEW FLOW LINE SHALL MATCH EXISTING FLOW LINE.
- NOTE 0-2:** EXISTING CONCRETE CURB AND OUTER TO REMAIN.
- NOTE 1-1:** PROPOSED CONCRETE CURB TYPE 8 (7.5") SEE DETAIL SHEET C-11.
- NOTE 1-2:** PROPOSED CONCRETE SIDEWALK WITH INTERNAL CURB.
- NOTE 1-3:** REMOVE AND REPLACE SAND IN ACCORDANCE WITH ALL CITY STATE AND ADA REQUIREMENTS (CYLINDRICAL RAMP SHALL USE 2" DIA. GRANULAR SAND FILL COMPACTED TO PRODUCE SURFACE OF SAND BED COLOR. SEE DETAIL).
- NOTE 1-4:** PROPOSED HANDICAPPED PARKING STALL WITH PAINTED SYMBOL AND PEE SIGN.
- NOTE 1-5:** PROPOSED 30"x60" W-1 STOP SIGN MOUNTED ON METAL POST.
- NOTE 1-6:** PROPOSED CONCRETE PAD FOR ELECTRIC TRANSFORMER. SEE ELECTRICAL DRAWINGS.
- NOTE 1-7:** PROPOSED CONCRETE DRIVEWAY. SEE NON-RESIDENTIAL DRIVEWAY DETAIL SHEET C-15.
- NOTE 1-8:** PROPOSED PARKING STRIPING, 4" WIDE LINES @ 45', 3' E.G.C.
- NOTE 1-9:** PROPOSED LIGHT POLE (7.5"). SEE ELECTRICAL DRAWINGS.
- NOTE 1-10:** SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF PLAYGROUND AREA.
- NOTE 1-11:** METAL PIPE INCLINED TO PROTECT ELECTRIC TRANSFORMER.
- NOTE 1-12:** PROPOSED 2'-4" YELLOW STRIPES #11" O-C.
- NOTE 1-13:** 24" WHITE STOP BAR.
- NOTE 1-14:** EXISTING TREE TO BE REMOVED.
- NOTE 1-15:** PROPOSED 6" HIGH ALUMINUM FENCE "WOODGIRL IRON" STYLE.
- NOTE 1-16:** PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- NOTE 1-17:** PROPOSED PAINTED TRAFFIC SIGNAL. SEE DETAIL SHEET C-11.
- NOTE 1-18:** PROPOSED CONCRETE WALK IS ADJACENT TO FOUNDATION WALL. METAL COMPRESSIBLE FILLER (2 1/2" MAXIMUM) BETWEEN WALK AND FOUNDATION WALL. CURB BACK AND PROVIDE SEALANT AT BUILDING WALL.

PARKING PROVIDED
 53 STANDARD STALLS (9')
 3 HANDICAP STALLS (16')
 56 STALLS PROVIDED



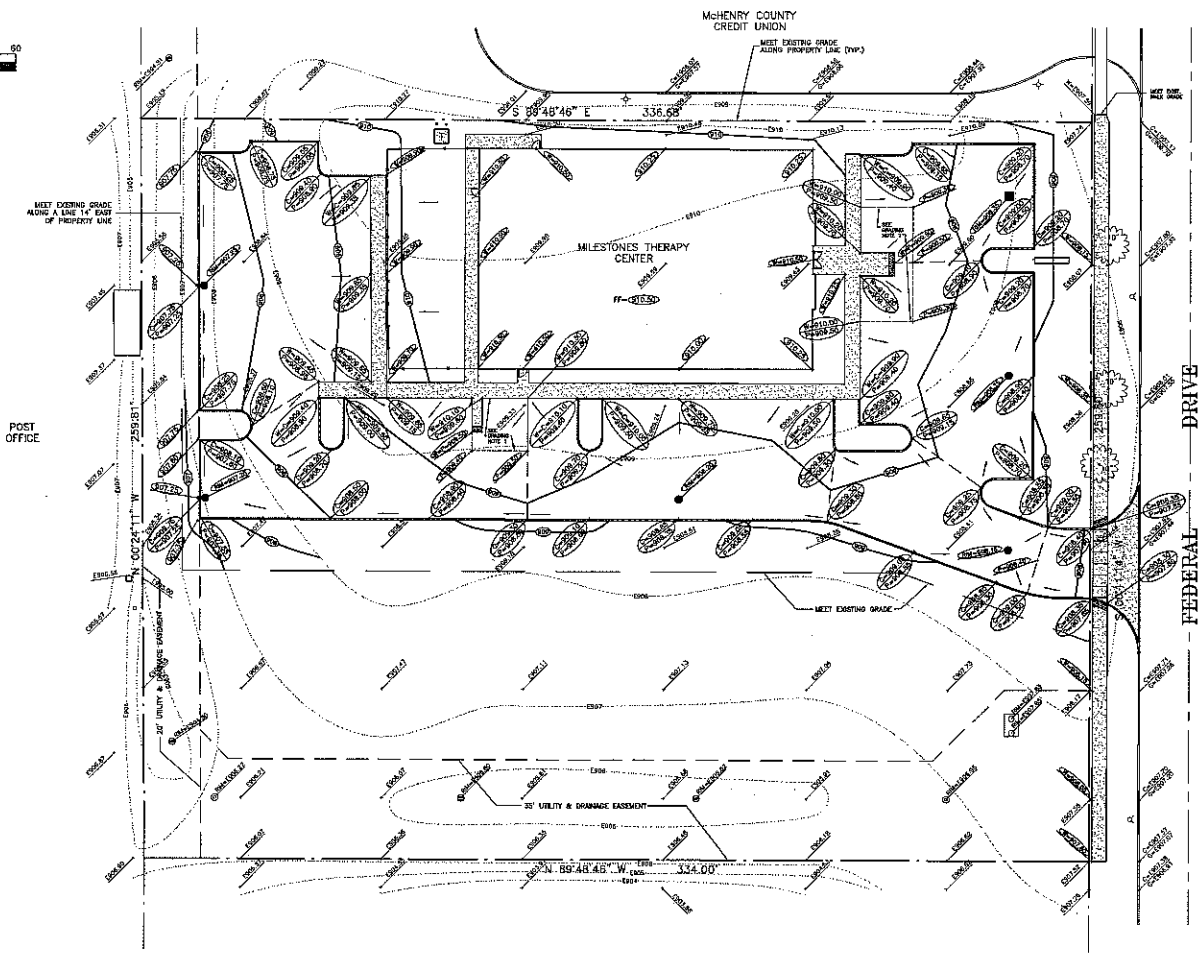
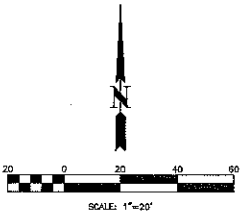
I hereby certify that the above is a true and correct copy of the original drawings as submitted to the Board of Engineers and Surveyors of the State of Illinois, on this 15th day of June, 1994, at Crystal Lake, Illinois.
 NORTHERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD, SUITE 200, BUFFALO GROVE, ILLINOIS 60089 (847) 589-1410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-020898 EXP. 04-14-13

CIVIL ENGINEER WITH PLANS
NORTHERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD, SUITE 200, BUFFALO GROVE, ILLINOIS 60089 (847) 589-1410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-020898 EXP. 04-14-13

SITE PLAN
MILESTONES THERAPY CENTER
 400 S. FEDERAL DRIVE
 CRYSTAL LAKE, ILLINOIS

REVISION	DESCRIPTION

DRAWN BY: PL
 CHECKED BY: DR
 DATE: 10-24-94
 SCALE: 1"=20'
 DRAWING NO.: C-2
 JOB NO.: 12-45



SPECIAL NOTE:
 Grading grades and improvements are shown from the best information available. One must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.

CALL JULIE 1-800-892-0123
 WITH THE FOLLOWING:
 COUNTY: McHENRY COUNTY
 CITY/TOWNSHIP: CRYSTAL LAKE
 SEC. & 1/4 SEC. NO.: 2-2-3
 48 HOURS BEFORE YOU DIG
 EXEMPT: SW, SE, & SOUTHWEST

GRADING NOTES:
 1. ACCESSIBLE PARKING SPACES AND THEIR ADJACENT ACCESSIBLE DRIVEWAYS SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.
 2. ACCESSIBLE PAVEMENT SURFACES SHALL NOT EXCEED 2.0% CROSS SLOPE OR 5.0% TRANSVERSE SLOPE, EXCEPT FOR CURB RAISES WHICH SHALL NOT HAVE A TRANSVERSE SLOPE GREATER THAN 8.33% FOR A MINIMUM RISE OF 4".
 3. ALL CURB/LANDSCAPED AREAS SHALL BE UNFORFALLY CHANGED TO DOWN WITH POSITIVE DRAINAGE.

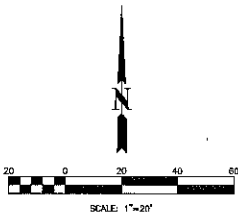
ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF NORTHWESTERN ENGINEERING CONSULTANTS, P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NORTHWESTERN ENGINEERING CONSULTANTS, P.C. THE USER OF THIS DRAWING AGREES TO HOLD NORTHWESTERN ENGINEERING CONSULTANTS, P.C. HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THE USE OF THIS DRAWING. THE USER OF THIS DRAWING AGREES TO INDEMNIFY AND HOLD NORTHWESTERN ENGINEERING CONSULTANTS, P.C. HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THE USE OF THIS DRAWING. THE USER OF THIS DRAWING AGREES TO INDEMNIFY AND HOLD NORTHWESTERN ENGINEERING CONSULTANTS, P.C. HARMLESS FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THE USE OF THIS DRAWING.

CIVIL ENGINEERING AND SURVEYING
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD, SUITE 200, BUFFALO GROVE, ILLINOIS 60089 (847) 560-4410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-00088 EXPI. 04-13

GRADING AND DRAINAGE PLAN
 MILESTONES THERAPY CENTER
 400 S. FEDERAL DRIVE
 CRYSTAL LAKE, ILLINOIS

REVISIONS	DATE	DESCRIPTION

DRAWN BY: []
 CHECKED BY: []
 DATE: 10-2-12
 SCALE: 1"=20'
 DRAWING NO. C-3
 JOB NO. 12-45

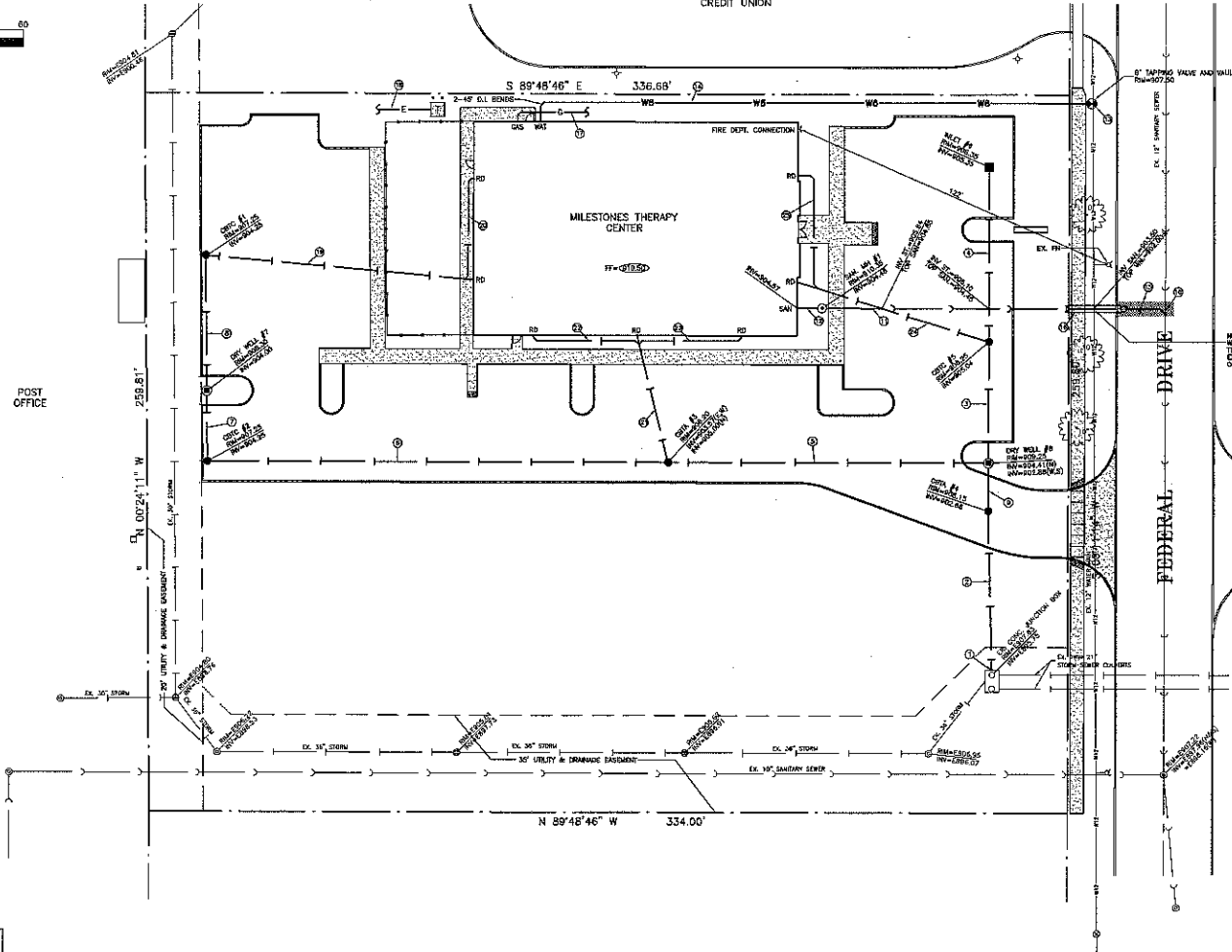


McHENRY COUNTY
CREDIT UNION

SPECIAL NOTE:
Easting grades and elevations are based from the best
information available and must be verified in the field by the
contractor prior to the start of construction. Any discrepancy
with the plan shall be immediately reported to the engineer.

**OPERATE
SAFELY
48 HOURS
BEFORE YOU DIG**

CALL JULIE 1-800-892-0123
WITH THE FOLLOWING:
CITY/TOWNSHIP COUNTY DISTRICT
JOB NO. DATE
SEE: 1/4 SEC. NO. 4
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-00085 EXP. 04-13



NOTE: CONTRACTOR SHALL EXPOSE
UTILITIES AT THE LOCATION PRIOR
TO ANY OTHER WORK TO DETERMINE
OCCUPATIONAL HAZARD ENGINEER
OF ANY DISCREPANCY WITH THE PLAN.

- UTILITY NOTES**
- 1 MAKE WATERFIRE CODE AND ROOT CONNECTION TO
DOWNSTREAM CONNECTION TO
PROP. PLAN (N=907.87)
 - 2 87 LF 12\"/>

NOTE:
Prior to the start of construction, the contractor shall expose
any utilities at other locations to be crossed by the
proposed sewer, and shall notify the engineer immediately if
there are any conflicts with the proposed sewer grade.

SPECIAL NOTE
The location of existing underground utilities, such as water mains, sewer, gas lines, electric lines,
telephone lines, etc., as shown on the plans have been determined from the best available
information and is given for the convenience of the contractor. However, the engineer and owner do
not assume responsibility for the accuracy of the locations shown, it shall be the contractor's
responsibility to contact utility companies and their facilities shall be located prior to any work.

- GENERAL NOTES**
- 1 THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH BUILDING
UTILITY SERVICE LINE FROM THE PLUMBING AND/OR MECHANICAL DRAWINGS
AND SHALL CORRECTLY UTILITY SERVICE LINE LOCATION WITH SAME.
 - 2 CONTRACTOR SHALL COORDINATE ALL WORK WITH UTILITY COMPANIES OWNER,
WATER, ELECTRIC, GAS, TELEPHONE, ETC.
 - 3 ANY EXISTING SEWER, WATER OR OTHER UTILITY LINES OR STRUCTURES
(MANHOLES, ETC.) UNDER OR WITHIN 10' OF THE PROPOSED BUILDING OR
TRENCH ENCLOSURE SHALL BE REMOVED. ALL END OF REMAINING UTILITY
LINES, MANHOLES, TRENCHES WITH SELECTED GRANULAR MATERIAL COMPACTED
TO BOX OF IMPROVED PROCTOR MAXIMUM DENSITY IN 8\"/>

ENGINEERS
PLANNERS
SURVEYORS
NORTHWESTERN ENGINEERING
CONSULTANTS, P.C.
1118 LAKE COOK ROAD
CRYSTAL LAKE, ILLINOIS 60438
PHONE (815) 529-4410
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-00085 EXP. 04-13

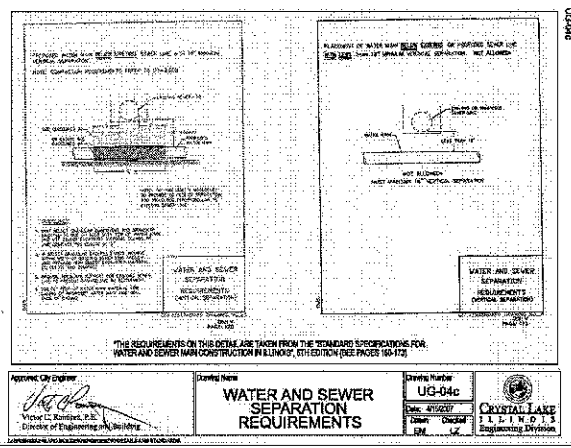
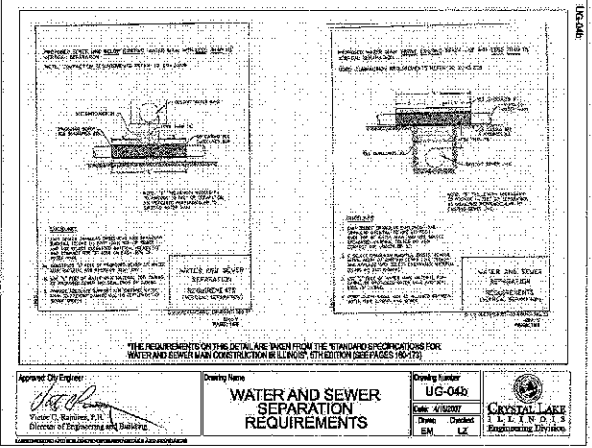
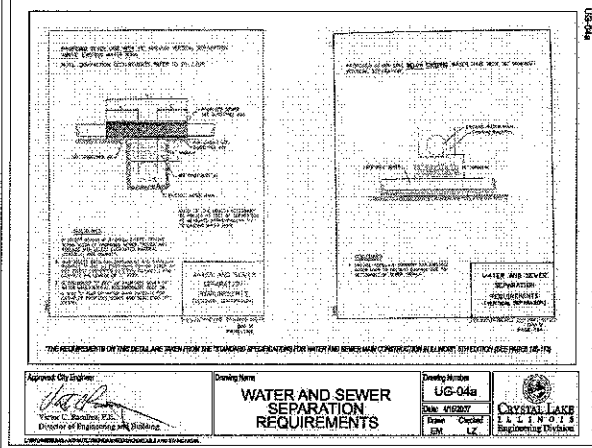
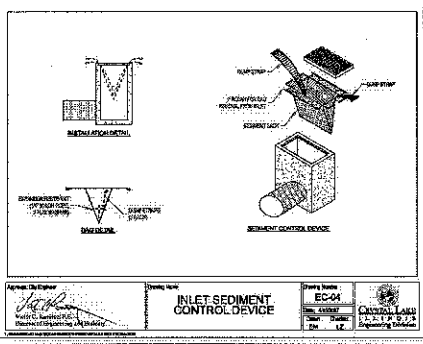
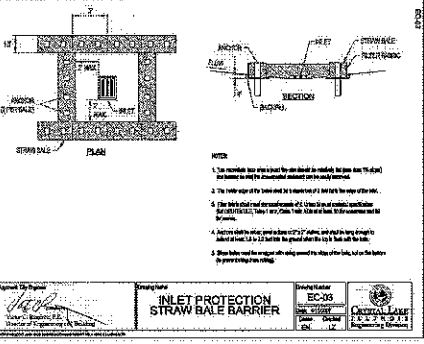
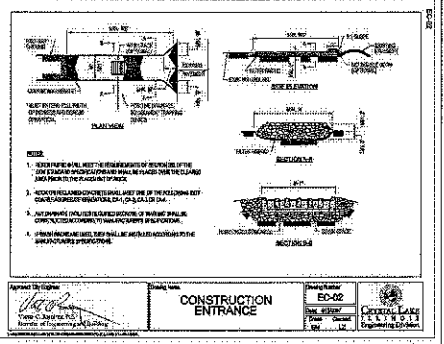
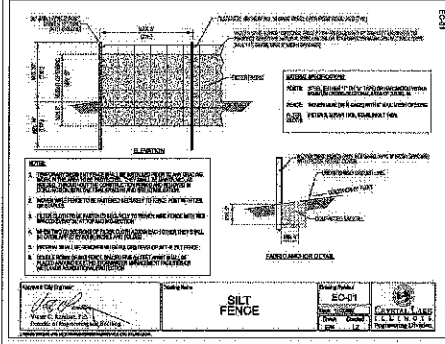
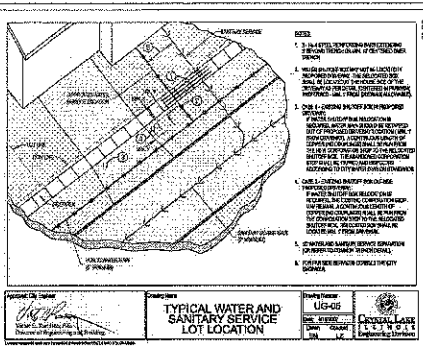
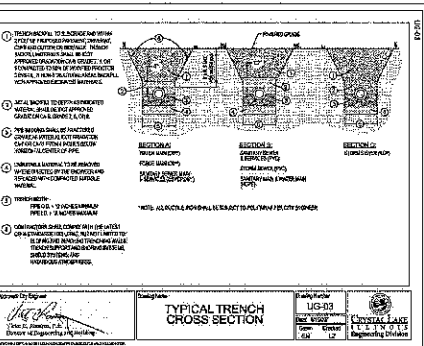
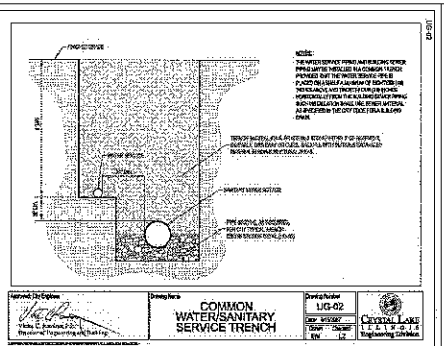
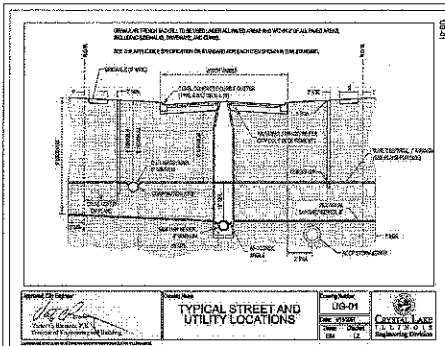
UTILITY PLAN
MILESTONES THERAPY CENTER
400 S. FEDERAL DRIVE
CRYSTAL LAKE, ILLINOIS

NO.	DATE	DESCRIPTION

DRAWN BY: JH
CHECKED BY: JH
DATE: 10-24-12
SCALE: 1/2\"/>

DRAWING NO.
C-4

JOB NO.
12-45



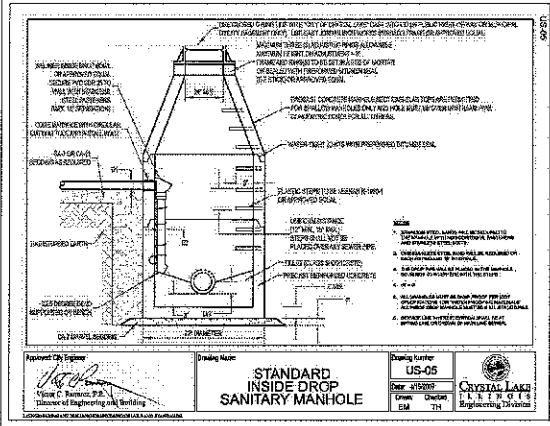
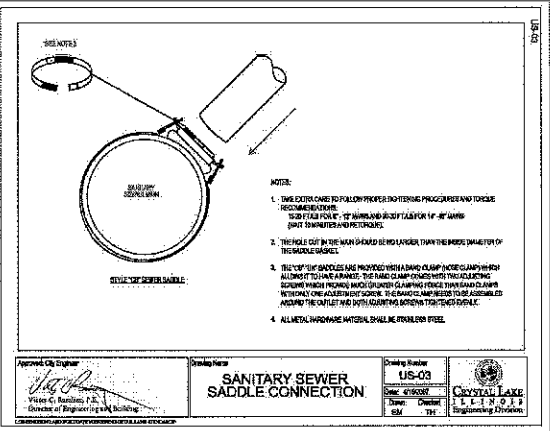
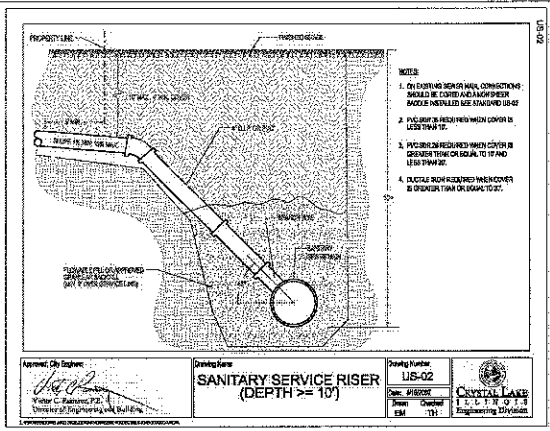
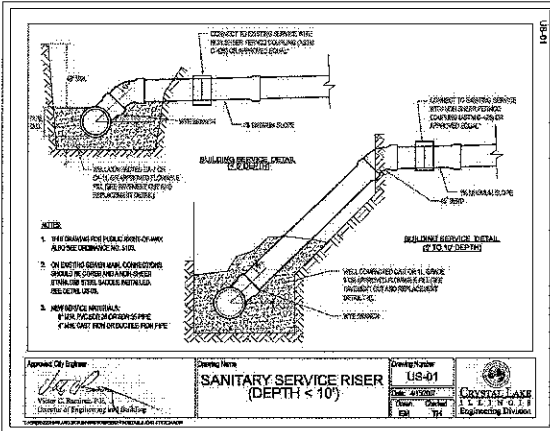
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD, BUFFALO GROVE, ILLINOIS 60089 (847) 820-9410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 104-000995 EXPIRES 1-30-13

DETAILS-GENERAL UTILITIES & EROSION CONTROL
 MILESTONES THERAPY CENTER
 400 S. FEDERAL DRIVE
 CRYSTAL LAKE, ILLINOIS

REVISIONS	DATE	DESCRIPTION

DRAWN BY: *sm*
 CHECKED BY: *cm*
 DATE: 10-24-12
 SCALE: N.T.S.

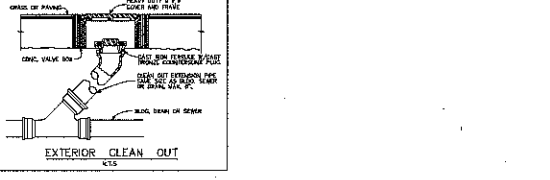
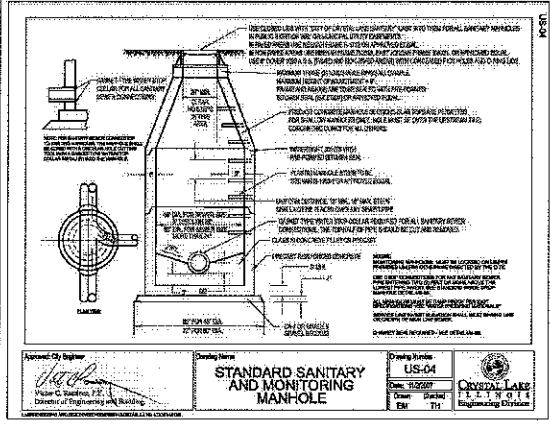
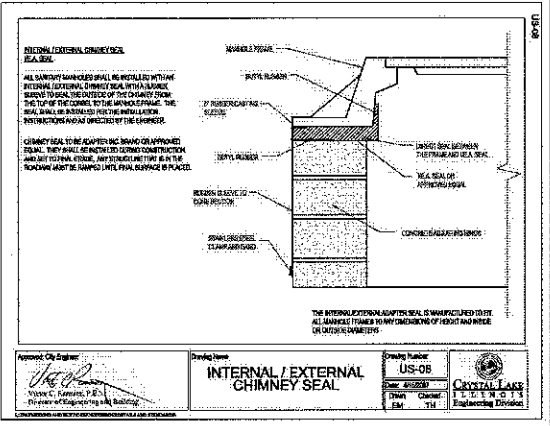
DRAWING NO. C-7
 JOB NO. 12-45



**CITY OF CRISTAL LAKE ENGINEERING DIVISION
 SANITARY SEWER AIR AND WATERTIGHT TEST REPORT**

PROJECT	DATE	COMMENTS
MANHOLE NO.		
MANHOLE DEPTH		
MANHOLE TYPE		
MANHOLE MATERIAL		
MANHOLE SIZE		
MANHOLE LOCATION		
MANHOLE SERVICE		
MANHOLE TEST		
MANHOLE RESULT		
MANHOLE REPAIR		
MANHOLE COST		
MANHOLE NOTES		

Approved City Engineer: [Signature]
Drawing Name: SANITARY SEWER TEST REPORT
Drawing Number: US-07
Scale: 1" = 4'-0" (PLAN)
Scale: 1" = 10'-0" (ELEV)
City: CRISTAL LAKE, ILLINOIS
Department: Engineering Division

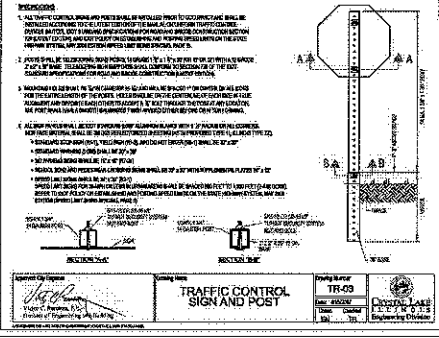
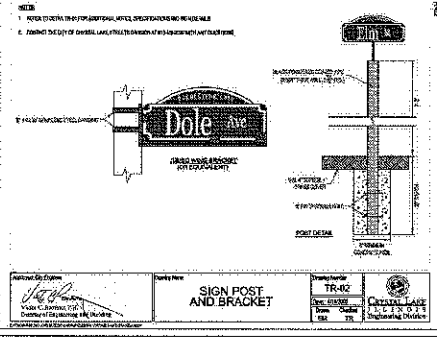
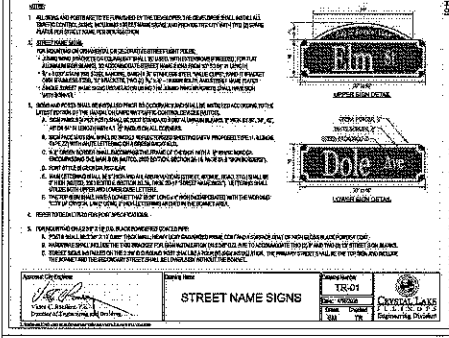
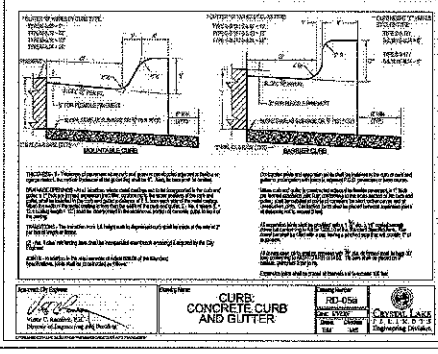
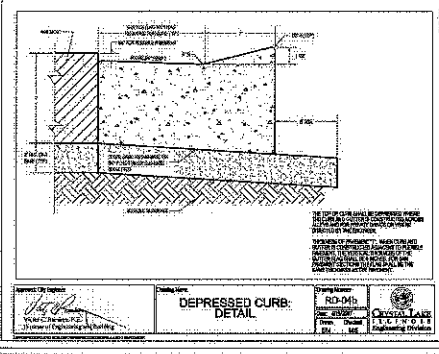
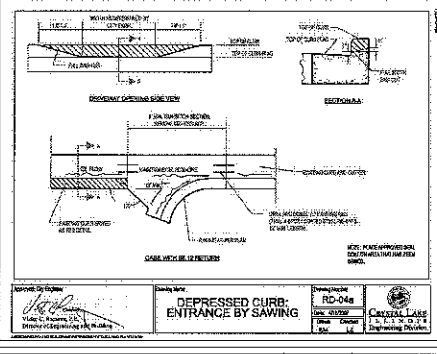
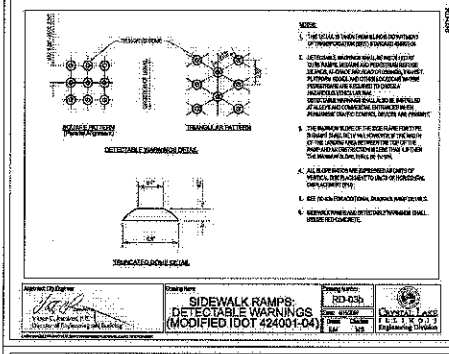
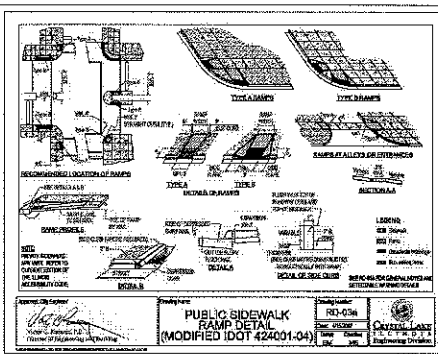
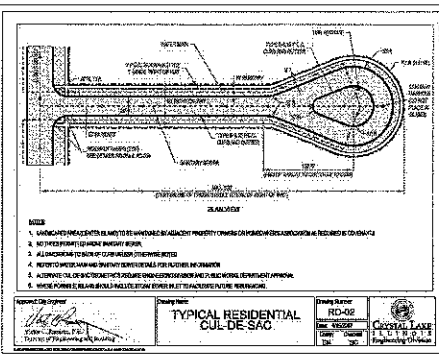
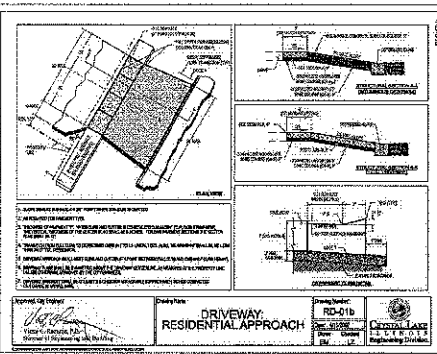
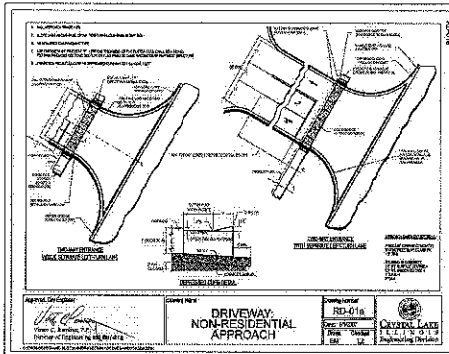


NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE CODE ROAD, BUFFALO GROVE, ILLINOIS 60089 (647) 300-8414
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 104-000888 EXPIRES 1-31-13

MILESTONES THERAPY CENTER
 400 S. FEDERAL DRIVE
 CRISTAL LAKE, ILLINOIS

NO.	DATE	REVISIONS

DRAWN BY: KPL
CHECKED BY: BJC
DATE: 10-24-12
SCALE: N.T.S.
DRAWING NO.: C-8
JOB NO.: 12-45



CIVIL ENGINEERS LAND SURVEYORS
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 MAPLE CODE ROAD
 BUFFALO GROVE, ILLINOIS 60089 (630) 260-3410
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-000008 EXPIRES 1-30-10

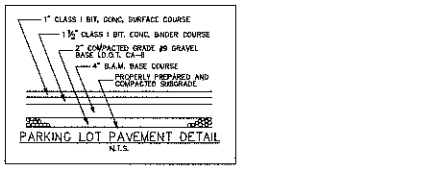
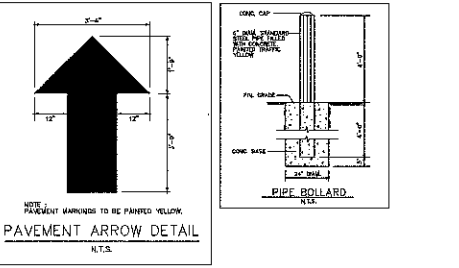
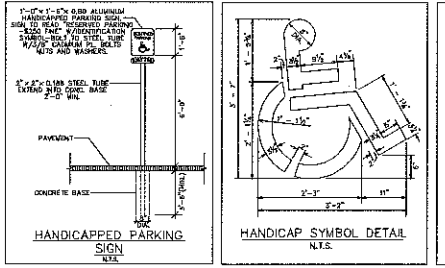
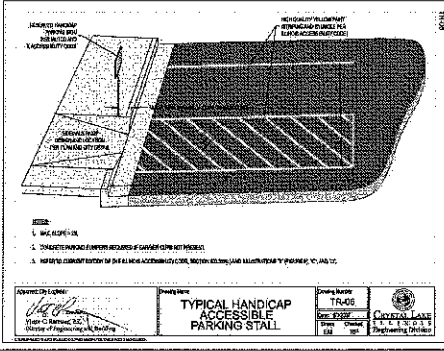
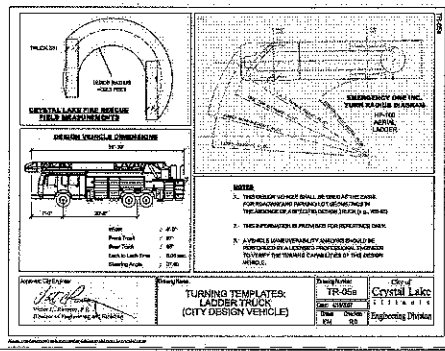
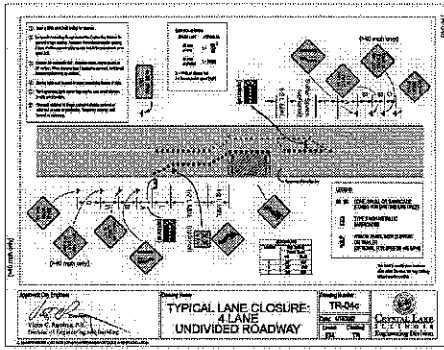
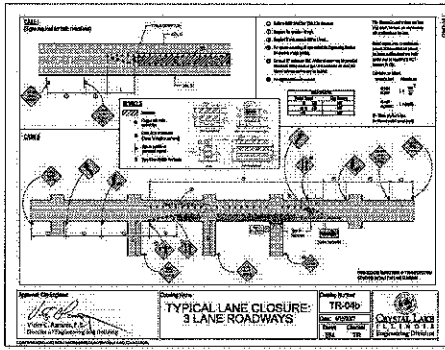
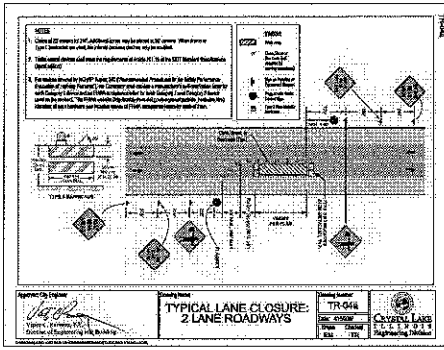
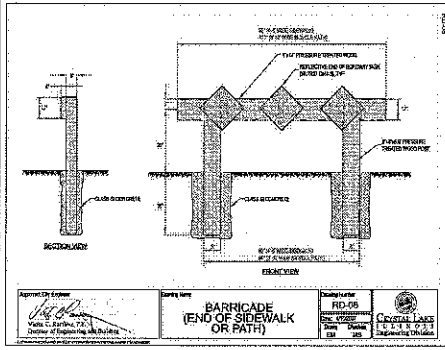
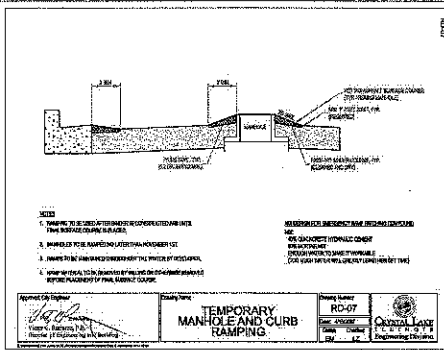
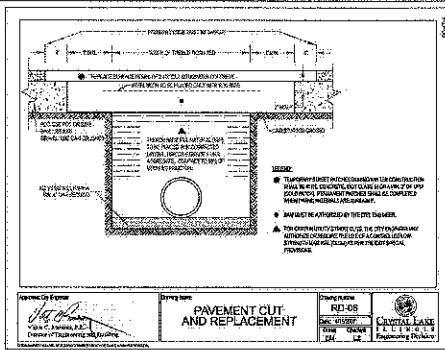
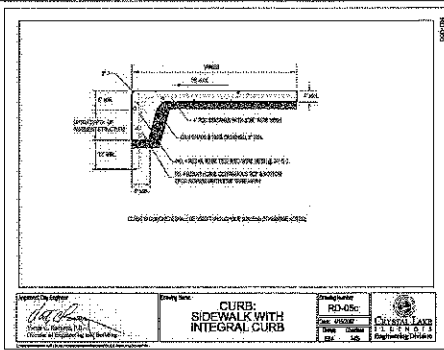
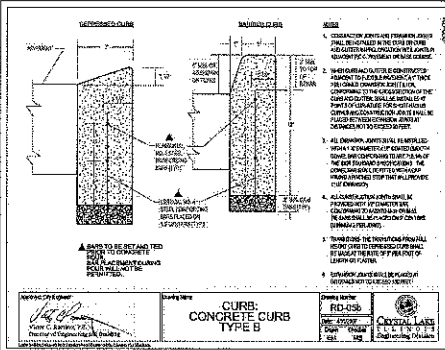
DETAILS-ROADWAY & TRAFFIC
MILESTONES THERAPY CENTER
 400 S. FEDERAL DRIVE
 CRYSTAL LAKE, ILLINOIS

REVISIONS	DESCRIPTION	DATE

DRAWN BY: KRP
 CHECKED BY: GMS
 DATE: 12-1-12
 SCALE: 1/2" = 1'-0"

DRAWING NO.
C-10

JOB NO.
12-45



NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 1110 LAKE COOK ROAD, SUITE 200, BLOOMINGDALE, ILLINOIS 60010
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-008868, EXPIRES 4-30-15

DETAILS-ROADWAY & TRAFFIC
 MILESTONES, THERAPY CENTER
 400 S. FEDERAL DRIVE
 CRYSTAL LAKE, ILLINOIS

REVISIONS	DESCRIPTION

DRAWN BY: SJK
 CHECKED BY: DUE
 DATE: 10-24-10
 SCALE: N.T.S.
 DRAWING NO.: C-11
 JOB NO.: 12-45