



# REVISED

#2012-111

## 394 Federal Drive – Milestones Therapy Project Review for Planning and Zoning Commission

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<b><u>Meeting Date:</u></b>	November 7, 2012 and November 19, 2012
<b><u>Request:</u></b>	Prelim/Final PUD for a medical office for Milestones Therapy.
<b><u>Location:</u></b>	394 Federal Drive (between Sam's Club and McHenry County Federal Financial Credit Union)
<b><u>Acreage:</u></b>	Approximately 2 acres
<b><u>Existing Zoning:</u></b>	B-2 PUD General Commercial
<b><u>Surrounding Properties:</u></b>	North: B-2 PUD General Commercial (McHenry County Federal Financial Credit Union) South: B-2 PUD General Commercial (Sam's Club) East: B-2 PUD General Commercial (in-line tenant building) West: B-2 PUD General Commercial (Post Office)
<b><u>Staff Contact:</u></b>	Elizabeth Maxwell (815.356.3615)

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### **Background:**

- **History:** This 2-acre lot was created with the subdivision for the credit union and is within the Crystal Lake Business Center.
- **Existing Use:** The lot is currently vacant. Improvements for detention including storm sewer piping were installed along the west and south sides of this lot for the detention requirements of the credit union. An existing 35-foot utility and drainage easement exists on the south side of this lot.

### **Development Analysis:**

#### **General**

- **Request:** Prelim/Final Planned Unit Development approval.
- **Land Use:** The land use map shows the area as Commerce. This is appropriate for a medical office.
- **Zoning:** The site is zoned B-2 PUD. B-2 zoning is appropriate for a medical office.

#### **Site Layout**

- The building is located along the north side of the lot with the parking on either side and to the south.

- There is one access point which lines up with the driveway across Federal Drive. This can be a shared access if the portion of the lot to the south is divided off for a new user.
- There is an outdoor play area for the kids to utilize on the west side of the building away from Federal Drive as part of their therapy programs.

#### Building Elevations

- The building architecture will utilize similar materials to the other office buildings in the area with brick and stone.
- The front elevation will have a unique look with the CMU block creating a tower element in front with two adjacent projecting areas on either side.
- **To ensure the proposed elevations meet the Design Standards in the Unified Development Ordinance, the elements of the front elevation should not appear stuck on to the front. The stone must be wrapped around the entire building and the CMU block feature around the window must appear on both side elevations. Conditions of approval have been added to make these changes.**

#### Parking

- Medical office buildings require 1 space per 150 square feet of gross floor area, requiring 61 parking spaces.
- The petitioner has requested a 10% reduction in required parking from the Zoning Administrator, which has been approved, requiring 55 spaces.
- 56 parking spaces have been provided, meeting the ordinance requirements.

#### Landscape

- **The landscape plan illustrates foundation base landscape around the building with a large area adjacent to the front door.**
- **Street trees are shown along Federal Drive. Additional landscape along Federal Drive is recommended in the Conditions of Approval to match what is along Congress Parkway.**
- **Landscape is required along the perimeter of the parking lot. Landscape materials are shown in small clusters. Some additional landscape is required in areas where nothing is shown.**

#### **Findings of fact:**

##### **Preliminary and Final Planned Unit Development**

The petitioner is requesting approval of a Preliminary and Final Planned Unit Development to allow the construction of Milestones Therapy medical office building in the B-2 PUD zoning district. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.  
 *Meets*             *Does not meet*
2. The use will not be detrimental to area property values.  
 *Meets*             *Does not meet*
3. The use will comply with the zoning districts regulations.  
 *Meets*             *Does not meet*
4. The use will not negatively impact traffic circulation.  
 *Meets*             *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.  
 *Meets*             *Does not meet*
6. The use will not negatively impact the environment or be unsightly.  
 *Meets*             *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.  
 *Meets*             *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.  
 *Meets*             *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.  
 *Meets*             *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.  
 *Meets*             *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 2 Additional standards for Planned Unit Developments Commercial PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.  
 *Meets*             *Does not meet*
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.  
 *Meets*             *Does not meet*

3. PUD's must provide transitional uses to blend with adjacent development.  
 *Meets*                       *Does not meet*
4. PUD phases must be logically sequenced.  
 *Meets*                       *Does not meet*
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.  
 *Meets*                       *Does not meet*
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.  
 *Meets*                       *Does not meet*
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.  
 *Meets*                       *Does not meet*
8. Any private infrastructure shall comply with the city standards.  
 *Meets*                       *Does not meet*
9. The PUD plan shall establish the responsibility of the applicant/developer.  
 *Meets*                       *Does not meet*
10. A bond or letter of credit shall be posted to cover required fees or public improvements.  
 *Meets*                       *Does not meet*

**Comprehensive Land Use Plan 2020 Vision Summary Review:**

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future business uses. The following goal is applicable to this request:

Land Use

**Office**

**Goal: Maintain and expand the availability of professional and research office in appropriate locations throughout the city to complement commercial and manufacturing uses.**

This can be accomplished with the following supporting action:

**Supporting Action:** Encourage office development along major roadways, near transit stops and bicycle routes, and in proximity to residential uses.

**Success Indicator:** The number of new office occupancies.

**Recommended Conditions:**

If a motion to recommend approval of the petitioner's requests is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
  - A. Application (Milestones Therapy, received 11/01/12)
  - B. Elevations (ALA Architects, dated revised 11/02/12, received 11/14/12)
  - C. Site Plan and Engineering Plan (Northwestern Engineering Consultants, dated 10/24/12, received 10/31/12)
  - D. Landscape Plan (Nierman Landscape & Design, dated 11/01/12, received 11/14/12)
2. Site and Landscape Plan
  - A. The landscape plan shall illustrate parking lot perimeter landscape, which meets Article 4-400. Additional landscape material is required along the perimeter of the parking lot.
  - B. The landscape materials along Federal Drive shall be similar in species and layout as the Crystal Lake Business Center Unit 4 Landscape Plan. Additional landscape material is required along Federal Drive.
  - C. A fire hydrant shall be available within 100 feet from the Fire Department connection and not closer than 1.5 times the height of the building.
3. Elevations
  - A. The stone base on the front of the building shall be wrapped around the entire building including the front CMU columns.**
  - B. The CMU block on the north and south sides shall be styled and sized to match the front elevation and include a window and trim within the CMU area.**
  - C. A sample color and material board shall be presented with the Final PUD application.
- 4. If any trash bins are stored outside, a trash enclosure that matches the style, materials and color of the building, is required to be constructed.**
- 5. Any ground or roof mounted mechanical equipment must be screened from view from adjacent properties or roadways, per the UDO requirements.**
6. The petitioner shall address all of the review comments and requirements of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.



**#2012-111**  
**400 S. Federal Drive – Milestones Therapy**  
**Project Review for Planning and Zoning Commission**

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<b><u>Meeting Date:</u></b>	November 7, 2012 and November 19, 2012
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<b><u>Location:</u></b>	400 S. Federal Drive (between Sam's Club and McHenry County Federal Financial Credit Union)
<b><u>Acreage:</u></b>	Approximately 2 acres
<b><u>Existing Zoning:</u></b>	B-2 PUD General Commercial
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- **History:** This 2-acre lot was created with the subdivision for the credit union and is within the Crystal Lake Business Center.
- **Existing Use:** The lot is currently vacant. Improvements for detention including storm sewer piping were installed along the west and south sides of this lot for the detention requirements of the credit union. An existing 35-foot utility and drainage easement exists on the south side of this lot.

**Development Analysis:**

**General**

- **Request:** Prelim/Final Planned Unit Development approval and a Prelim/Final Plat of Subdivision for two lots.
- **Land Use:** The land use map shows the area as Commerce. This is appropriate for a medical office.
- **Zoning:** The site is zoned B-2 PUD. B-2 zoning is appropriate for a medical office.

Site Layout

- The building is located along the north side of the lot with the parking on either side and to the south.
- There is one shared access point which lines up with the driveway across Federal Drive.
- There is an outdoor play area for the kids to utilize on the west side of the building away from Federal Drive as part of their therapy programs.
- The south half of the lot will be sold to a future user.

Building Elevations

- The building architecture will utilize similar materials to the other office buildings in the area with brick and stone.
- The front elevation will have a unique look with the CMU block creating a tower element in front with two adjacent projecting areas on either side.
- The proposed elevations meet the Design Standards in the Unified Development Ordinance.

Parking

- Medical office buildings require 1 space per 150 square feet of gross floor area, requiring 61 parking spaces.
- The petitioner has requested a 10% reduction in required parking from the Zoning Administrator, which has been approved, requiring 55 spaces.
- 56 parking spaces have been provided, meeting the ordinance requirements.

Landscape

- A landscape plan will be forthcoming.

**Findings of fact:**

**Preliminary and Final Planned Unit Development**

The petitioner is requesting approval of a Preliminary and Final Planned Unit Development to allow the construction of Milestones Therapy medical office building in the B-2 PUD zoning district. A Planned Unit Development is a Special Use and Special Uses require separate review because of their potential to impact surrounding properties and the orderly development of the City.

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**Preliminary and Final Plat of Subdivision**

The preliminary and final plat of subdivision would allow for two lots to be created from one. The access point shown on this plan will be a shared access for both lots. Both lots meet the lot area and lot width requirements in the UDO.

**Comprehensive Land Use Plan 2020 Vision Summary Review:**

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  - B. Elevations (ALA Architects, dated 10/30/12, received 10/30/12)
  - C. Engineering Plan Set (Northwestern Engineering Consultants, dated 10/24/12, received 10/31/12)
2. Final Plat of Subdivision
  - A. Provide a Final Plat of Subdivision meeting all the requirements in Article 5-200G 3.b.
  - B. Illustrate the cross-access easement over the main driveway. A cross-access agreement shall be provided when the property to the south develops.
3. Site and Landscape Plan
  - A. Street trees shall be planted along Federal Drive, every 40 feet on center along the property frontage.
  - B. The landscape plan shall illustrate parking lot perimeter landscape, foundation base landscape and parking lot island landscape, which meets Article 4-400.
  - C. The landscape materials along Federal Drive shall be similar in species and layout as the Crystal Lake Business Center Unit 4 Landscape Plan.
  - D. A fire hydrant shall be available within 100 feet from the Fire Department connection and not closer than 1.5 times the height of the building.
4. Elevations
  - A. A sample color and material board shall be presented with the Final PUD application.
5. The petitioner shall address all of the review comments and requirements of the Engineering and Building, Fire Rescue, Police, Public Works, and Planning and Economic Development Departments.

410-CITY. COMPOST SITE

147/420  
155/440  
163/460  
171  
189

500

250

215 245

EXCHANGE DR

220

265

300

COMMONWEALTH DR

350

200

286

290

300

318

338

360

380

450

282

284

280

278

MEMORIAL CT

MEMORIAL

285

345

350

360

390

PKWY

415

407

325

335

345

355

365

375

360

CONGRESS

260/270

290

345

387

401

405

400

FEDERAL DR

301

201

205

211

215

219

223

227

249

253

257

261

265

375

385

586

504

514

231

235

243

247

252

MAIN S

381

423

415

0565

5580

5540

5460

5420

5340

PIQ

5670 SAM'S CLUB

0695

0680

5656 M'LADY

5620

5500

5380

5300

5260

6000 CRYSTAL POINT MALL

RT. 14/NORTHWEST HWY./RONALD REAGAN HWY.

5999

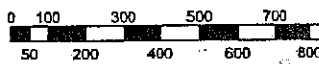
550

5831

5701

5689

7019



RE

**City of Crystal Lake  
Development Application**

Office Use Only  
File # \_\_\_\_\_

11/11/2012

Project Title: MILESTONE THERAPY

**Action Requested**

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                   | <input type="checkbox"/> Preliminary PUD                 |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review        | <input type="checkbox"/> Rezoning                        |
| <input checked="" type="checkbox"/> Final PUD         | <input type="checkbox"/> Special Use Permit              |
| <input type="checkbox"/> Final PUD Amendment          | <input type="checkbox"/> Variation                       |
| <input type="checkbox"/> Final Plat of Subdivision    | <input type="checkbox"/> Other                           |

RECEIVED  
NOV 01 2012  
BY: \_\_\_\_\_

**Petitioner Information**

Name: MILESTONE THERAPY

Address: 411 E. CONGRESS PARKWAY STE B  
CRYSTAL LAKE, IL 60014

Phone: 815-459-3810

Fax: 815-356-3550

E-mail: milestonescenter2@gmail.com

**Owner Information (if different)**

Name: KAPADIA & SONS LTD.

Address: 451 COUNTRY LANE  
CRYSTAL LAKE, IL 60014

Phone: 815-566-2890 (C)

Fax: 815-356-3550

E-mail: milestonescenter2@gmail.com

**Property Information**

Project Description: CONSTRUCTION OF AN APPROXIMATELY 9000 SQ FT ONE  
STORY BRICK & STONE PEDIATRIC THERAPY BUILDING

Project Address/Location: 400 S. FEDERAL DRIVE

PIN Number(s): 19-04-327-002

**Development Team**

Please include address, phone, fax and e-mail

Developer: Milestones Therapy; 411 E. Congress Parkway, Ste B, Crystal Lake, IL  
815.459.7810; 815.356.3590(F); milestonescenter2@gmail.com

Architect: ALA ARCHITECTS & PLANNERS; 2600 BEHAN ROAD @ RT 176, CRYSTAL LAKE  
815.788.9200; 815.788.9201(F); crusso@alarchitects.com

Attorney: \_\_\_\_\_

Engineer: NORTHWESTERN ENGINEERING CONSULTANTS; 1110 LAKE COOK ROAD; BUFFALO GROVE, IL  
847.520.8410; 847.520.8481(F); dhavli@tds.net

Landscape Architect: NIERMAN LANDSCAPE & DESIGN; P.O. Box 765; Woodstock, IL  
815.337.8873; 815.337.9043(F); jtromeniermanland.com

Planner: \_\_\_\_\_

Surveyor: \_\_\_\_\_

Other: \_\_\_\_\_

**Signatures**

Sakina Kapadia / SAKINA KAPADIA 11-1-12  
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

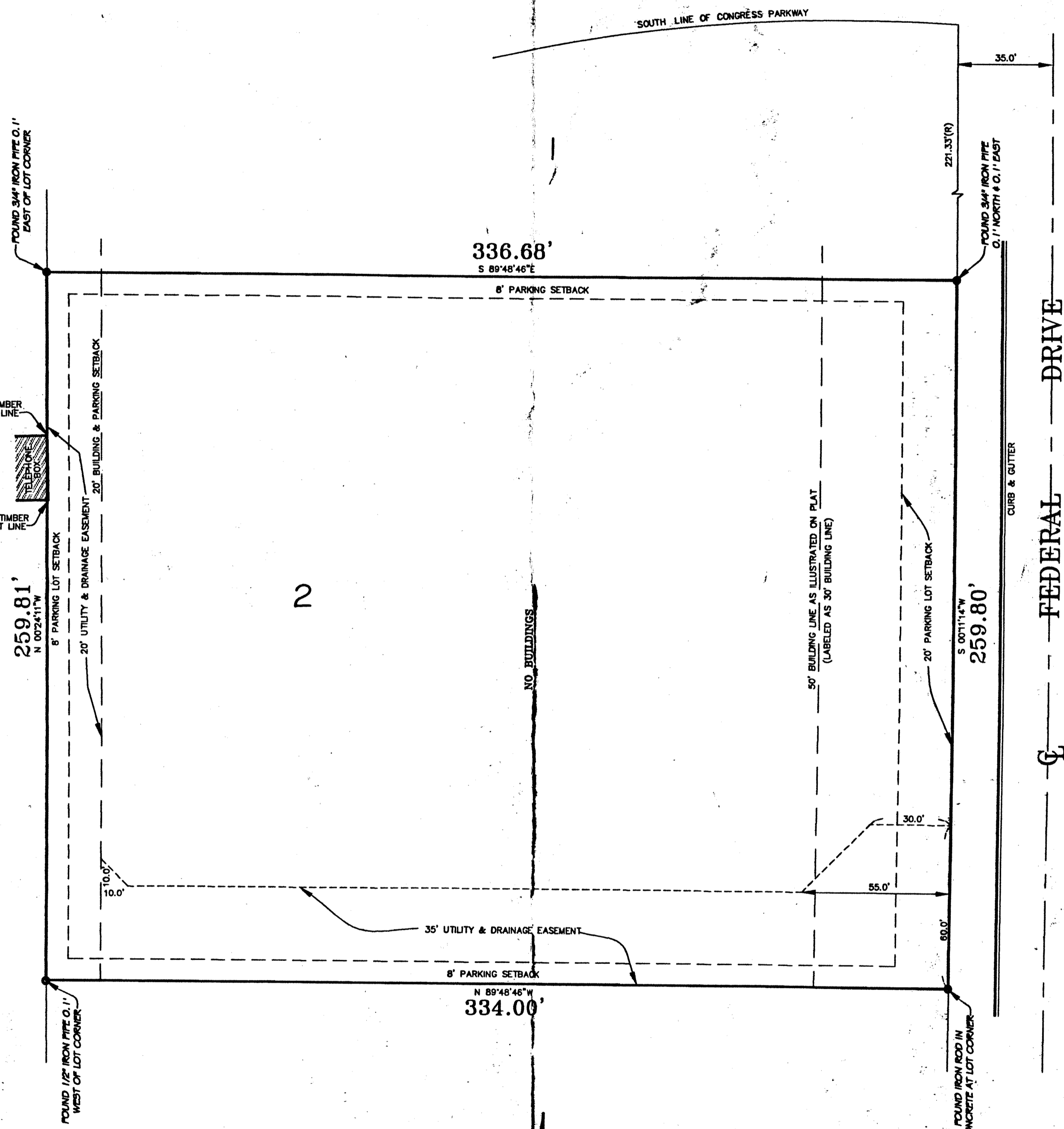
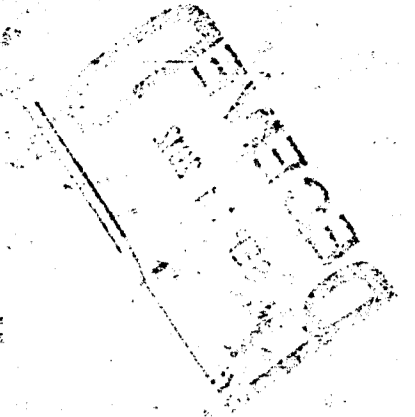
Sakina Kapadia / SAKINA KAPADIA 11-1-12  
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

# PLAT OF SURVEY

OF

LOT 2 IN MCHENRY COUNTY FEDERAL CREDIT UNION RESUBDIVISION, BEING A RESUBDIVISION OF LOT 9 IN CRYSTAL LAKE BUSINESS CENTER UNIT 3, BEING A SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 20, 2004 AS DOCUMENT 2004R93648, IN MCHENRY COUNTY, ILLINOIS.



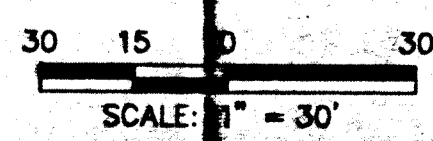
**LEGEND**  
 (R/M) - RECORD / MEASURED  
 L - ARC LENGTH  
 R - RADIUS  
 CH - CHORD

AREA = 87,120 SQ. FT.  
 MORE OR LESS

PREPARED FOR: KELLEY, KELLEY & KELLEY (ATTORNEYS AT LAW)  
 JOB ADDRESS: 400 FEDERAL DRIVE, CRYSTAL LAKE, IL  
 SELLER/BUYER: DCW TIMPE LLC / KAPADIA LLC  
 JOB NO.: 12-07-0017-R

**NEKOLA SURVEY, INC.**  
 PROFESSIONAL LAND SURVEYING SERVICES  
 WWW.NEKOLASURVEY.COM  
 400 N. SCHMIDT RD., STE. 203  
 BOLINGBROOK, ILLINOIS 60440  
 (630) 226-1530 PHONE (630) 226-1430 FAX

NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT UNLESS FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR FIELD ABSTRACT, TITLE POLICY, CONTRACTS AND LEGAL BUILDING AND ZONING ORDINANCES.



EASEMENTS REVISED ON THE 31ST DAY OF JULY, 2012.  
 FIELD WORK COMPLETED ON THE 10TH DAY OF JULY, 2012.

(STATE OF ILLINOIS)  
 (COUNTY OF WILL) SS

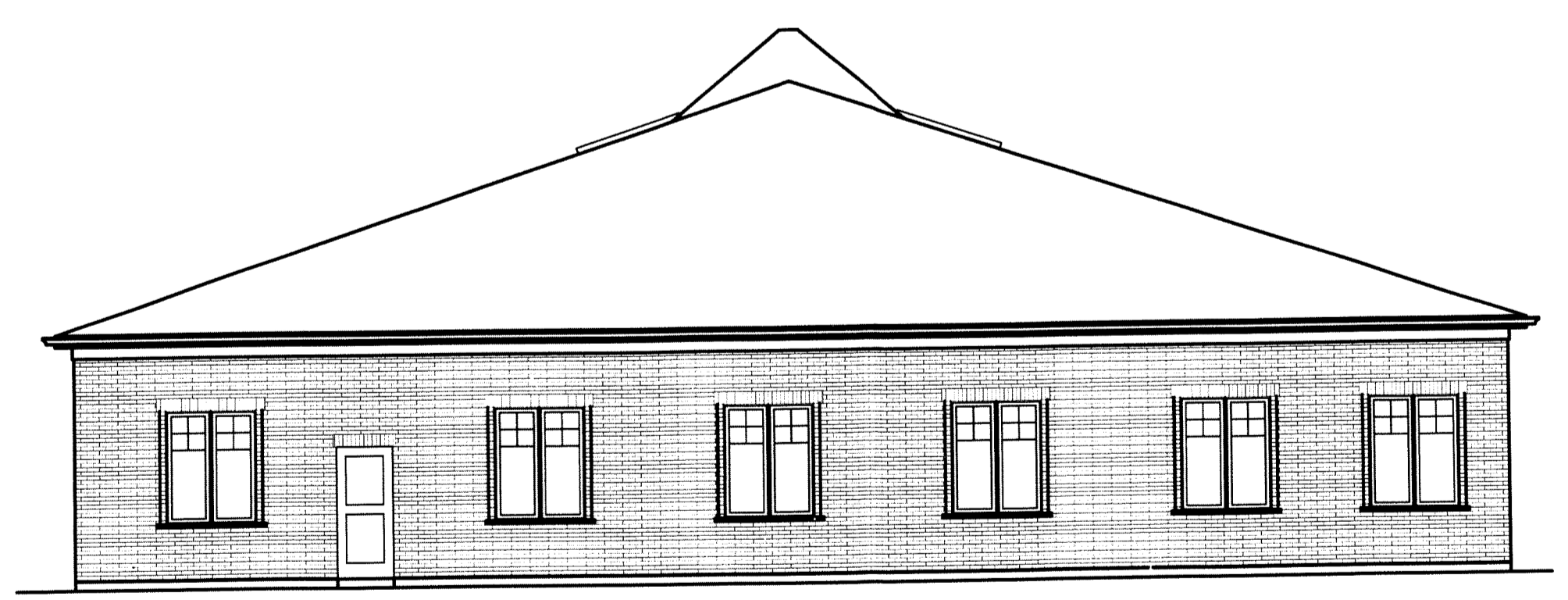
NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 11TH DAY OF JULY, 2012.

*Wayne W. Nekola*  
 LICENSE RENEWAL DATE: 30 NOVEMBER 2012



3C  
A200 FRONT ELEVATION 1/4"=1'-0"



3E  
A200 REAR ELEVATION 1/8"=1'-0"

CONCEPTUAL  
NOT FOR CONSTRUCTION

REVISIONS	DATE	BY	DESCRIPTION
1			CONCEPTUAL DESIGN
2			PRELIMINARY DESIGN
3			DESIGN DEVELOPMENT
4			FINAL REVIEW
5			RELEASE FOR PERMIT
			REVISION

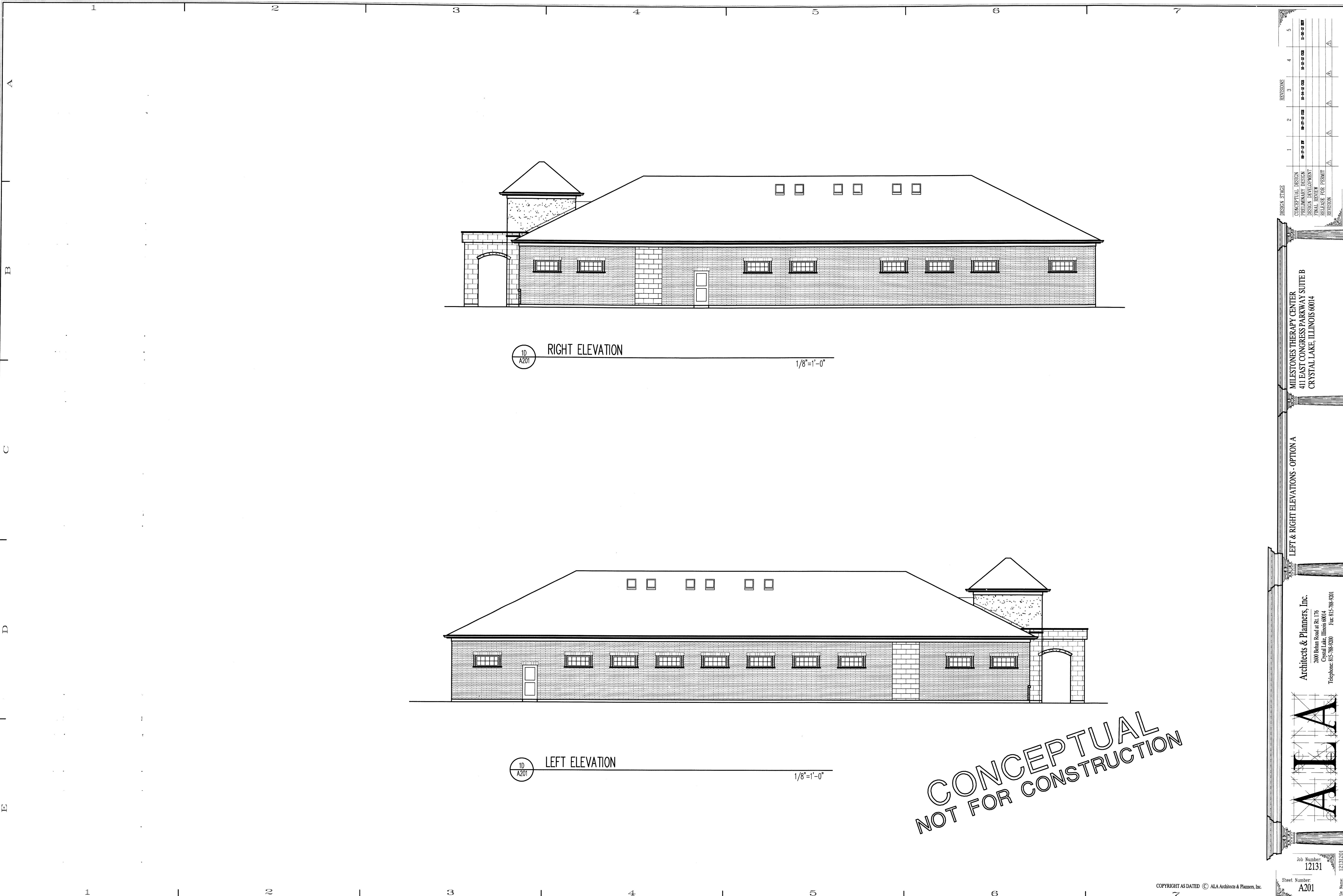
DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 FINAL REVIEW  
 RELEASE FOR PERMIT  
 REVISION

MILESTONES THERAPY CENTER  
 411 EAST CONGRESS PARKWAY SUITE B  
 CRYSTAL LAKE, ILLINOIS 60014

Architects & Planners, Inc.  
 2600 Behm Road at Rt. 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-9200 Fax: 815-788-9201

ALA

Job Number: 12131  
 Sheet Number: A200  
 File Name: 12131200



10  
A201

RIGHT ELEVATION

1/8"=1'-0"

10  
A201

LEFT ELEVATION

1/8"=1'-0"

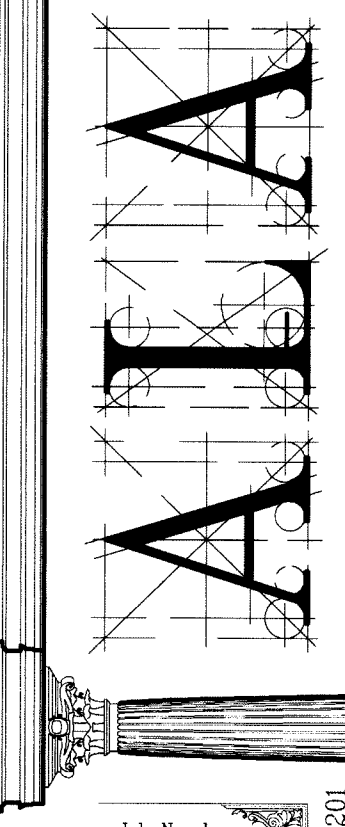
CONCEPTUAL  
NOT FOR CONSTRUCTION

REVISIONS	DATE	BY	DESCRIPTION
1	08-27-07		CONCEPTUAL DESIGN
2	08-27-07		PRELIMINARY DESIGN
3	08-27-07		DESIGN DEVELOPMENT
4	08-27-07		FINAL REVIEW
5	08-27-07		RELEASE FOR PERMIT
			REVISION

MILESTONES THERAPY CENTER  
411 EAST CONGRESS PARKWAY SUITE B  
CRYSTAL LAKE, ILLINOIS 60014

LEFT & RIGHT ELEVATIONS - OPTION A

Architects & Planners, Inc.  
2600 Behm Road at Rt. 176  
Crystal Lake, Illinois 60014  
Telephone: 815-788-9200 Fax: 815-788-9201



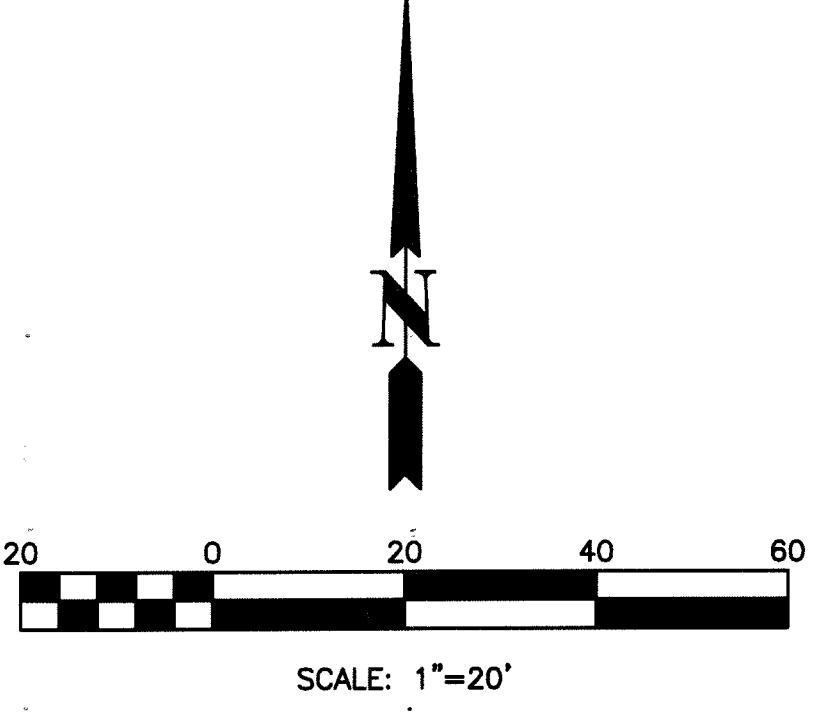
Job Number:  
12131

Sheet Number:  
A201

File Name: 12131201



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**PAVEMENT MARKING (STRIPING) FOR PARKING LOTS**

- After paving operations are completed, or when directed by the General Contractor, marking as designated on the drawings may proceed. Marking shall consist of 4" wide lines configured as indicated on drawings, in Traffic Yellow color. Traffic paint shall be manufactured by Sherwin Williams, or approved equal. Apply in strict conformance with manufacturer's instructions.
- Paint striping work shall include painting of international handicap symbol at designated parking for handicapped, as indicated on drawings.
- Protect area against traffic for at least 48 hours after application of striping.

**SPECIAL NOTE:**

Existing grades and improvements are shown from the best information available and must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.

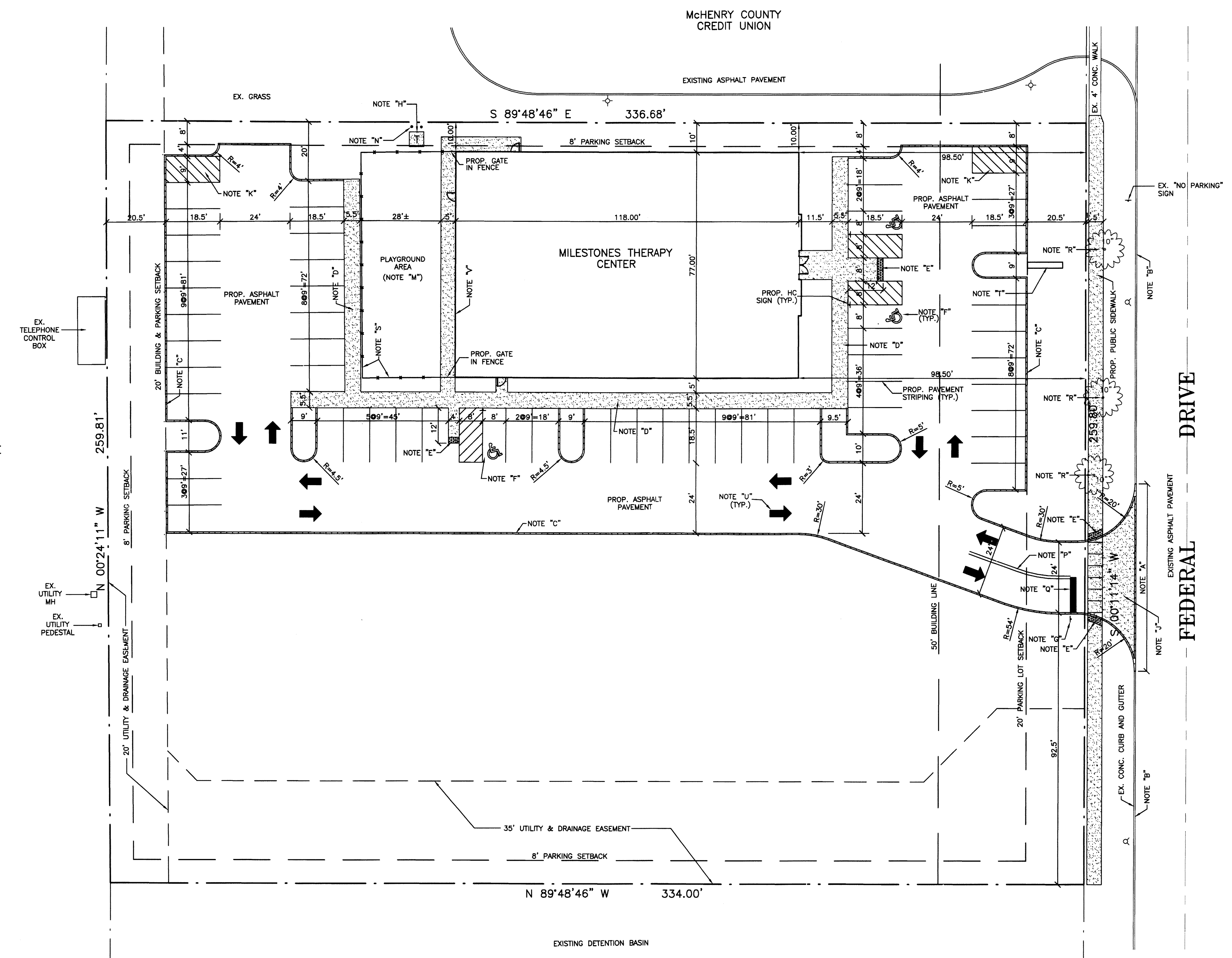
OPERATES 24 HOURS 365 DAYS

CALL JULIE 1-800-892-0123

WITH THE FOLLOWING: MCHENRY COUNTY

CITY-TOWNSHIP CRYSTAL LAKE SEC. & 1/4 SEC. NO. 4-43-B

**48 HOURS BEFORE YOU DIG EXCLUDING SAT., SUN. & HOLIDAYS**



**NOTE:**  
ALL TRAFFIC SIGNS ARE TO BE INSTALLED AT 7" MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.

**NOTE:**  
SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, PARKING LOT LIGHTING, SIGNAGE AND LANDSCAPING.

**NOTE:**  
ALL DIMENSIONS ARE TO THE FACE OF SIDEWALK OR FACE OF CURB UNLESS OTHERWISE NOTED.

**NOTE "A":**  
SAW CUT AND REMOVE EXISTING CONCRETE CURB AND GUTTER. REPLACE WITH NEW DEPRESSED CONCRETE CURB AND GUTTER. NEW FLOW LINE SHALL MATCH EXISTING FLOW LINE.

**NOTE "B":**  
EXISTING CONCRETE CURB AND GUTTER TO REMAIN.

**NOTE "C":**  
PROP. CONCRETE CURB TYPE B (TYP.) SEE DETAIL, SHEET C-11.

**NOTE "D":**  
PROPOSED CONCRETE SIDEWALK WITH INTEGRAL CURB.

**NOTE "E":**  
CONSTRUCT NEW HANDICAP RAMP IN ACCORDANCE WITH ALL CITY, STATE AND ADA REQUIREMENTS (TYPICAL). RAMP SHALL HAVE 24" WIDE TRUNCATED DOME DETECTABLE WARNING SURFACE OF BRICK RED COLOR. SEE DETAIL.

**NOTE "F":**  
PROPOSED HANDICAPPED PARKING STALL WITH PAINTED SYMBOL AND POLE SIGN.

**NOTE "G":**  
PROPOSED 30"x30" R1-1 STOP SIGN MOUNTED ON METAL POST.

**NOTE "H":**  
PROPOSED CONCRETE PAD FOR ELECTRIC TRANSFORMER. SEE ELECTRICAL DRAWINGS.

**NOTE "I":**  
PROPOSED CONCRETE DRIVEWAY. SEE NON-RESIDENTIAL DRIVEWAY DETAIL, SHEET C-10.

**NOTE "K":**  
PROPOSED PAVEMENT STRIPING, 4" WIDE LINES @ 45', 3' O.C.

**NOTE "L":**  
PROPOSED LIGHT POLE (TYP.). SEE ELECTRICAL DRAWINGS.

**NOTE "M":**  
SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF PLAYGROUND AREA.

**NOTE "N":**  
INSTALL PIPE BOLLARDS TO PROTECT ELECTRIC TRANSFORMER.

**NOTE "P":**  
PROPOSED 2-4" YELLOW STRIPES @ 11" C-C.

**NOTE "Q":**  
24" WHITE STOP BAR.

**NOTE "R":**  
EXISTING TREE TO BE REMOVED.

**NOTE "S":**  
PROPOSED 6" HIGH ALUMINUM FENCE, "WROUGHT IRON" STYLE.

**NOTE "T":**  
PROPOSED MONUMENT SIGN. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

**NOTE "U":**  
PROPOSED PAINTED TRAFFIC ARROW. SEE DETAIL, SHEET C-11.

**NOTE "V":**  
WHERE CONCRETE WALK IS ADJACENT TO FOUNDATION WALL, INSTALL COMPRESSIBLE FILLER (3/4" MAXIMUM) BETWEEN WALK AND FOUNDATION WALL. CUT BACK AND PROVIDE SEALANT AT BUILDING WALL.

**PARKING PROVIDED**

53 STANDARD STALLS (9')

3 HANDICAP STALLS (16')

**56 STALLS PROVIDED**

REVISIONS	
NO.	DATE

NO.	DATE

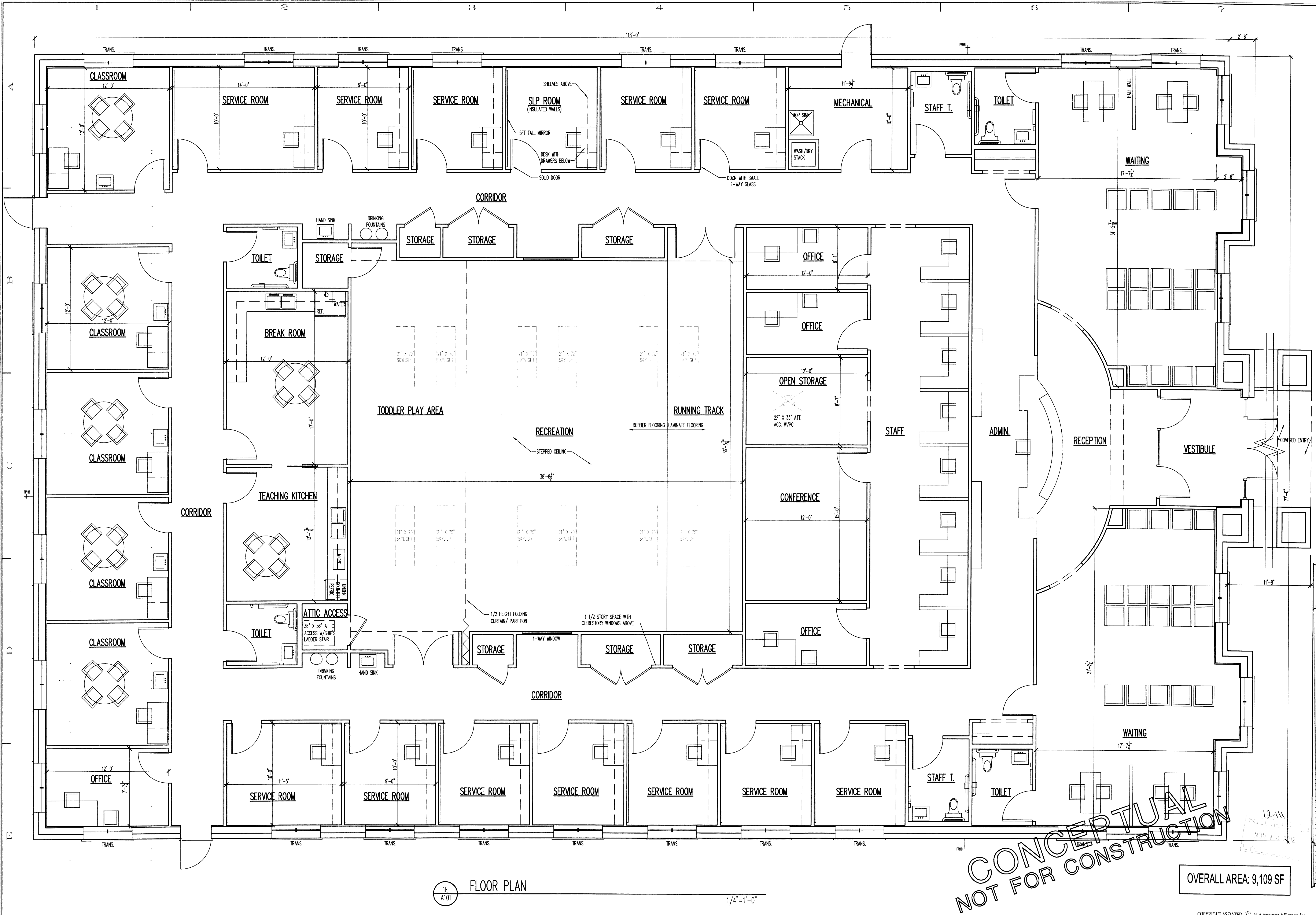
DRAWN BY: KRL	JOB NO. 12-45
CHECKED BY: DMH	
DATE: 10-24-12	
SCALE: 1"=20'	

**DRAWING NO. C-2**

**JOB NO. 12-45**

**NORTHWESTERN ENGINEERING**  
 CONSULTANTS, P.C.  
 1110 LAKE COOK ROAD  
 BUFFALO GROVE, ILLINOIS 60089 (847) 520-8410  
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002695 EXP. 04-13

**SITE PLAN**  
**MILESTONES THERAPY CENTER**  
**400 S. FEDERAL DRIVE**  
**CRYSTAL LAKE, ILLINOIS**



REVISIONS	DATE	DESCRIPTION
1	08-17-08	REVISED PER PERMIT
2	08-27-08	REVISED PER PERMIT
3	09-02-08	REVISED PER PERMIT
4	09-02-08	REVISED PER PERMIT
5	09-02-08	REVISED PER PERMIT

DESIGN STAGE  
 CONCEPTUAL DESIGN  
 PRELIMINARY DESIGN  
 DESIGN DEVELOPMENT  
 PERMIT REVIEW  
 PERMIT REVIEW FOR PERMIT  
 REVISION

MILESTONES THERAPY CENTER  
 411 EAST CONGRESS PARKWAY SUITE B  
 CRYSTAL LAKE, ILLINOIS 60014

FLOOR PLAN

**ALA**  
 Architects & Planners, Inc.  
 2600 Robin Road, Rt. 176  
 Crystal Lake, Illinois 60014  
 Telephone: 815-788-9200 Fax: 815-788-9201

Job Number: 12131  
 Sheet Number: A101

12/31/10

1E  
A101

FLOOR PLAN

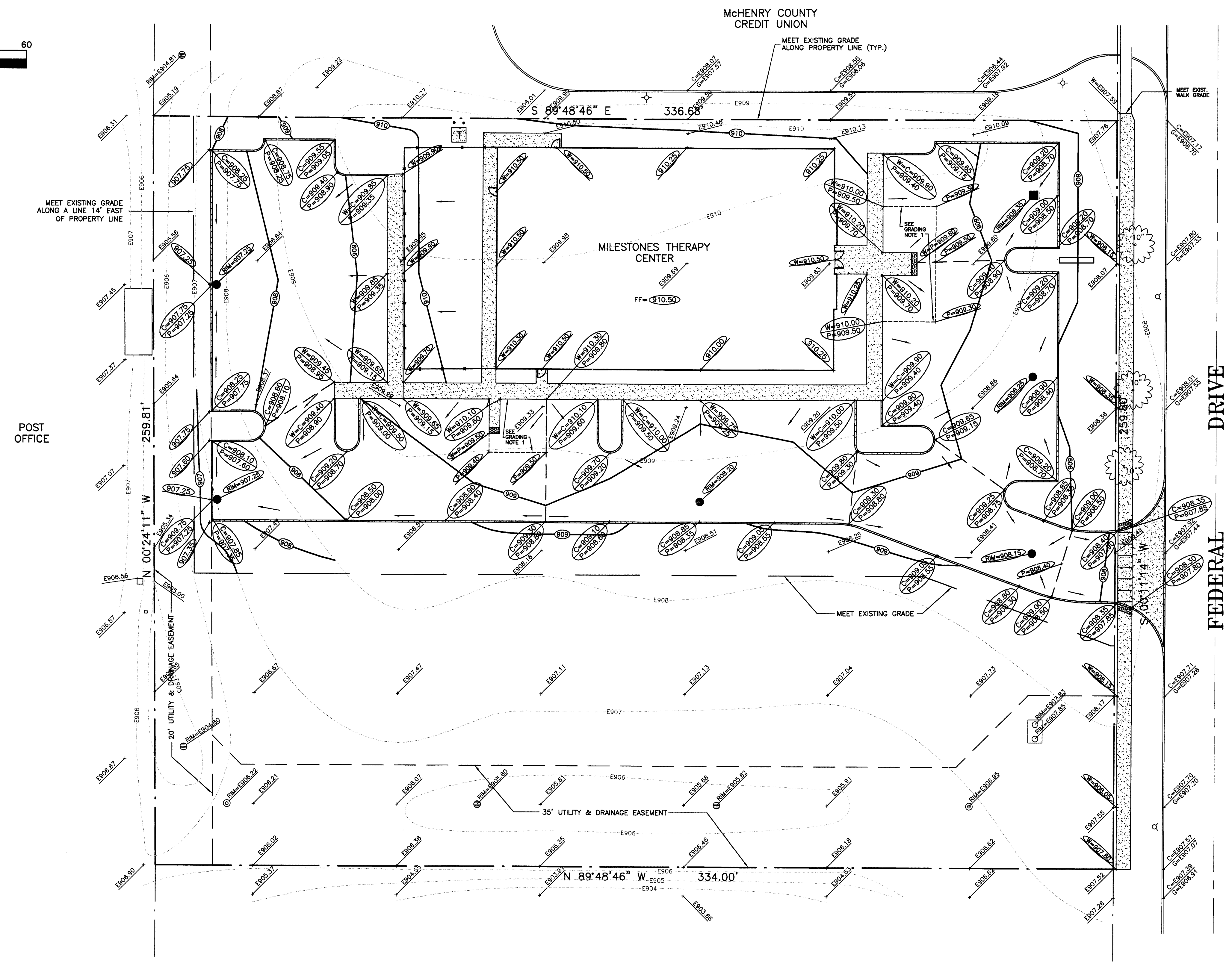
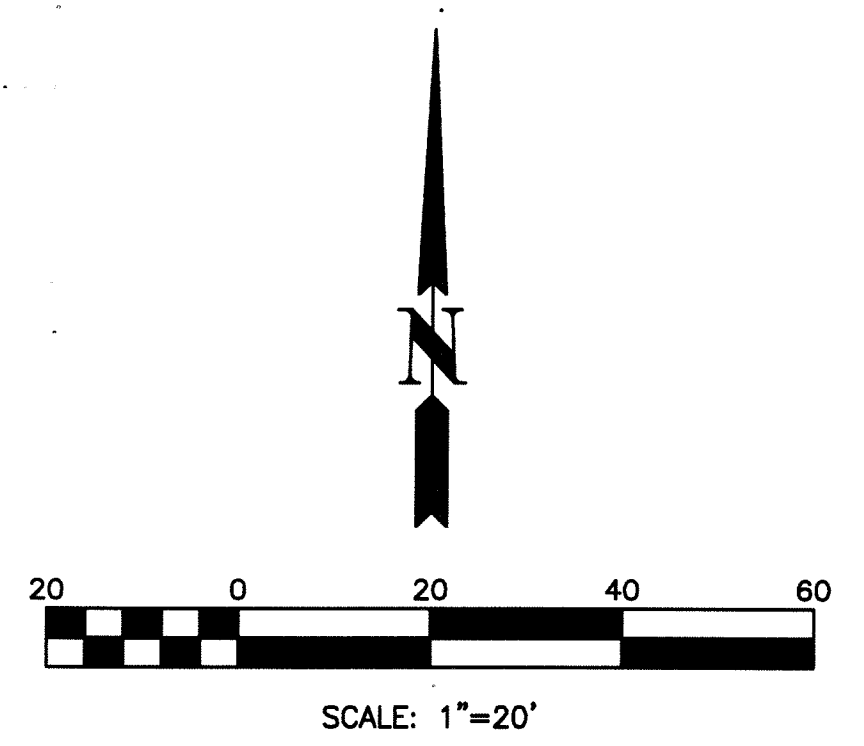
1/4" = 1'-0"

CONCEPTUAL  
 NOT FOR CONSTRUCTION

OVERALL AREA: 9,109 SF

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	OPERATES 24 HOURS 365 DAYS	CALL JULIE 1-800-892-0123
	WITH THE FOLLOWING:	
	CITY-TOWNSHIP SEC. & 1/4 SEC. NO. #	McHENRY COUNTY CRYSTAL LAKE 4-43-B
48 HOURS BEFORE YOU DIG EXCLUDING SAT., SUN. & HOLIDAYS		

**GRADING NOTES**

1. ACCESSIBLE PARKING SPACES AND THEIR ADJOINING ACCESS AISLES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.
2. ACCESSIBLE PEDESTRIAN ROUTES SHALL NOT EXCEED 2.0% CROSS SLOPE OR 5.0% RUNNING SLOPE, EXCEPT FOR CURB RAMPS WHICH SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 8.33% FOR A MAXIMUM RISE OF 8".
3. ALL GRASS/LANDSCAPED AREAS SHALL BE UNIFORMLY GRADED TO DRAIN WITH POSITIVE DRAINAGE.

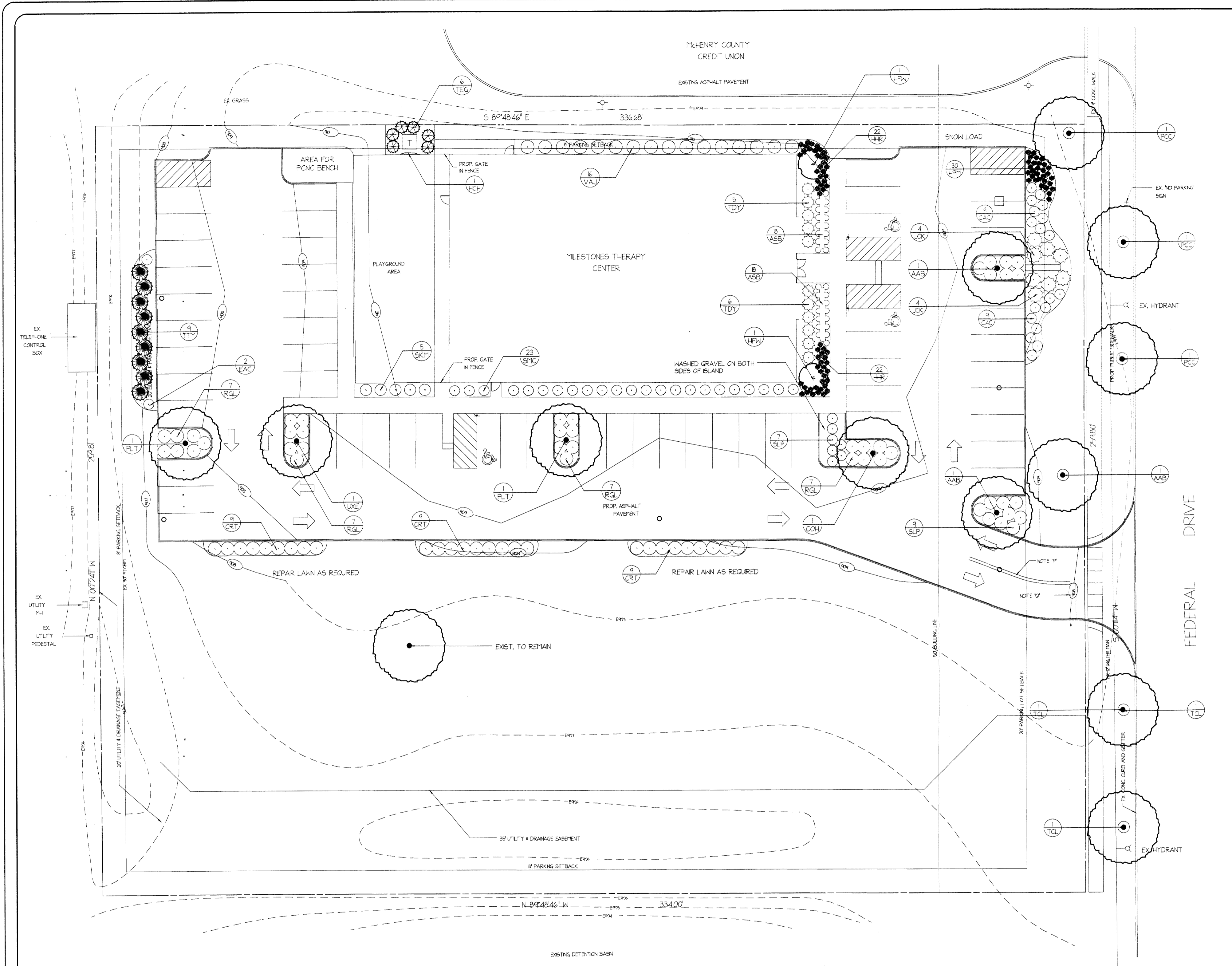
GRADING AND DRAINAGE PLAN  
MILESTONES THERAPY CENTER  
400 S. FEDERAL DRIVE  
CRYSTAL LAKE, ILLINOIS

CIVIL ENGINEERS LAND SURVEYORS SITE PLANNERS  
**NORTHWESTERN ENGINEERING CONSULTANTS, P.C.**  
1110 LAKE COOK ROAD BUFFALO GROVE, ILLINOIS 60089 (847) 520-0410  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 164-002695 EXP. 04-13

NO	DATE	DESCRIPTION

DRAWN BY: KRL  
CHECKED BY: DMH  
DATE: 10-24-12  
SCALE: 1"=20'

DRAWING NO. C-3  
JOB NO. 12-45



Key	Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>				
AAB	3	Acer x freemanii 'Jefferes'	AUTUMN BLAZE MAPLE	25"
COH	1	Celtis occidentalis	COMMON HACKBERRY	25"
HVA	2	Hamamelis virginiana	FALL WITCH HAZEL	5'
PLT	2	Plantanus x Bloodgood	LONDON PLANETREE	25"
BCC	3	Pyrus calleryana 'GLENS FORM'	CHANTICLEER PEAR	25"
TCL	3	Tilia 'Culvar'	LINDEN	25"
JXE	1	Juniper x 'Frontier'	FRONTIER JUN	25"
<b>Conifers</b>				
TEG	6	Thuja occidentalis 'Emerald'	EMERALD GREEN ARBORVITAE	6'
TTY	9	Thuja occidentalis 'Techny'	TECHNY ARBORVITAE	6'
<b>Shrubs</b>				
CRF	27	Cornus x 'Boley'	RED TWIG DOGWOOD	36"
CAC	18	Cotoneaster 'apiculata'	CRANBERRY COTONEASTER	18"
EAC	2	Euanthus 'datus 'Comocastus'	DAWARF BURNING BUSH	36"
HCH	1	Hydrangea anomala ssp. 'Petiolaris'	CLIMBING HYDRANGEA	5 Gal
JCK	8	Juniperus chinensis 'Kobold'	KALLAY JUNIPER	24"
RGL	28	Rhus aromatica 'Gro-Low'	GRO-LOW SUMAC	3Gal
SLP	16	Spiraea 'japonica Little Princess'	LITTLE PRINCESS SPREA	18"
SMC	23	Spiraea 'japonica Magic Carpet'	MAGIC CARPET SPREA	18"
SKM	5	Syringa patula 'Miss Kim'	MISS KIM LLAC	30"
TDY	1	Taxus x media 'Densiformis'	DENSE YEW	24"
VAJ	16	Viburnum dentatum 'Ralph Senior'	AUTUMN JAZZ VIBURNUM	36"
<b>Perennials and Annuals</b>				
ASB	36	Allium 'Summer Beauty'	SUMMER BEAUTY ALLIUM	1Gal.
HHR	44	Hemerocallis x 'Happy Returns'	HAPPY RETURNS DAYLILY	1Gal.
HPM	30	Hemerocallis x 'Pardon Me'	PARDON ME DAYLILY	1Gal.

40 CU. YDS. SHREDDED  
HARDWOOD MULCH

1,850 YDS OF LAWN  
SEEDED AND BLANKET

- NOTES
- EXCAVATOR TO HAVE FINISHED GRADE +/- 1"
  - ISLAND PLANTINGS WILL BE CROWNED 6" (MIN) ABOVE CURB HEIGHT
  - ALL PLANTS WILL BE FIRST RATE MATERIAL AND MEET OR EXCEED AMERICAN STANDARD FOR NURSERY STOCK STANDARDS
  - CHANGES IN PLANT MATERIAL WILL NEED APPROVAL BY THE PROJECT MANAGER PRIOR TO INSTALLATION
  - LAWN TO BE SEEDED UNLESS OTHERWISE NOTED
  - SEED MIXTURE WILL BE NATIONAL SEED COMPANY'S ALL-IN-ONE GLAMOUR MIXTURE (APPLIED AT 1 LB PER 200 SQFT)
  - ALL SEEDED AREAS WILL BE COVERED WITH A D5-75 BLANKET (OR EQUAL) AND STAPLES TO HELP PREVENT EROSION
  - MIDWEST TRADING BLENDED HARDWOOD MULCH (OR EQUAL) TO BE INSTALLED IN ALL PLANTING BEDS.
  - ALL PLANTING BEDS TO HAVE A MINIMUM 3" OF MULCH INSTALLED.
  - ALL TREES NOT IN PLANTING BEDS WILL HAVE A 4" DIAMETER MULCHED TREE RING.
  - LANDSCAPE CONTRACTOR WILL CONTACT JULIE PRIOR TO STARTING WORK.

No.	Date	Description

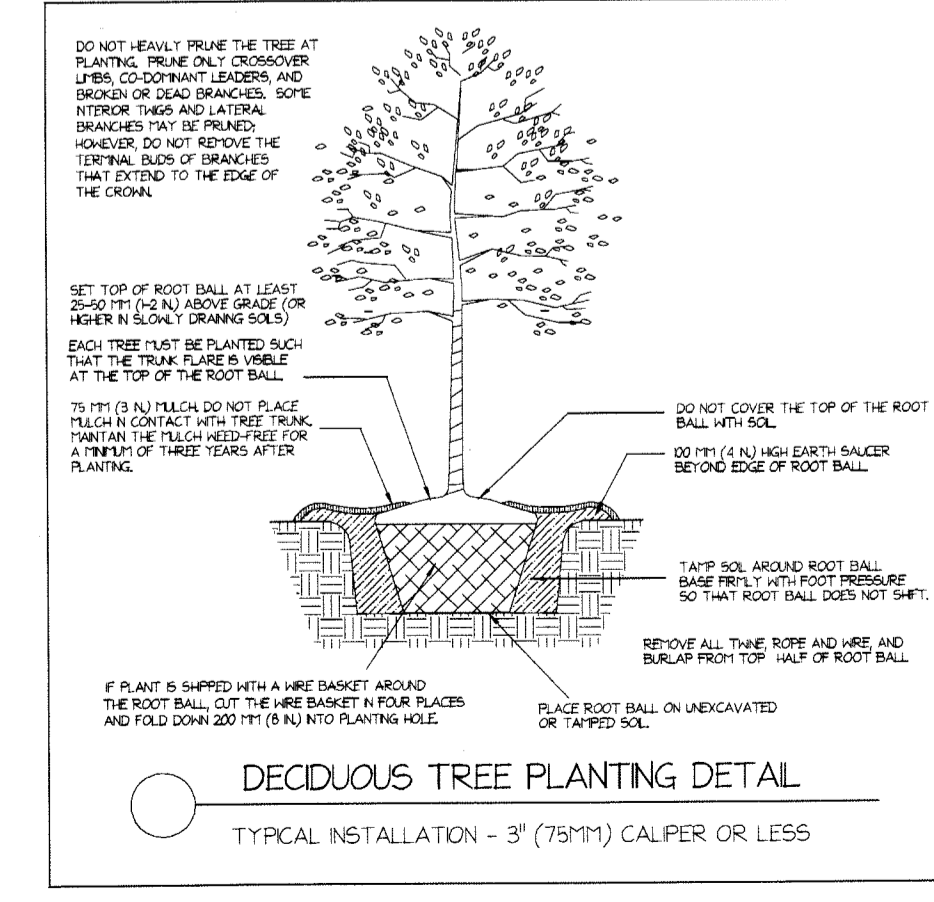
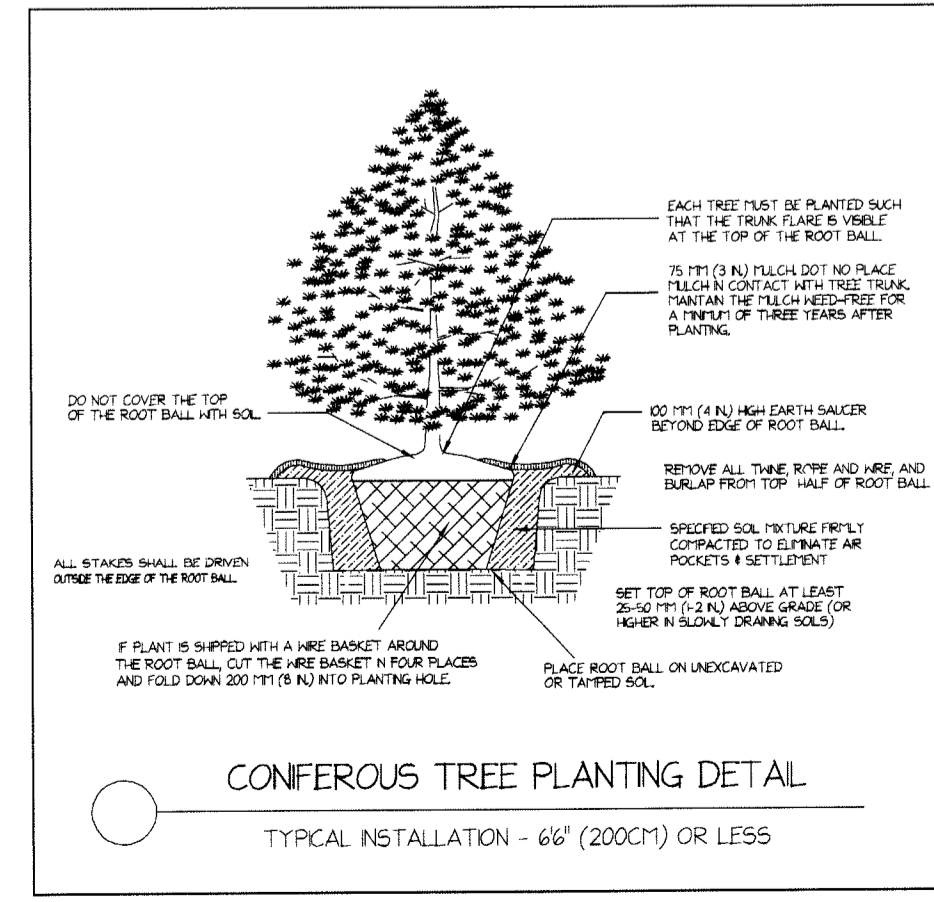
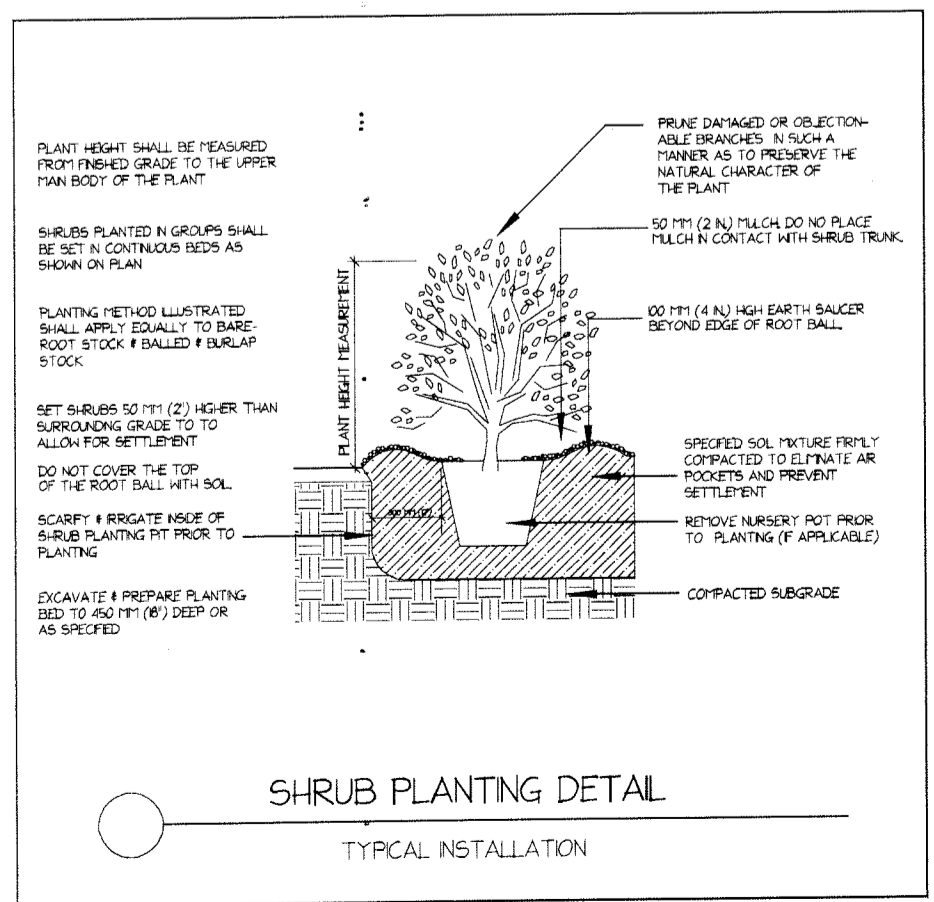
**NLD**  
NIERMAN LANDSCAPE & DESIGN  
Design, Build & Maintain

NIERMAN LANDSCAPE AND DESIGN  
P.O. BOX 765  
WOODSTOCK, IL 60098  
P: 815-337-8873  
F: 815-337-9043

LANDSCAPE PLAN

MILESTONES THERAPY CENTER

FEDERAL DRIVE  
CRYSTAL LAKE, IL 60014



SCALE: 1"=20'	PROJECT NO.: 12-0625
DRAWN BY: JMT	SHEET NO.: 11
CHECKED BY: JMT	DATE: 11/2002
DATE OF PRINT: 11/2/2002	