

PROJECT NUMBER: H 2013 50

CITY OF CRYSTAL LAKE CERTIFICATE OF APPROPRIATENESS APPLICATION

Please type or print legibly

PROJECT TITLE: Colonel Palmer House Exterior Ramp

ADDRESS: 600 E. Terra Cotta

OWNER(S):

NAME: City of Crystal Lake (owner)

ADDRESS: Managed, staffed & maintained by
the Crystal Lake Park District, One E.
Crystal Lake Ave.

PROPERTY INDEX NUMBERS (attach legal description):

14-34-151-003

BRIEFLY DESCRIBE THE CURRENT IMPROVEMENTS ON THE PROPERTY:

Remove existing exterior wheelchair lift.
Construct a handicap accessible ramp.
Remove & relocate existing plant
material to accommodate & screen
ramp. Optional (depending on cost);
replace porch support columns.

09-12-13P02:45 RCVD

PLEASE PROVIDE A DETAILED DESCRIPTION OF THE CONSTRUCTION, ALTERATION, DEMOLITION OR USE PROPOSED:

See attached architectural plans prepared by Apex Project Management.

Deck boards & railings to be constructed of Azek brand maintenance free material. Product information attached. Samples available upon request.

ADDITIONAL DOCUMENTATION REQUIRED:

PLEASE PROVIDE ARCHITECTURAL DRAWINGS OR SKETCHES FOR THE PROPOSED CONSTRUCTION OR ALTERATION. IN ADDITION, PLEASE PROVIDE PHOTOGRAPHS OF THE EXISTING IMPROVEMENTS AND A LIST OF MATERIALS TO BE USED IN THE PROJECT.

CONTRACTOR NAME: Crystal Lake Park District

ADDRESS: One E. Crystal Lake Ave.

PHONE: 815-459-0600 x 205 (Ann Viger)

ARCHITECT NAME: Apex Project Management Hd.

ADDRESS: 35 E. Crystal Lake Ave.

PHONE: 815-455-4242

ABBREVIATIONS

AB	ANCHOR BOLT	MAINT	MAINTENANCE
AC	AIR CONDITIONING	MATL	MATERIAL
ADJ	ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
AL	ALUMINUM	MEMB	MEMBRANE
ALT	ALTERNATE	MEZZ	MEZZANINE
APPROX	APPROXIMATE	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASPH	ASPHALT	MISC	MISCELLANEOUS
ASBY	ASSEMBLY	MO	MASONRY OPENING
AUTO	AUTOMATIC	MENRY	MASONRY
AVG	AVERAGE	MTS	MONITORING
		MTL	METAL
		MUL	MULLION
BT	BOTTOM OF		
BAL	BALANCE	(N)	NEW
BD	BOARD	N	NORTH
BIT	BITUMINOUS	NC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BLKG	BLOCKING	NOM	NOMINAL
BM	BEAM	NS	NEAR SIDE
BS	BASIN	NTS	NOT TO SCALE
BSMT	BASEMENT		
BTN	BETWEEN	OBS	OBSOLETE
		OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER
CAP	CAPACITY	OH	OVER HEAD
CB	CATCH BASIN	OPF	OPPOSITE
CEM	CEMENT		
CER	CERAMIC	PART	PARTITION
CFM	CUBIC FEET PER MINUTE	PERF	PERFORATED
CI	CAST IRON	PLAM	PLASTIC LAMINATE
CJ	CONSTRUCTION JOINT	PL	PLATE
CL	CENTER LINE	PLMB	PLUMBING
CLG	CEILING	PLYWD	PLYWOOD
CLO	CLOSET	FOL	POLISHED
CLR	CLEAR	FR	PAIR
CMU	CONCRETE MASONRY UNIT	PRFAB	PREFABRICATED
COL	COLUMN	FRV	POWER ROOF VENTILATOR
CONC	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONF	CONFERENCE	PSI	POUNDS PER SQUARE INCH
CONN	CONNECTION	PT	PAINT
CONSTR	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINIORE		
CONTR	CONTRACTOR	GT	QUARRY TILE
CT	CERAMIC TILE		
CTSK	COUNTERSINK	R	RISER
		RAD	RADIUS
d	PENNY (NAIL)	RD	ROOF DRAIN
DBL	DOUBLE	REF	REFERENCE
DEG	DEGREE	REFR	REFRIGERATOR
DF	DRINKING FOUNTAIN	REINF	REINFORCING/
DIA	DIAMETER	REQ	REQUIRED
DIFT	DITCH	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DL	DEAD LOAD		
DN	DOWN	S	SOUTH
DR	DOWN	SC	SOLID CORE
DS	DOWN SPOUT	SCHED	SCHEDULE
DET	DETAIL	SECT	SECTION
DWG	DRAWING	SHT	SHEET
		SH	SHOWER
E	EAST	SIM	SIMILAR
EA	EACH	SPEC	SPECIFICATION
EE	EACH END	SG	SQUARE
EB	EXPANSION BOLT	SG	SQUARE FOOT
EJ	EXPANSION JOINT	S	SINK
EL/ELEV	ELEVATION	S.S./SSTL	STAINLESS STEEL
ELECT	ELECTRIC	ST	STREET
ENCL	ENCLOSURE	STA	STATION
ENTR	ENTRANCE	STD	STANDARD
EQ	EQUAL	STL	STEEL
EQPT	EQUIPMENT	STOR	STORAGE
ES	EACH SIDE	STRUCT	STRUCTURAL/STRUCTURE
EMC	ELECTRIC WATER COOLER	SUSP	SUSPENDED
EXP	EXPANSION	SY	SYMMETRICAL
EXIST	EXISTING	SYM	SYMMETRICAL
EXT	EXTERIOR		
FA	FIRE ALARM	T/	TOP OF
FD	FLOOR DRAIN	T&B	TOP AND BOTTOM
FE	FIRE EXTINGUISHER	T&G	TONGUE AND GROOVE
FE	FIRE EXTINGUISHER	T&B	TACK BOARD
FE	FIRE EXTINGUISHER	TEMP	TEMPERED
FE	FIRE EXTINGUISHER	T.O.C.S	TOP OF CONCRETE SLAB
FE	FIRE EXTINGUISHER	T.O.S.B.	TOP OF STEEL BEAM
FE	FIRE EXTINGUISHER	THK	THICK
FE	FIRE EXTINGUISHER	TYP	TYPICAL
FE	FIRE EXTINGUISHER	UNFIN	UNFINISHED
FE	FIRE EXTINGUISHER	UR	URINAL
FE	FIRE EXTINGUISHER	UNO	UNLESS NOTED OTHERWISE
FE	FIRE EXTINGUISHER	V	VENT, VOLT
FE	FIRE EXTINGUISHER	VCT	VINYL COMPOSITION TILE
FE	FIRE EXTINGUISHER	VEST	VESTIBULE
FE	FIRE EXTINGUISHER	VRT/VERT	VERTICAL
FE	FIRE EXTINGUISHER	V.I.F.	VERIFY IN FIELD
FE	FIRE EXTINGUISHER	V.W.C.	VINYL WALL COVERING
FE	FIRE EXTINGUISHER	W	WEST
FE	FIRE EXTINGUISHER	W/O	WITHOUT
FE	FIRE EXTINGUISHER	WC	WATER CLOSET
FE	FIRE EXTINGUISHER	WD	WOOD
FE	FIRE EXTINGUISHER	WGL	WIRE GLASS
FE	FIRE EXTINGUISHER	WH	WATER HEATER
FE	FIRE EXTINGUISHER	WM	WIRE MESH
FE	FIRE EXTINGUISHER	WO	WALL OPENING
FE	FIRE EXTINGUISHER	WP	WEATHERPROOF
FE	FIRE EXTINGUISHER	W/F	WELDED WIRE FABRIC
FE	FIRE EXTINGUISHER	YD	YARD

CRYSTAL LAKE PARK DISTRICT COLONEL PALMER HOUSE HANDICAP RAMP AND ACCESS

660 EAST TERRA COTTA AVENUE
CRYSTAL LAKE, IL 60014



1 LOCATION MAP
N.T.S.



NORTH

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE AND FULLY INFORM HIMSELF OF ALL CONDITIONS AND LIMITATIONS THAT WILL AFFECT HIS WORK AND INCLUDE IN HIS PROPOSAL A SUM TO COVER ALL WORK CALLED FOR FROM THE DRAWINGS AND SPECIFICATIONS INCLUDING ALL LABOR, MATERIALS AND MEANS OF CONSTRUCTION NECESSARY FOR A COMPLETE INSTALLATION.
- THE SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND TO REPORT ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- BEFORE AND DURING CONSTRUCTION THE CONTRACTOR SHALL CHECK ALL CERTIFIED ARCHITECTURAL, MECHANICAL, AND ELECTRICAL MANUFACTURERS' EQUIPMENT DRAWINGS TO COORDINATE DIMENSIONS, OPENINGS, INSERTS, AND ANCHORAGES.
- DO NOT SCALE DRAWINGS, USE GIVEN DIMENSIONS.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE MANUFACTURER'S SPECIFICATIONS AND BEST TRADE PRACTICES AND STANDARDS.
- ALL CONTRACTORS SHALL REMOVE ALL DEBRIS FROM SITE. REMOVAL OF DEBRIS SHALL BE MADE OFTEN AND AS NECESSARY TO MAINTAIN SAID PREMISES IN A SAFE, CLEAN AND ACCESSIBLE CONDITION.
- WHERE THE TERM "APPROVED EQUAL" IS USED IN THE DRAWINGS OR SPECIFICATIONS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF THE ARCHITECT AND OWNER CONCURRENCE AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMIT ACTUAL SAMPLES AND ANY NECESSARY TECHNICAL DATA OR INFORMATION OF ALL PROPOSED SUBSTITUTIONS.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS, FIXTURE AND EQUIPMENT SPECIFICATION DATA SHEETS TO THE ARCHITECT FOR REVIEW.
- NOTES ON DRAWINGS APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT. ALL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.
- THROUGHOUT THE WORK, SEAL AND CAULK JOINTS WHERE REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST PASSAGE OF MOISTURE AND AIR.
- SCOPE OF WORK OF ALL TRADES IS TO INCLUDE ALL MATERIALS AND LABOR AS REQUIRED TO TOTALLY COMPLETE PROJECT FROM INTERFACE WITH EXISTING CONSTRUCTION THROUGH CONFIGURATION AS INDICATED ON CONSTRUCTION DOCUMENTS. ALL FINISHED WORK SHALL BE COMPLETE AND OPERABLE, CONSISTENT WITH THE DESIGN INTENT EXPRESSED IN THESE DOCUMENTS, WHETHER SPECIFICALLY ADDRESSED IN THE DOCUMENTS OR NOT.
- THE WORK OF ALL TRADES AND VENDORS IS TO BE COORDINATED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL BE REQUIRED TO SCHEDULE THE WORK OF ALL TRADES SO NOT TO IMPED THE PROPER SCHEDULE OF THE WORK.
- CONTRACTOR SHALL COORDINATE ALL EXISTING UTILITY DISCONNECTIONS AND RELOCATIONS ASSOCIATED WITH THE WORK.
- CONTRACTOR SHALL FULLY COMPLY WITH BUILDING CODES AND AMENDMENTS ENFORCED BY THE GOVERNING AUTHORITY HAVING JURISDICTION OF CONSTRUCTION WORK.
- CONTRACTOR SHALL IDENTIFY ALL LOAD BEARING CONDITIONS DURING DEMOLITION THAT ARE NOT IDENTIFIED ON THE CONSTRUCTION DOCUMENTS AND NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH DEMOLITION.
- PATCH FLOOR, WALL, CEILING AND EXTERIOR SURFACES DISTURBED DURING DEMOLITION (IF APPLICABLE) AND RESTORE AND INFILL SURFACES TO FINISHED CONDITION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL TEMPORARY PROTECTION OF ADJACENT WORK, EQUIPMENT AND OCCUPIED AREA AND SAME SHALL BE SUBJECT TO THE OWNER'S APPROVAL.

DRAWING INDEX

ARCHITECTURAL	
T1.0	TITLE SHEET
A1.0	SITE PLAN
A1.1	FLOOR PLAN
A1.2	FRAMING PLAN
A2.0	ELEVATIONS
A3.0	SECTIONS AND DETAILS

09-12-13 02:45 RCVD

ISSUED FOR PERMIT	9-10-13	DATE
ISSUED FOR REVIEW	4-6-13	DATE
ISSUED FOR REVIEW	7-25-13	DATE
ISSUED FOR REVIEW	7-11-13	DATE
No.	ISSUE	DATE
Drawn By: LB	Project No: 6340	
Checked By: MK	CAD File:	
Date: 5/23/13	Scale:	AS NOTED

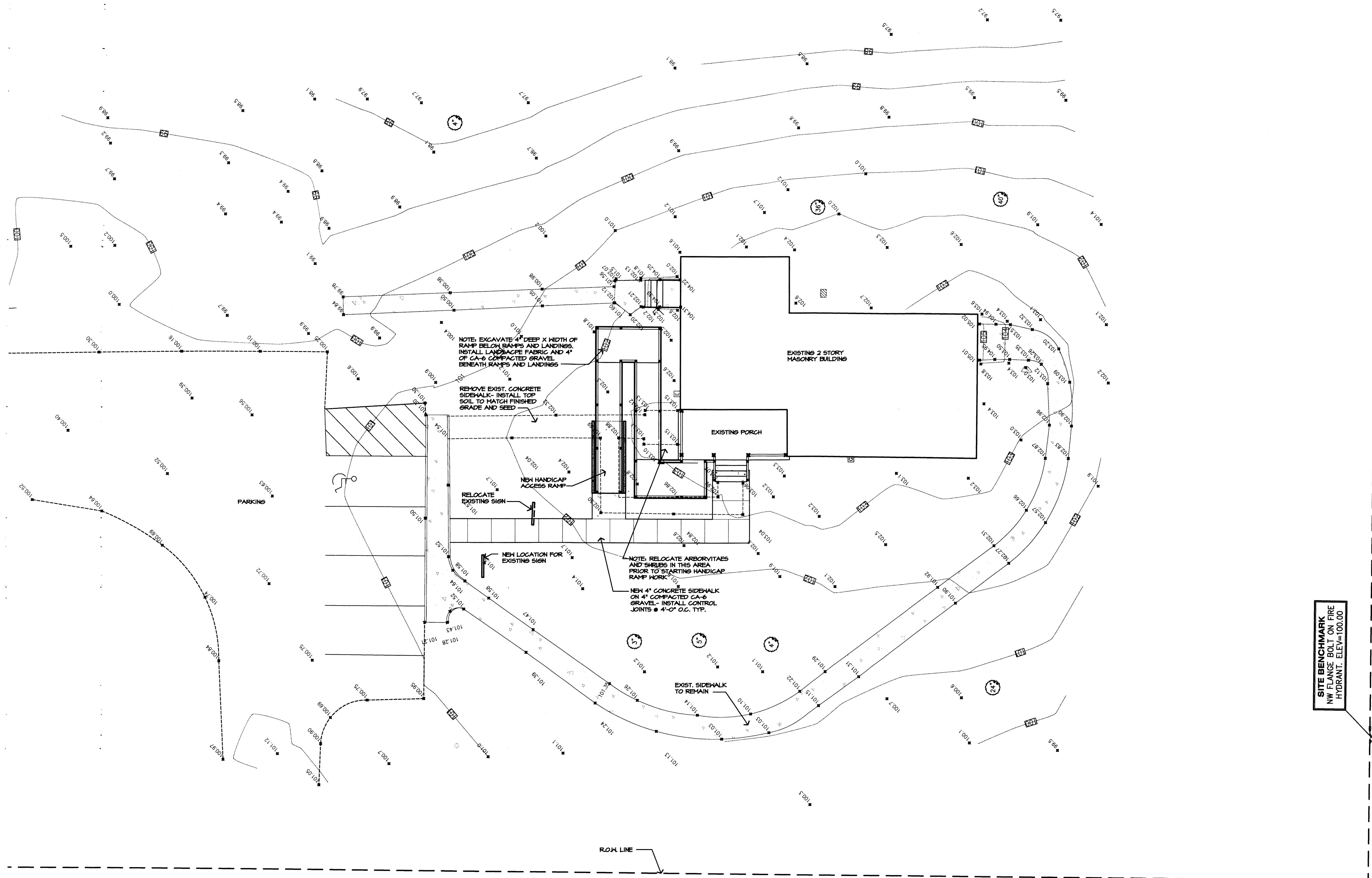
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CRYSTAL LAKE, ILLINOIS 60014-6101
(815) 455-4242
(815) 455-4411 (Fax)
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SHEET TITLE:
TITLE SHEET

CLIENT:
CRYSTAL LAKE PARK DISTRICT
ONE EAST CRYSTAL LAKE AVENUE
CRYSTAL LAKE, ILLINOIS 60014

PROJECT:
COLONEL PALMER HOUSE
HANDICAP RAMP AND ACCESS

SHEET NUMBER
T1.0



SITE BENCHMARK
 NW FLANGE BOLT ON FIRE
 HYDRANT. ELEV.=100.00

PARTIAL SITE PLAN
 1/8" = 1'-0"
 NORTH

DATE	ISSUE	No.
4-10-19	ISSUED FOR PERMIT	
4-6-19	ISSUED FOR REVIEW	
7-11-19	ISSUED FOR REVIEW	

Drawn By: LB	Project No: 6340
Checked By: MK	CAD File:
Date: 5/23/13	Scale:

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SHEET TITLE:
 SITE PLAN

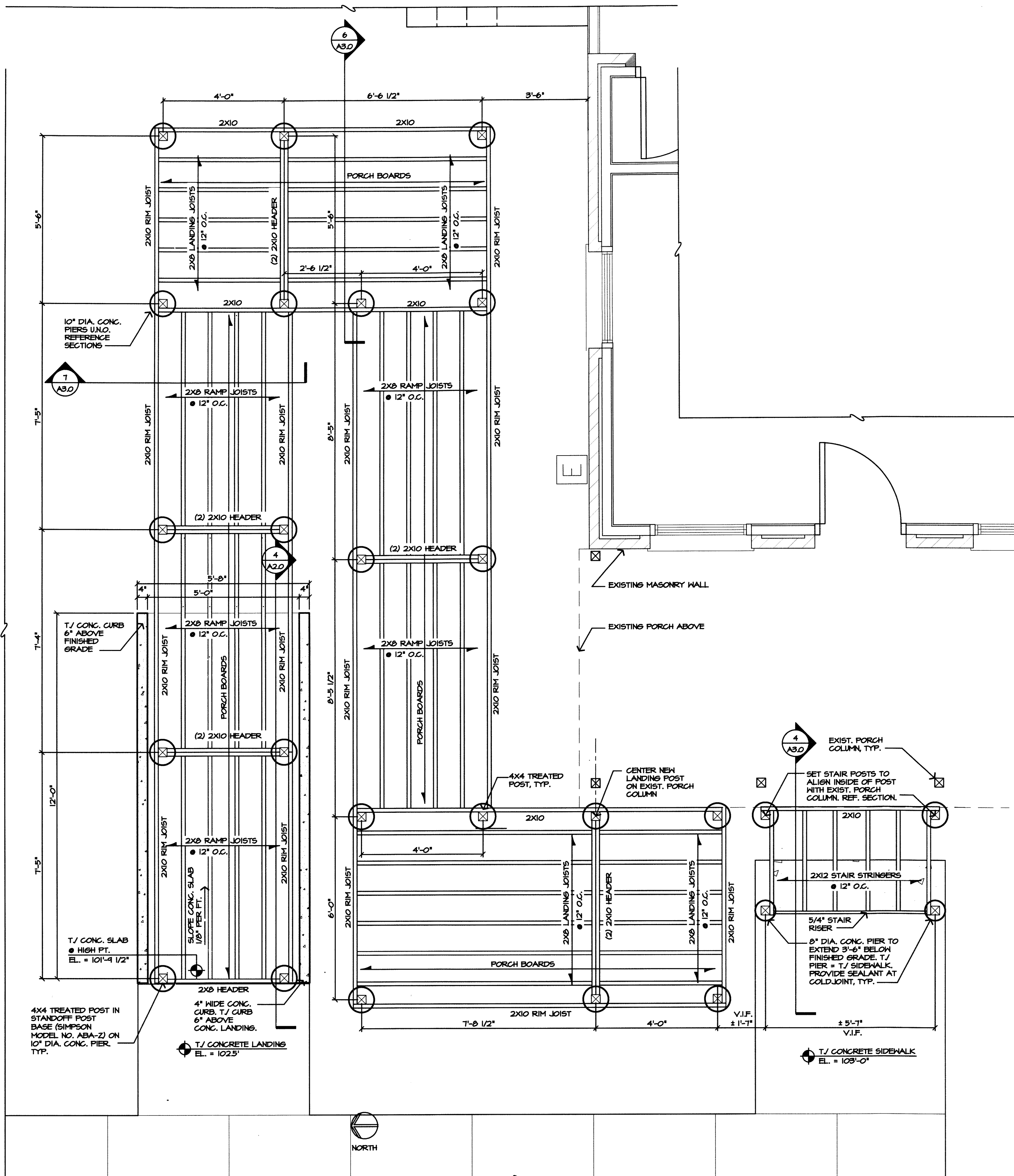
SHEET NUMBER
A1.0

FRAMING NOTES:

- ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR C.M.U. TO BE PRESSURE TREATED WITH WATER BORNE PRESERVATIVE.
- GRADING SH'LL BE IN ACCORDANCE WITH THE CURRENT NHPA STANDARD GRADING RULES.
 - GRADE NO. 1 - DOUGLAS FIR. POST AND BEAMS, FLOOR AND CEILING JOISTS & RAFTERS.
 - GRADE NO. 2 - SOUTHERN PINE. SILLS, PLATES, STUDS AND BLOCKING.
- ALL WOOD MEMBERS 2X AND LESS IN LEAST DIMENSION SHALL BE KILN DRIED.
- THE STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL ALL DECKING MATERIALS HAVE BEEN PERMANENTLY ATTACHED TOGETHER.
- DESIGN LOADS: DECK LIVE LOAD = 40 PSF
DEAD LOAD = 10 PSF

FASTENING SCHEDULE

- HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO 4X4 POSTS.
- DOUBLE 2X HEADERS TO POSTS - SIMPSON HUC210-2-Z JOIST HANGER WITH CONCEALED FLANGES AND FASTENERS SPECIFIED BY SIMPSON.
- SLOPING 2X RAMP JOISTS TO HEADERS - SIMPSON L56U20-Z ADJUSTABLE LIGHT SLOPEABLE HANGERS AND FASTENERS SPECIFIED BY SIMPSON.
- RIM JOISTS TO POSTS - SIMPSON L540-Z FRAMING ANGLES BOTH SIDES OF POSTS AND FASTENERS SPECIFIED BY SIMPSON.
- LANDING JOISTS TO HEADERS AND RIM JOISTS - SIMPSON LUS28-Z DOUBLE SHEAR JOIST HANGER AND FASTENERS SPECIFIED BY SIMPSON.
- STAIR STRINGERS TO HEADER - SIMPSON L5C-Z ADJUSTABLE LIGHT SLOPEABLE HANGERS AND FASTENERS SPECIFIED BY SIMPSON.
- WPC (AZEK) TRIM BOARDS - FASTEN WITH CORTEX SCREWS, PLUGS AND SETTING TOOLS INCLUDED IN FASTENMASTER CORTEX CONCEALED FASTENING SYSTEM.



RAMP FRAMING PLAN

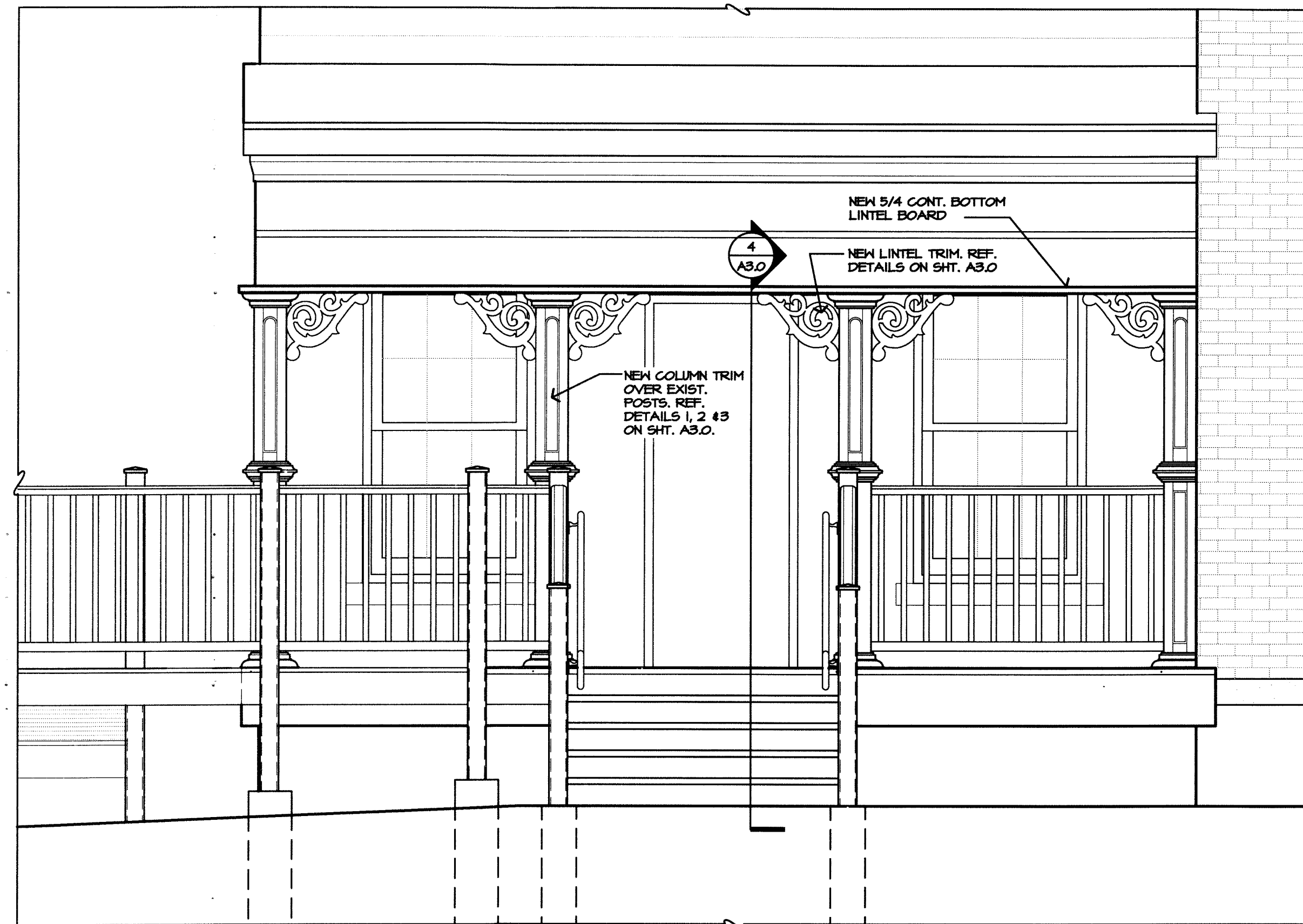
1/2" = 1'-0"



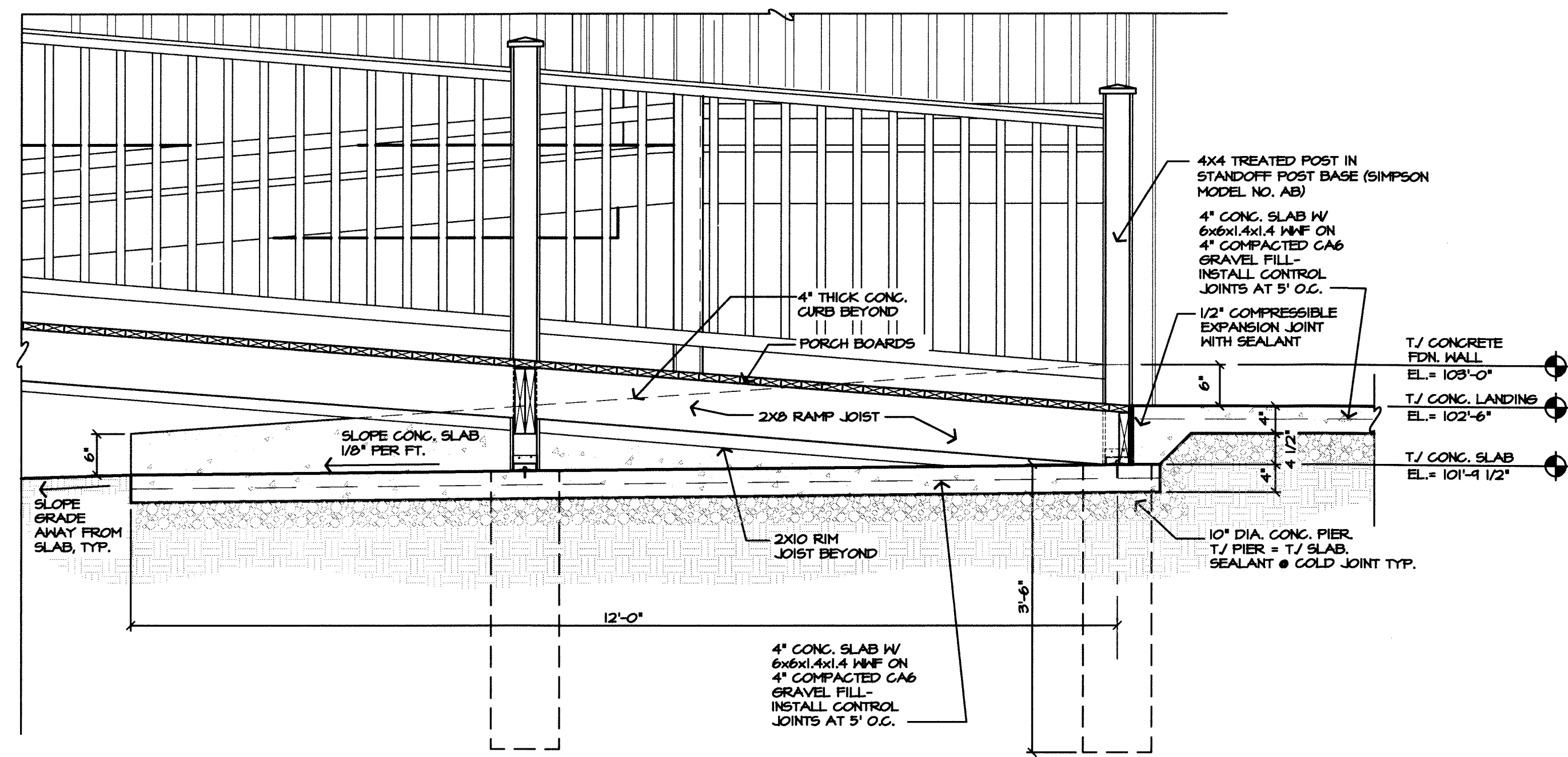
2 NORTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



3 PARTIAL WEST ELEVATION
1/2" = 1'-0"



4 SECTION THRU RAMP @ GRADE
3/4" = 1'-0"

ISSUE	DATE	ISSUE	DATE
ISSUED FOR PERMIT	4-10-13		
ISSUED FOR REVIEW	4-4-13		
ISSUED FOR REVIEW	7-25-13		
No.		No.	
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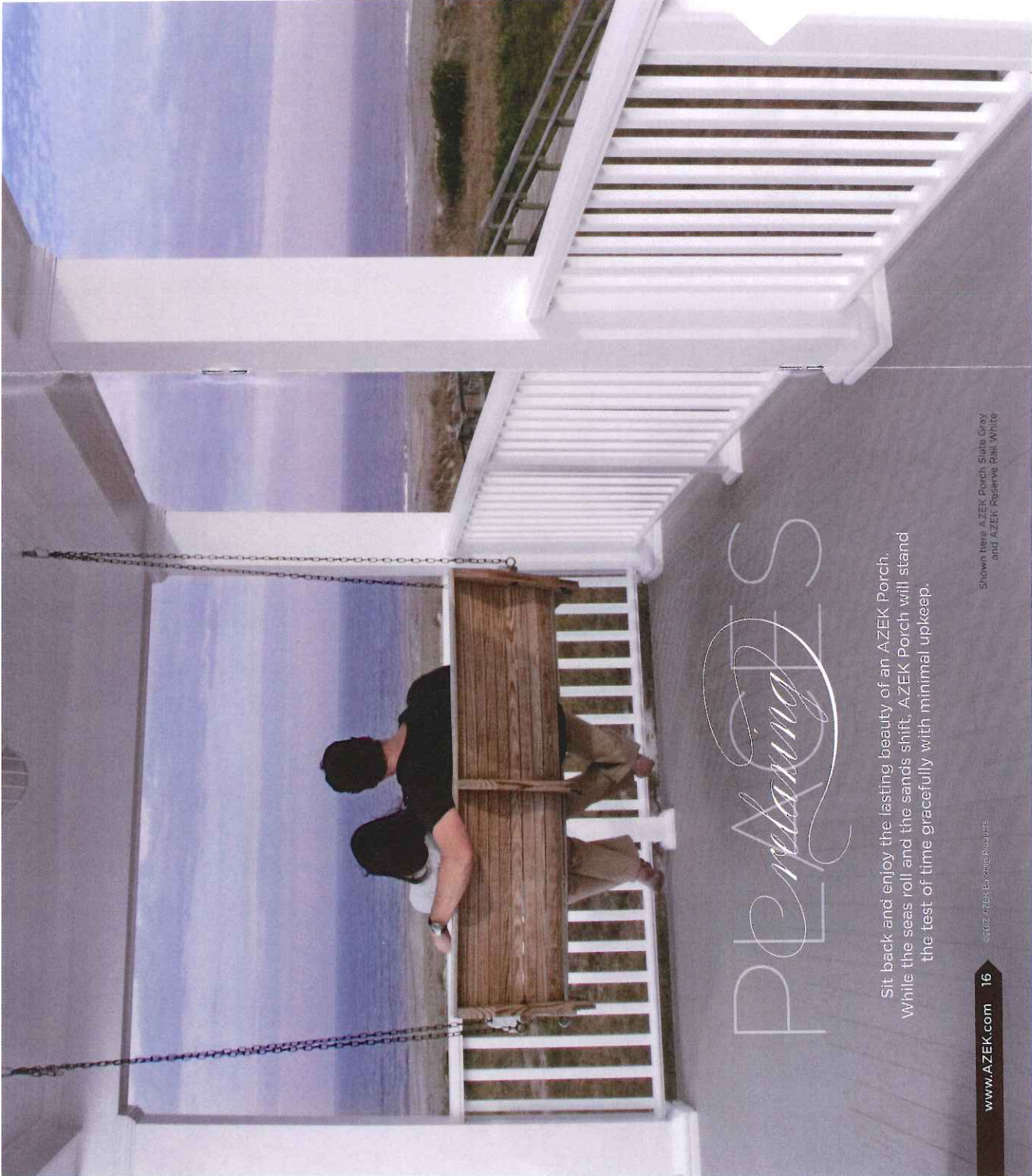
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PROJECT:
COLONEL PALMER HOUSE
HANDICAP RAMP AND ACCESS

SHEET TITLE:
ELEVATIONS

SHEET NUMBER
A2.0



PLEASURES

Sit back and enjoy the lasting beauty of an AZEK Porch. While the seas roll and the sands shift, AZEK Porch will stand the test of time gracefully with minimal upkeep.

PORCH COLORS



Brownstone



Slate Gray



Morado



Silver Oak



Oyster

Actual colors may vary slightly from photographs. To request samples, go to www.AZEK.com. Depending on environmental conditions, AZEK Porch colors may appear to lighten over time as part of the natural weathering process.

Seeing a traditional porch often brings back memories of a simpler time. A warm breeze, a front swing, and a cold glass of lemonade. With today's architectural trends, that traditional front porch is making a comeback, but without all the work. AZEK Porch, in five popular shades, gives the upscale look of a traditional porch, but resists everyday stains and scratches.

Built to handle the high traffic that any porch encounters, with AZEK Porch you'll make a great first impression...that lasts long beyond the first day.



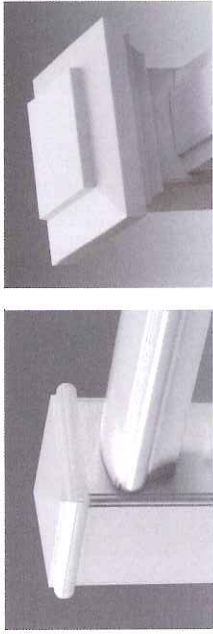
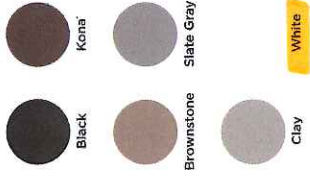
WELCOME

Greet your family and friends on a porch that is pleasing to the eye and yet durable. The smooth tongue and groove surface offers a surface befitting the raves of your neighbors.

Shown here AZEK Porch Stone Grey

RAIL DESIGNS

AZEK Premier Railing
(available in all colors shown)



AZEK Trademark Railing
(available in white)

AZEK Reserve Railing
(available in white)

Not stacked

AZEK Rail combines the solid feel of wood with classically beautiful lines and lasting good looks.

RAILINGS

Shown here, AZEK Reserve and AZEK Rail Premier Black

Depending on environmental conditions, AZEK Rail colors may appear to lighten over time as part of the natural weathering process.

TRIM PRODUCTS

AZEK Trim



AZEK Cornerboard



AZEK

Finish Grade Trim*



AZEK Universal Skirt Board*



AZEK Integrated Drip Edge



AZEK Rabbedted Cornerboard & Trim



AZEK Sheet



AZEK to Mill (ATM)



AZEK Adhesive



NEW FOR 2013!

AZEK Column Wrap

With the same matte finish of AZEK Trim, the AZEK Column Wrap offers a premium column with clean corners and no visible fasteners. The "Three-Plus-One" design will help reduce installation time and costs.

