



#2014-13

**Teckler Boulevard Self Storage – Preliminary PUD
Project Review for Planning and Zoning Commission**

Meeting Date: March 19, 2014 and April 2, 2014

Requests:

1. Special Use Permit to allow a Preliminary PUD for multiple buildings on a zoning lot, for mini-warehousing/self-storage and for outside storage.
2. Variation from Section 3-200B Density and Dimensional Standards to allow 75% impervious surface from the permitted 70%, a variation of 5%.
3. Variation from Section 3-200B Density and Dimensional Standards to allow a 10-foot rear yard setback from the required 20-foot setback, a variation of 10 feet.
4. Variation from Section A-400C Access Management Manual to allow the driveways off Official Road and Eastgate Alley to be closer than 60 feet from the edge of the intersecting right-of-way.
5. Variation from Section A-400F Access Management Manual to allow driveways wider than 36 feet.

Location: Southeast corner of Teckler Boulevard and Official Road

Acreage: Approximately 4.87 acres

Existing Zoning: M Manufacturing

Surrounding Properties:

North:	M-PUD Manufacturing
South:	M Manufacturing
East:	(Across Main Street) B-2 Highway Commercial
West:	M Manufacturing

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- This petitioner has purchased 4.87 acres of property which is primarily along Official Road with two lots fronting on Factory Road. The property was the former Black Dot Graphics buildings.
- The project is mini-warehousing/self-storage and would be comprised of 6 new warehouse buildings, an existing warehouse building and an open lot for outside storage of vehicles.

- The project would be constructed in 2 phases. Phase 1 is the 40,035 SF climate control building and office, the existing warehouse building on Factory Road and the three metal drive-up storage buildings at 2,550 SF, 8,575 SF and 3,825 SF. Phase 2 is the 22,440 SF Mixed Storage building, 4,950 SF drive-up storage building and outdoor storage lot.

Development Analysis:

Land Use/Zoning

- The site is currently zoned M Manufacturing. This is the appropriate zoning district for mini-warehousing/self-storage
- The land use map shows the area as Industry. This is an appropriate land use designation for mini-warehousing/self-storage
- Mini-warehousing/self-storage requires a Special Use Permit in the M zoning district.

Site Layout

- There are 7 buildings and 1 outdoor lot.
- The main driveway is off Official Road into the front office and parking area. There are also three drives off Official Road and one on Eastgate Alley.
- There are two drive-in bays to the climate controlled building allowing customers to pull in and unload with protection from the elements. The first is through the main parking area and the second is off Official Road, which also includes a truck loading dock for U-Haul type vehicles.
- The petitioner is requesting a variation to locate the driveway on Official Road only 40 feet from the Teckler Boulevard intersection. The petitioner is also requesting a variation to locate the driveway off Eastgate Alley only 35 feet from the intersection of Official Road. The requirement is 60 feet from an intersection.
- Fire would access the site through the two main drives off Official Road.

Building Elevations

- The buildings are primarily metal mini-warehousing storage buildings.
- The main climate controlled building will have a decorative store-front with EIFS panels, decorative lighting and metal canopy.
- The East Elevation is along Eastgate Alley and adjacent to the Prairie Trail and Main Street. Additional architectural details or landscape materials shall be added here to enhance this elevation.

Parking

- Mini-warehousing/self-storage requires 1 space per 4,000 SF up to a total of 20,000 SF + 1 space per 2,000 SF for the remaining square footage + 1 vehicle used in the conduct of business.
- The project requires 11 spaces and 12 spaces have been provided.

Landscape

- The petitioner has submitted a preliminary landscape plan. It illustrates parkway trees along Official Road spaced between every 50 feet and every 80 feet.

- Foundation base landscape is shown around the front of the building as well as some parking lot screening along Teckler Boulevard.
- A final detailed landscape plan will be required with the Final PUD submittal.

Findings of fact:

PRELIMINARY PUD/SPECIAL USE PERMIT

The petitioner is requesting approval of a Preliminary Planned Unit Development to allow multiple buildings on a zoning lot. In addition, the petitioner is requesting a Special Use Permit to allow mini-warehousing/self-storage in the M zoning district and to allow outdoor storage which does not meet the Limited Use Criteria. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*

9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Residential PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.
 Meets *Does not meet*
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets *Does not meet*
3. PUD's must provide transitional uses to blend with adjacent development.
 Meets *Does not meet*
4. PUD phases must be logically sequenced.
 Meets *Does not meet*
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets *Does not meet*
6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets *Does not meet*
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets *Does not meet*
8. Any private infrastructure shall comply with the city standards.
 Meets *Does not meet*
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets *Does not meet*
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets *Does not meet*

Outdoor Sales, Service, Storage or Display shall comply with the following standards. The petitioner is proposing outdoor storage for vehicles associated with the self-storage concept.

1. General: An on-site circulation pedestrian and vehicle plan, illustrating the location of the sales, service, storage or display area shall be provided.
 Meets *Does not meet* *Not Applicable*

2. Site Design: Outdoor service or storage areas shall be located at the rear of the property. Special attention must be given to locate outdoor service or storage areas away from adjacent residential properties and at the least obtrusive location for adjacent commercial uses.
 Meets *Does not meet* *Not Applicable*

3. Screening: All outside service or storage areas shall be screened from view with solid wooden fencing or opaque landscaping, in accordance with the standards in Article 4-700 Fences, Walls and Screening. The height of the fencing shall be adequate to conceal the stock, equipment or materials from view of adjacent properties. In cases where the height of materials exceeds 15 feet in height making it difficult to screen with fencing and landscaping, consideration will be given to the type of materials being stored and the impact of the visibility on the adjacent and surrounding property owners.
 Meets *Does not meet* *Not Applicable*

4. Other applicable regulations: Written evidence, that applicable standards and requirements for health and safety protection and licensing by jurisdictions other than the City, as well as those required by the City ordinances, have been met shall be provided.
 Meets *Does not meet* *Not Applicable*

5. All outdoor sales, service, storage and display must meet the Guidelines for Outdoor Sales, Service, Storage and Display that are included in the Appendix.
 Meets *Does not meet* *Not Applicable*

ZONING ORDINANCE VARIATIONS

The petitioner is requesting several variations; the first is to allow 75% impervious surface coverage, the second is to allow a 10-foot rear yard setback, the third is to allow the driveways off Official Road and Eastgate Alley to be closer than 60 feet from the edge of the intersecting right-of-way and the fourth is to allow driveways wider than 36 feet.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

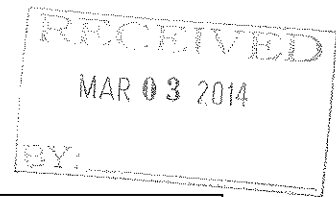
Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Teckler Blvd. Development, received 03/03/14)
 - B. ALTA Survey (Webster, McGrath & Aglberg Ltd., dted 4/18/13, received 30/03/14)
 - C. Engineering Plan Set (J. Condon & Associates, Inc., dated 03/03/14, received 03/03/14)
 - D. Preliminary Engineering Report (J. Condon & Associates, Inc., dated 03/03/14, received 03/03/14)
 - E. Architectural Plan Set (Reitan Architects, LLC, dated 03/03/14, received 03/03/14)
 - F. Landscape Plan (UplandDesign Ltd. dated 03/05/14, received 03/14/14)
2. Site and Landscape Plan
 - A. If this property requires any tree removal, the petitioner shall provide a tree inventory, protection plan and removal calculations which meet Article 4-300 of the UDO.
 - B. Addition building foundation landscaping is required to meet the UDO standards.
 - C. Work with staff on the final landscape plan, additional landscape materials may be added to the detention areas, to the front parking area, around the free-standing sign and along Eastgate Alley.
 - D. Relocate fire hydrant from entrance driveway.
3. Elevations
 - A. Thought should be given how to soften and enhance the Eastgate Alley elevation (East Elevation) as this is adjacent to the Prairie Trail and Main Street.
 - B. A sample color and material board shall be presented with the Final PUD application for all exterior materials on all buildings.
 - C. A 2 or 3 foot high CMU or Brick base should be added along all exterior elevations, except where there are overhead doors.
4. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, Public Works Departments and of the City's Stormwater Consultant.



CITY OF CRYSTAL LAKE DEVELOPMENT APPLICATION

Please type or print legibly

OFFICE USE ONLY
CASE # 2014 13

PROJECT TITLE: Crystal Lake Self Storage

ACTION REQUESTED:

- Annexation
- Comprehensive Plan Amendment
- Final PUD
- Final PUD Amendment
- Final Plat of Subdivision

- Preliminary PUD
- Preliminary Plat of Subdivision
- Special Use Permit
- Variation
- Other

Petitioner Information:

NAME: Teckler Blvd Development Site LLC
c/o Brennon
 ADDRESS: 95 White Bridge Pike, Suite 501
Nashville, TN 37205
 PHONE: 615-417-8081
 E-MAIL: brennon@fitzpatrickinvestments.com

Owner Information:(if different)

NAME: _____
 ADDRESS: _____

 PHONE: _____
 E-MAIL: _____

Property Information:

Project Description: This will be 88,233 gross sf Class A self-storage facility on 4.87 acres featuring drive-in loading bays so that customers can load and unload protected from the elements. Phase I – 40,000 sf climate controlled storage building, retrofit of 5,880 sf existing warehouse building, and 14,950 sf of drive-up self-storage. Phase II – 0.69 acres parking, 4,950 drive-up storage, and 22,440 sf mixed drive-up and interior corridor climate controlled storage. The plan requires a special use permit for a PUD with the following variances: to reduce the distance between the entrance of to the property on Official Rd and the intersection from 60 feet to 40 feet; to reduce the rear yard set back from 20 feet to 10 feet; an increase in the impervious surface coverage from the allowed 70 percent to allow 75%; decrease the front yard setback from 30 feet to 29.9 feet; finally to allow see through 8 foot security fencing along a roadway for the vehicle storage areas and any other variations to allow the project as presented.

Project Address/Location: intersection of Official Road and Teckler Blvd.

PIN Number(s): 19-08 -228-001/ 002/003/004/008/ 012/013

Development Team:

Developer: Brennon Fitzpatrick of Teckler Blvd Development Site LLC 615-417-8081,
brennon@fitzpatrickinvestments.com

Architect: Ed Reitan of Reitan Architects LLC 847-519-1227 ereitan@reitanarchitects.com

Attorney: Joseph Gottemoller of Madsen, Sugden & Gottemoller, (815)459-5152, (FAX 815-459-0290)

Engineer: Jim Condon of J. Condon & Associates, Inc. (815) 728-0068/ jcondon@jcondoninc.com

Landscape Architect: Michelle Kelly, Upland Design Ltd, 815-254-0091, mkelly@uplanddesign.com

Planner: TBD

Surveyor: Jim Condon

Other: _____

Signatures:

As owner of the property in question, I hereby authorize the seeking of the above requested actions.

Brennon Fitzpatrick 3/3/14
OWNER: Print and Sign Name Date

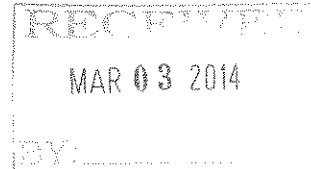
NOTE: If the subject property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter which names all beneficiaries of the trust.

**BEFORE THE PLANNING AND ZONING COMMISSION OF
THE CITY OF CRYSTAL LAKE
MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE PETITION OF)
TECKLER BLVD DEVELOPMENT)
SITE, LLC PETITIONER AND OWNER FOR THE)
APPROVAL A SPECIAL USE PERMIT WITH)
BULK VARIATIONS TO ALLOW A CLIMATE)
CONTROLLED STORAGE FACILITY IN AN)
M MANUFACTURING DISTRICT UNDER)
THE ORDINANCES OF CRYSTAL LAKE)

2014-_____

2014 13



LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Teckler Blvd Development, LLC Petitioner and Owner, for the property commonly known as the Southeast corner of Teckler and Official Road, Crystal Lake, Illinois. The land contains the former site of Black Dot Graphics and includes buildings and parking spaces in its current condition. The Petitioner is seeking to create a two phase commercial storage operation. The first phase will see the construction of a new 40,000 sq foot climate controlled storage building, the retrofitting of a 5880 existing warehouse building and the fencing in of parking lots to allow for 15,125 feet of drive up storage. The second phase would see the addition of a 20,790 square foot interior climate controlled storage facility and an additional 20,790 feet of drive up storage.

The Property index numbers are 19 08 228 001, 19 08 228 002, 19 08 228 003, 19 08 228 004, 19 08 228 005, 19 08 228 006, 19 08 228 007, 19 08 228 008, 19 08 228 012, 19 08 228 013

The petitioner is requesting he special use permit for commercial storage under the Unified Development Ordinance and the following variances: to reduce the distance between the entrance of to the property on Official Rd and the intersection from 60 feet to 40 feet a variation of 20 feet; to reduce the rear yard set back from 20 feet to 10 feet a variation of 10 feet; an increase in the impervious surface coverage from the allowed 70 percent to allow 75% (this is 10 % less than the existing 85% surface coverage existing on the site); finally to allow see through 8 foot security fencing along a roadway for the vehicle storage areas and any other variations to allow the project as presented.

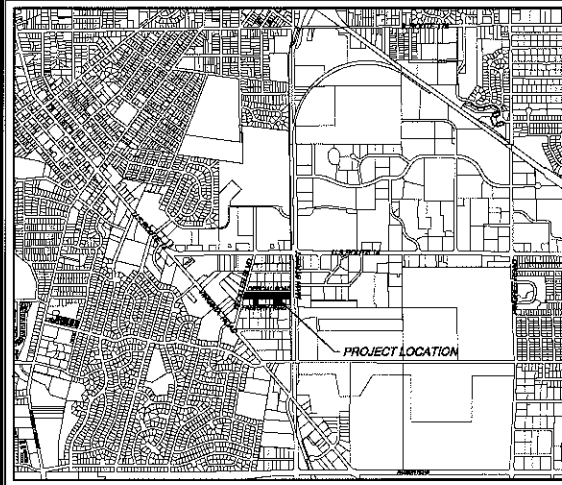
A public hearing before the Planning and Zoning Commission regarding this request will be held at 7:30 p.m. on _____, 2014 at the Crystal Lake City Hall, 100 West Woodstock Street, Crystal Lake at which time and place any person determining to be heard may be present.

Thomas Hayden, Chair
Planning and Zoning Commission, City of Crystal Lake

CRYSTAL LAKE SELF STORAGE

CRYSTAL LAKE, ILLINOIS

PRELIMINARY PUD



LOCATION MAP

SITE DATA TABLE			
Total Area	4.87 ac	212,306 sf	
Proposed Building Area		88,233 sf	
Building Coverage		41.56%	
Impervious Area	Existing	180,570 sf	85.05%
	Proposed	158,933 sf	74.86% *
	* Variance Requested for exceeding allowable 70%		
Setbacks	Required	Proposed	
	Front	30	29.9 *
	Side	15	15
	Rear	20	10 *
			* Variance Requested
Zoned (M) Manufacturing			

J. Condon & Associates, Inc.

5415 BUSINESS PARKWAY
HAWKWOOD, ILLINOIS 60022
P. 630.281.0088

ILL. DESIGN FIRM # 184-006789

TECKLER BLVD DEVELOPMENT
SITE, LLC
NASHVILLE, TENNESSEE



SCALE

1" = 40'

ISSUE DATE

3/3/14

PROJECT MANAGER

JEC

DESIGNER

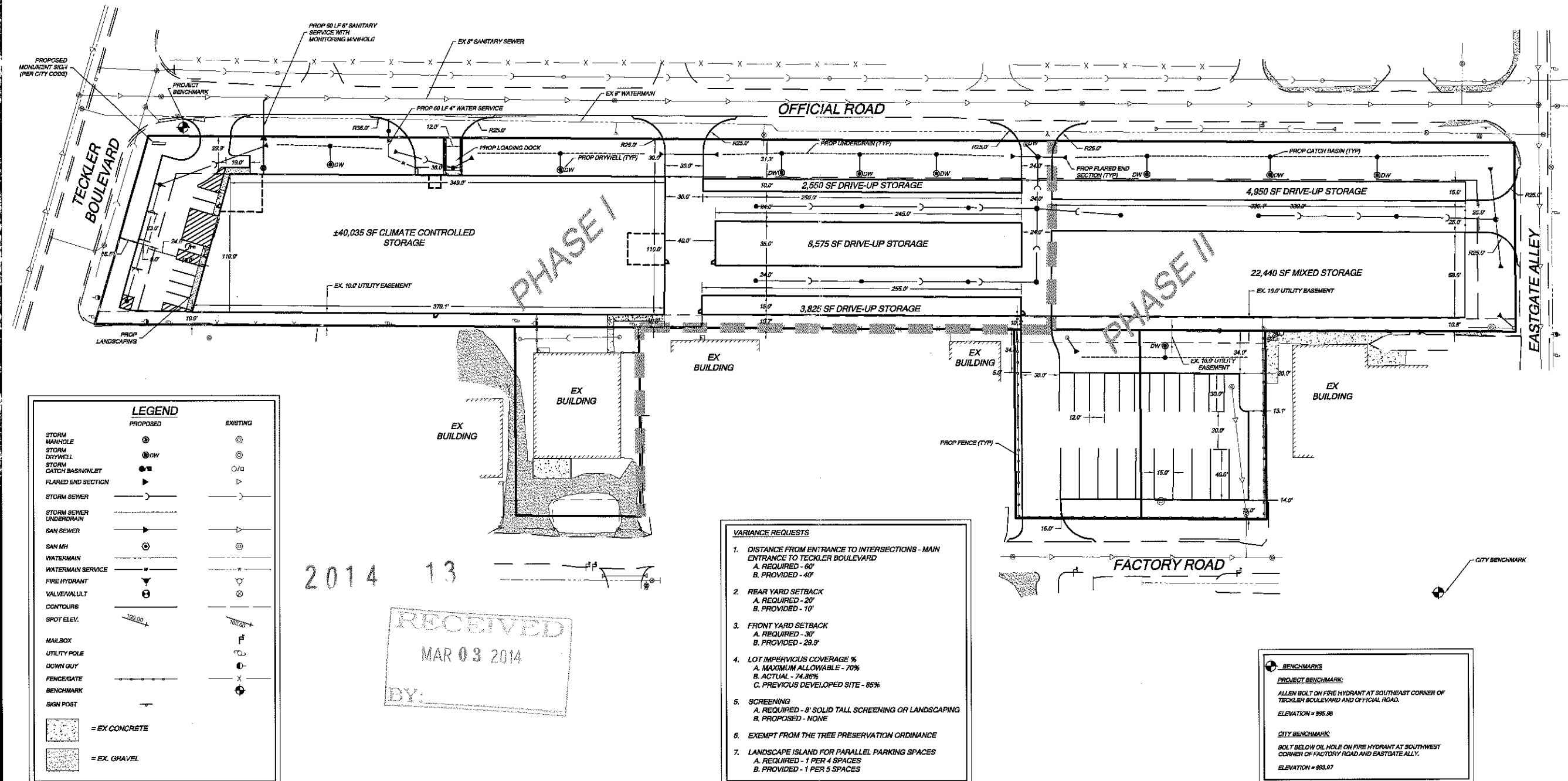
MAM

QUALITY CONTROL

JEC

CRYSTAL LAKE SELF STORAGE

CRYSTAL LAKE, ILLINOIS



LEGEND		
PROPOSED	EXISTING	
STORM MANHOLE	⊙	⊙
STORM DRYWELL	⊙DW	⊙
STORM CATCH BASIN/LET	⊙CB	⊙
CATCH BASIN/LET	⊙CB	⊙
FLARED END SECTION	▶	▶
STORM SEWER	—	—
STORM SEWER UNDERDRAIN	—	—
SAN SEWER	—	—
SAN MH	⊙	⊙
WATERMAIN	—	—
WATERMAIN SERVICE	—	—
FIRE HYDRANT	⊙	⊙
VALVE/WALLT	⊙	⊙
CONTOURS	—	—
SPOT ELEV.	100.00	100.00
MAILBOX	F	F
UTILITY POLE	⊙	⊙
DOWN GUY	⊙	⊙
FENCE/GATE	—	—
BENCHMARK	⊙	⊙
SIGN POST	⊙	⊙
= EX CONCRETE = EX GRAVEL		

2014 13

RECEIVED
MAR 03 2014
BY:

- VARIANCE REQUESTS
- DISTANCE FROM ENTRANCE TO INTERSECTIONS - MAIN ENTRANCE TO TECKLER BOULEVARD
A. REQUIRED - 60'
B. PROVIDED - 40'
 - REAR YARD SETBACK
A. REQUIRED - 20'
B. PROVIDED - 10'
 - FRONT YARD SETBACK
A. REQUIRED - 30'
B. PROVIDED - 29.9'
 - LOT IMPERVIOUS COVERAGE %
A. MAXIMUM ALLOWABLE - 70%
B. ACTUAL - 74.86%
C. PREVIOUSLY DEVELOPED SITE - 85%
 - SCREENING
A. REQUIRED - 8' SOLID TALL SCREENING OR LANDSCAPING
B. PROPOSED - NONE
 - EXEMPT FROM THE TREE PRESERVATION ORDINANCE
 - LANDSCAPE ISLAND FOR PARALLEL PARKING SPACES
A. REQUIRED - 1 PER 4 SPACES
B. PROVIDED - 1 PER 5 SPACES

BENCHMARKS
PROJECT BENCHMARK:
ALLEN BOLT ON FIRE HYDRANT AT SOUTHEAST CORNER OF TECKLER BOULEVARD AND OFFICIAL ROAD.
ELEVATION = 895.96
CITY BENCHMARK:
BOLT BELOW OIL HOLE ON FIRE HYDRANT AT SOUTHWEST CORNER OF FACTORY ROAD AND EASTGATE ALLEY.
ELEVATION = 893.07

NO.	DATE	DESCRIPTION

PROJECT NUMBER
FITZ-13001-2
SHEET TITLE
OVERALL SITE PLAN
SHEET NUMBER

1 OF 4

CRYSTAL LAKE SELF STORAGE

CRYSTAL LAKE, ILLINOIS

PRELIMINARY PUD

J. Condon &
Associates,
Inc.

5415 BUSINESS PARKWAY
RIVERSIDE, ILLINOIS 60072
815.728.0088

IL DESIGN FIRM # 184-006760

TECKLER BLVD
DEVELOPMENT
SITE, LLC
NASHVILLE,
TENNESSEE



SCALE

1" = 20'

ISSUE DATE

3/3/14

PROJECT MANAGER

JEC

DESIGNER

MAM

QUALITY CONTROL

JEC

CRYSTAL LAKE
SELF STORAGE

CRYSTAL LAKE,
ILLINOIS

DESCRIPTION

DATE

NO.

PROJECT NUMBER

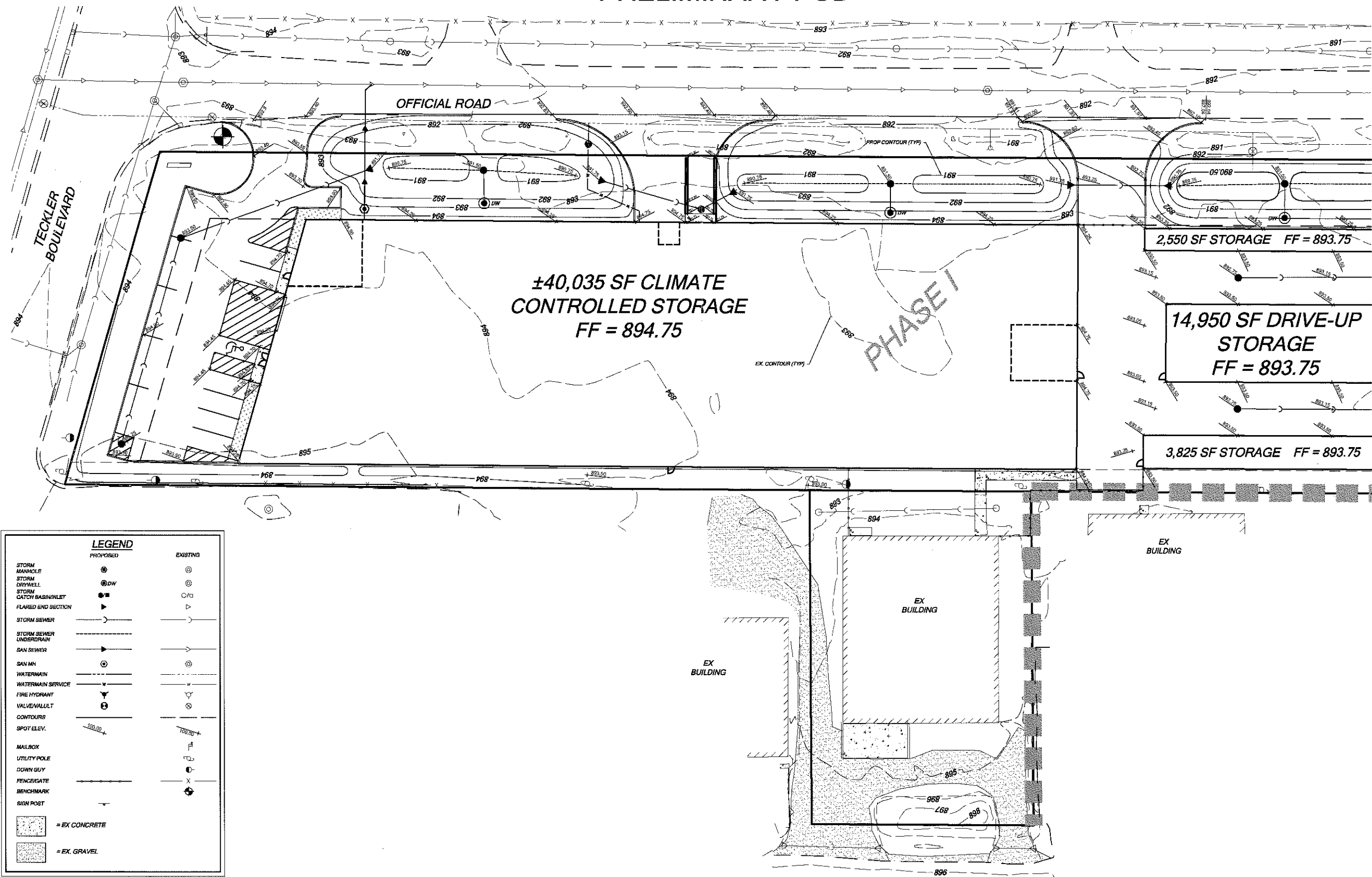
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SHEET TITLE

WEST
GRADING
PLAN

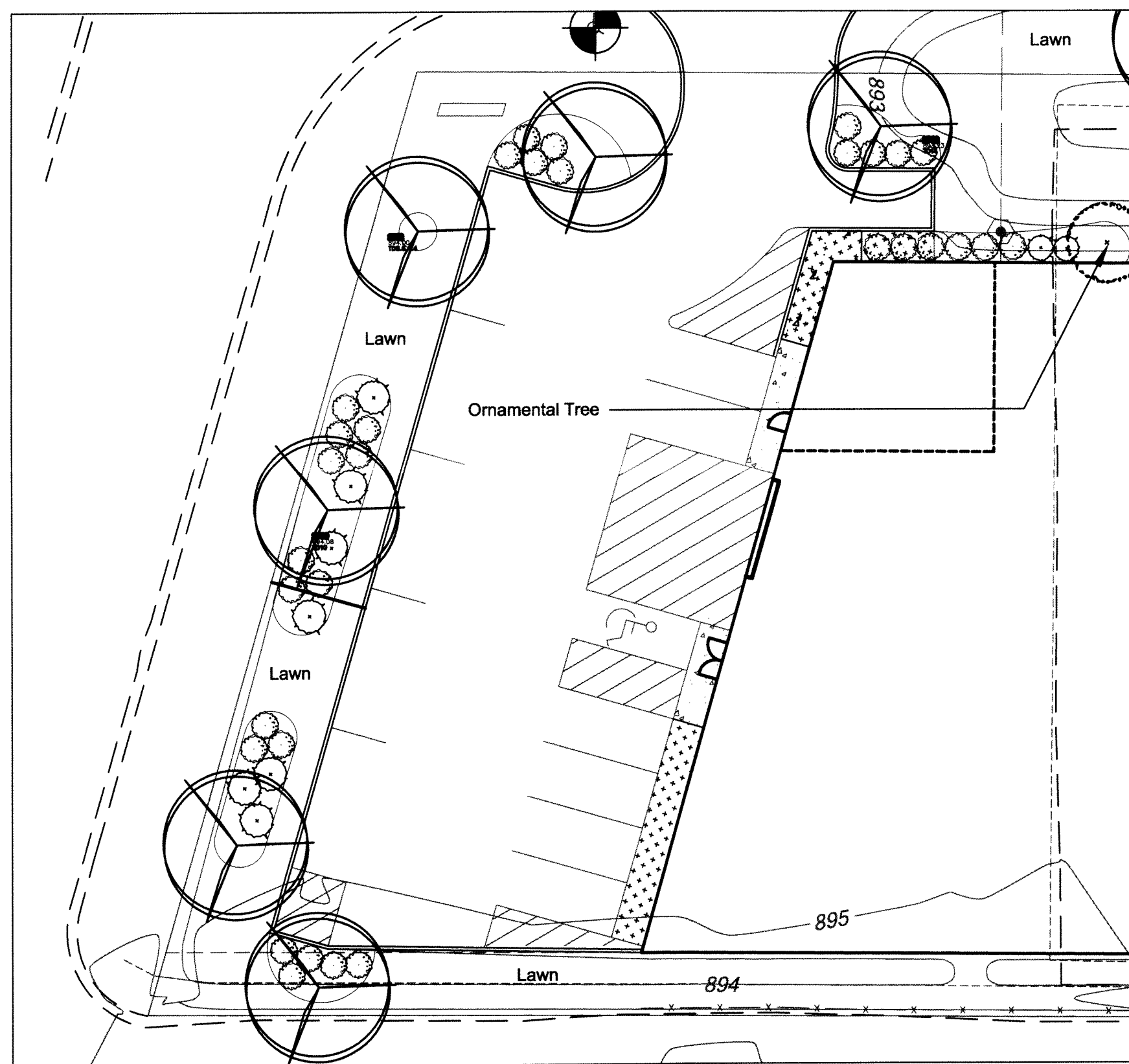
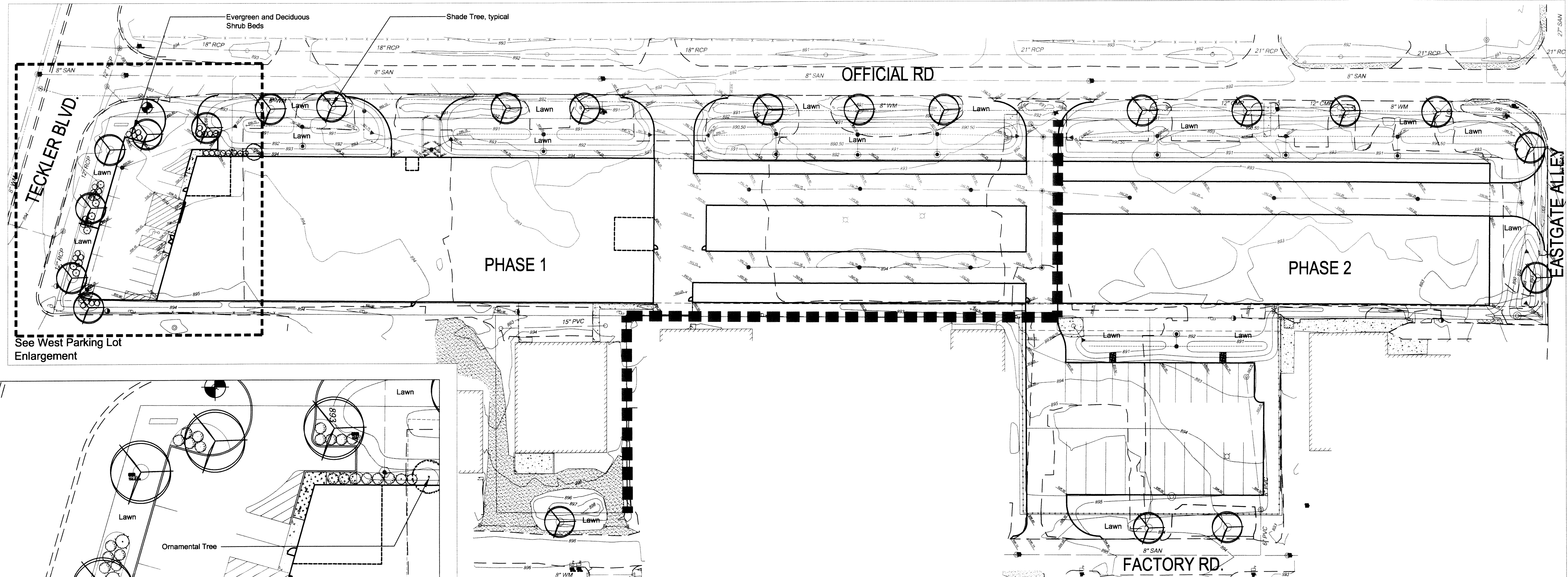
SHEET NUMBER

3 OF 4

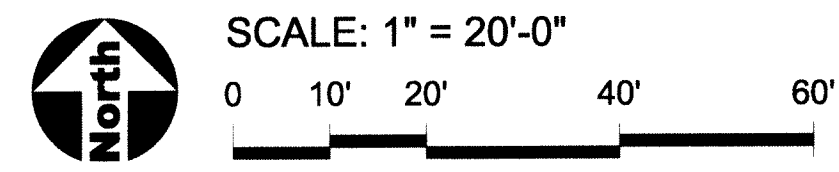


LEGEND	
PROPOSED	EXISTING
STORM MANHOLE	⊙
STORM DRYWELL	⊙DW
STORM CATCH BASIN/LET	⊙CB
FLARED END SECTION	▷
STORM SEWER	—
STORM SEWER UNDERDRAIN	—
SAN SEWER	—
SAN MH	⊙
WATERMAIN	—
WATERMAIN SERVICE	—
FIRE HYDRANT	⊙
VALVE/WALL/T	⊙
CONTOURS	—
SPOT ELEV.	100.00
MAILBOX	⊙
UTILITY POLE	⊙
DOWN GUY	⊙
FENCE/GATE	⊙
BENCHMARK	⊙
SIGN POST	⊙
	= EX CONCRETE
	= EX GRAVEL

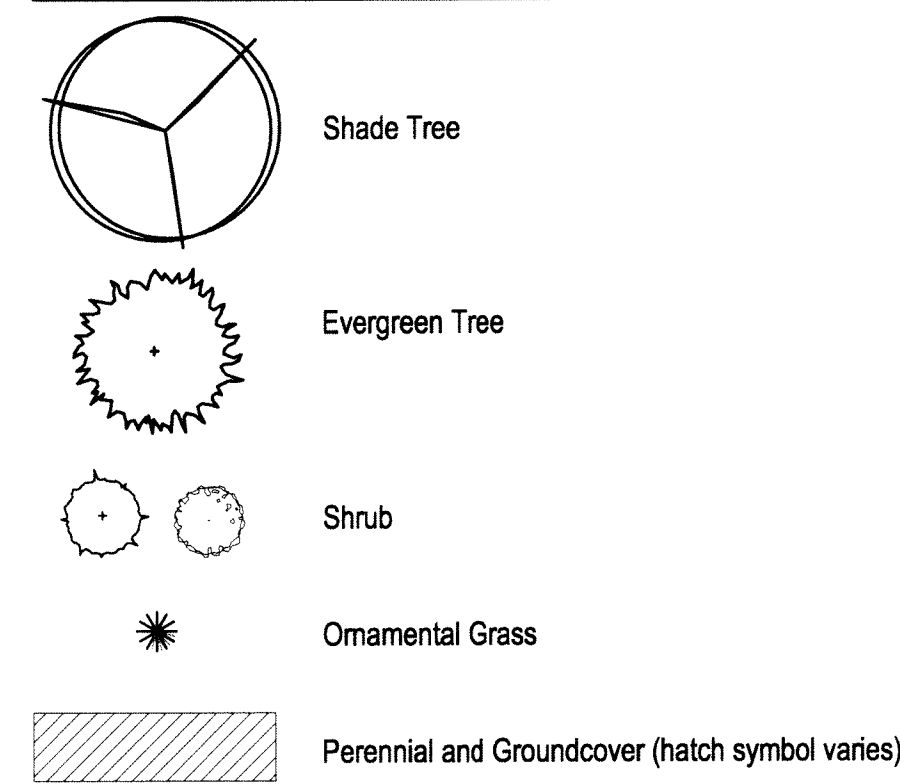
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WEST PARKING ENLARGEMENT



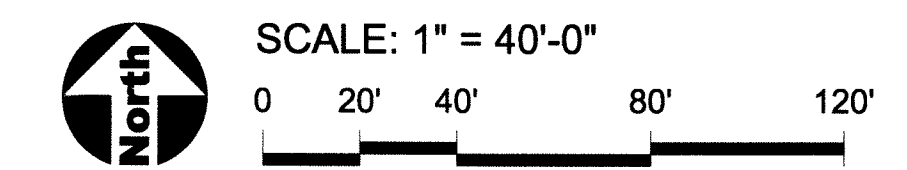
LANDSCAPE LEGEND



GENERAL NOTES: LANDSCAPE

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction. Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- Plants shall be in healthy, vigorous condition, free of dead or broken branches, frost cracks, broken branches, or damage of any kind. Plants shall have a full, even, well developed branching and dense, fibrous, and vigorous root system.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing. In no case shall plant material be smaller than indicated in the plans.
- Planting and seeding shall be under favorable weather conditions, and shall begin after April 1 and complete by June 15, or shall begin after Sept. 1 and complete by Dec. 1.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch. Beds and tree rings (6' diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring. All weeds and their root system shall be removed prior to mulching. Mulch shall not touch bark of tree trunks.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by roto-tilling 2" of Mushroom Compost into new beds.
- Shade trees shall have a clear trunk free of branching to a minimum height of 8'-0". Overall tree height shall be between 12'-14' and no more than 16' in height. Trees shall be balled and burlapped.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification. Turf mixes shall be installed and lawn established at all disturbed areas.
- Contractor shall restore all areas disturbed as a result of construction.

OVERALL LANDSCAPE PLAN



J. Condon & Associates, Inc.

5415 BUSINESS PARKWAY
RINGWOOD, ILLINOIS 60072
815.728.0068
IL DESIGN FIRM # 184-006759

FITZPATRICK INVESTMENTS, LLC

NASHVILLE, TENNESSEE

uplandDesign ltd
Landscape Architecture & Park Planning
564 W Randolph St, Chicago, Illinois 60606
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplandDesign.com

IL DESIGN FIRM # 060-07797

SCALE
1"=40'
ISSUE DATE
3/5/14
PROJECT MANAGER
JEC
DESIGNER
LD
QUALITY CONTROL
MK

OFFICIAL ROAD PROJECT

CRYSTAL LAKE, ILLINOIS

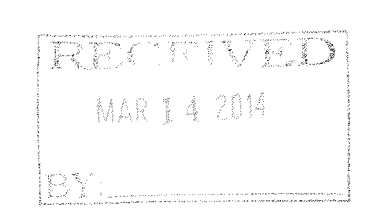
NO.	DATE	DESCRIPTION

PROJECT NUMBER
JOB NUMBER
SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L 100



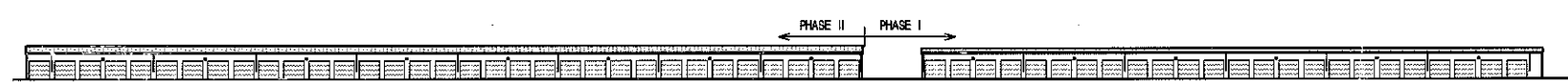
DATE	JANUARY 23, 2014
REVISIONS	07/20/14
	10/28/14
	12/28/14
	03/05/14

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Willey Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 847-519-2277 - FAX 847-519-3347
 Assumed Name No. 184-004063



BUILDING 'G' BUILDING 'F'
 PHASE II - PRELIMINARY
East Elevation
 SCALE: 1/32"=1'-0"

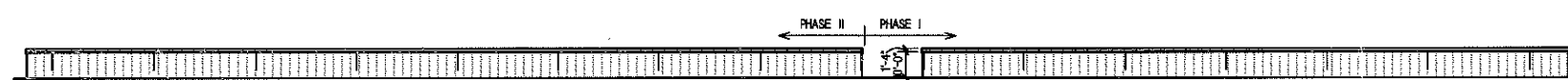


PRELIMINARY
 BUILDING 'G'
North Elevation
 SCALE: 1/32"=1'-0"

PRELIMINARY
 BUILDING 'C'
North Elevation
 SCALE: 1/32"=1'-0"



PRELIMINARY
 BUILDING 'A'
West Elevation
 SCALE: 1/32"=1'-0"



PRELIMINARY
 BUILDING 'F'
North Elevation
 SCALE: 1/32"=1'-0"

PRELIMINARY
 BUILDING 'B'
North Elevation
 SCALE: 1/32"=1'-0"



PRELIMINARY
 BUILDING 'A'
North Elevation
 SCALE: 1/32"=1'-0"

2014 13

RECEIVED
 MAR 03 2014
 BY: _____

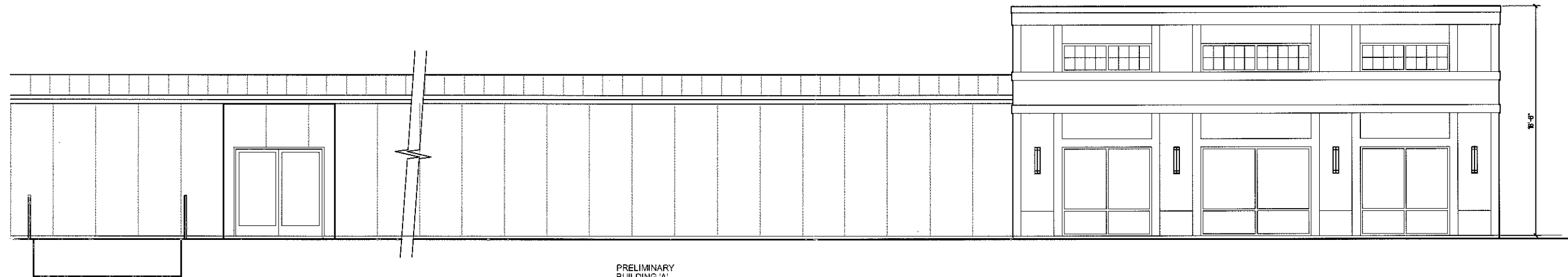
SHEET NAME	PRELIMINARY EXTERIOR ELEVATIONS
SHEET	SK1 OF 3
PROJECT NO.	1402

DATE
FEBRUARY 25, 2014

REVISIONS	DATE

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1225 Wiley Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 817-519-7277 - FAX 817-519-0347
 Assumed Name No. 784-004083



PRELIMINARY
 BUILDING 'A'
 Partial North Elevation
 SCALE: 1/4"=1'-0"

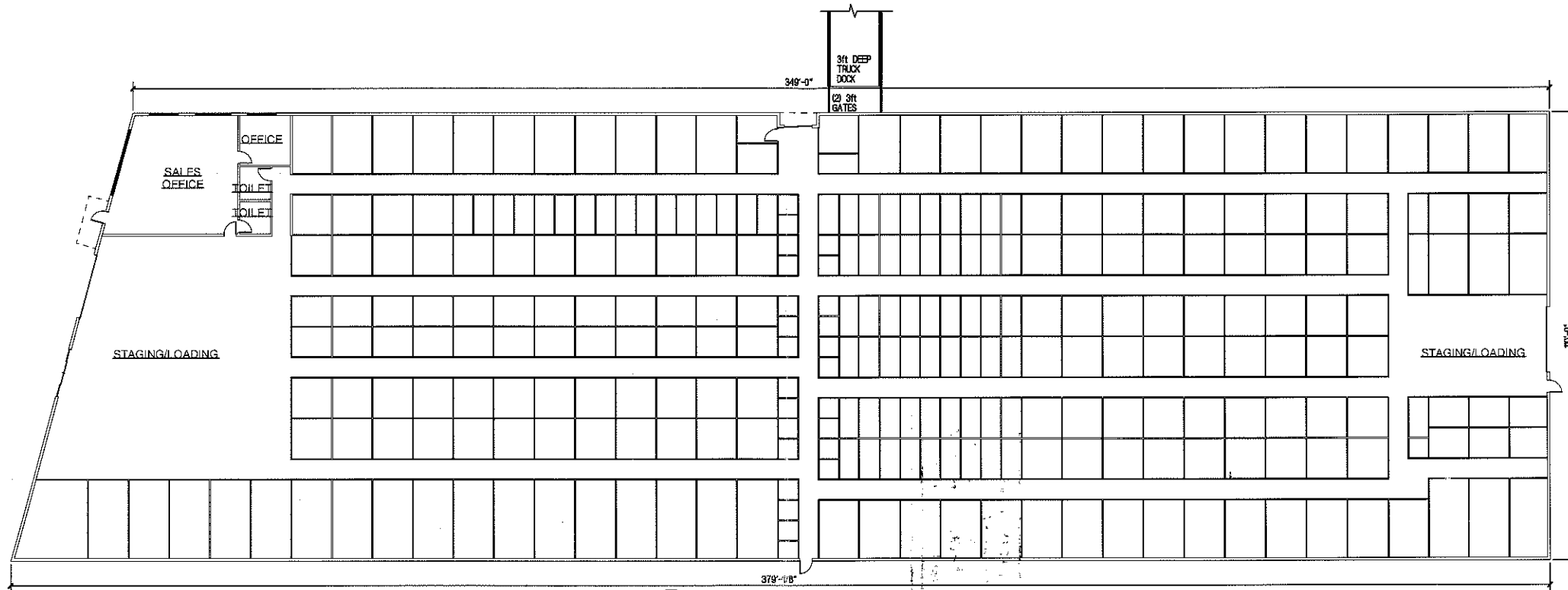


PRELIMINARY
 BUILDING 'A'
 West Elevation
 SCALE: 1/4"=1'-0"

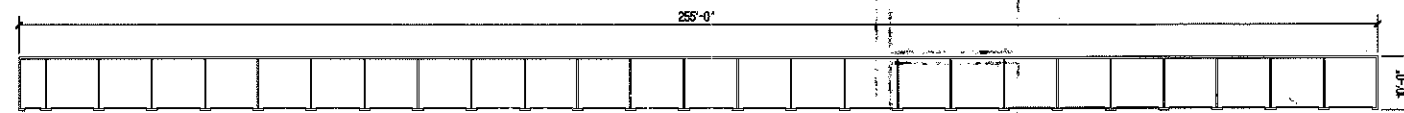
SHEET NAME
 PRELIMINARY
 ENLARGED
 PARTIAL
 ELEVATIONS

SHEET
SK2
 OF 3

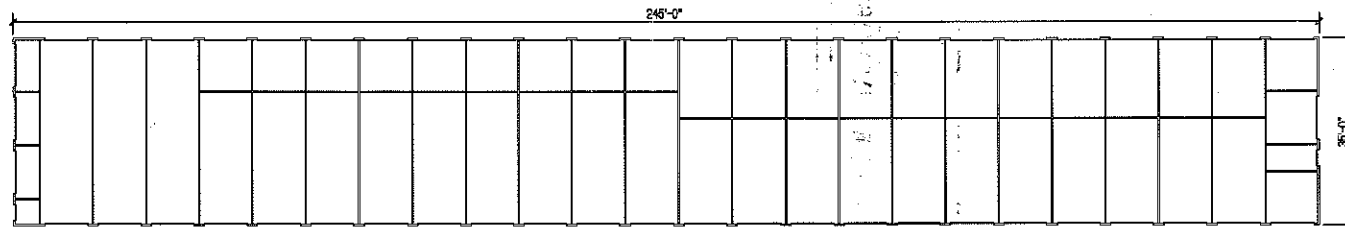
PROJECT NO.
 1402



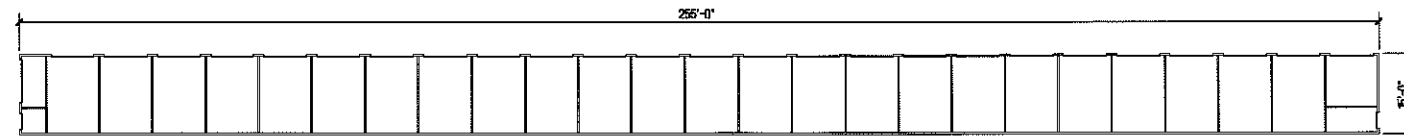
Building 'A' Preliminary Floor Plan
SCALE: 1/16"=1'-0"



Building 'B' Preliminary Floor Plan
SCALE: 1/16"=1'-0"



Building 'C' Preliminary Floor Plan
SCALE: 1/16"=1'-0"



Building 'D' Preliminary Floor Plan
SCALE: 1/16"=1'-0"

DATE	FEBRUARY 25, 2014
REVISIONS	02/27/14
	02/28/14
	02/03/14

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Storage
S.E. CORNER OF:
TECKLER BOULEVARD & OFFICIAL ROAD
CRYSTAL LAKE, ILLINOIS

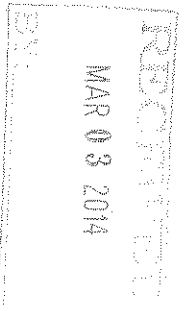
Reitan Architects, LLC.
1325 Wiley Road - Suite 166 - Schaumburg, Illinois 60173
PH. 847-519-0227 - FAX 847-519-0347
Assumed Name No. 784-004053

SHEET NAME
PRELIMINARY
FLOOR PLANS

SHEET
SK3
OF 3

PROJECT NO.
1402

Official Road Project for Fitzpatrick Investments LLC
 Crystal Lake, Illinois



2014

13

Prepared by: Upland Design Ltd
 Landscape Architects

A. Parkway Landscaping

Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
North Side - Official Rd	1093-	1 shade tree per 40'	24	-	-	-
Proposed	drives=959'		24	-	-	-
Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
West Side - Teckler Blvd.	156'	1 shade tree per 40'	4	-	-	-
Proposed			4	-	-	-

Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
South Side-Factory Rd.	300'-	1 shade tree per 40'	6	-	-	-
Proposed	drives=224'		6	-	-	-
Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
East Side - Eastgate Alley	150'-drives=125'	1 shade tree per 40'	4	-	-	-
Proposed			4	-	-	-

West Parking Lot - 12 Cars - Parking Island required every 4 parallel spaces - and an island at each end

B1. Parking Lot Landscaping Interior Landscaping

Location	Parking Spaces	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
Parking Lot - West	12 spaces	Island at Each End - 4 Islands - 1 Shade tree and 5 Shrubs per Island	4	0	0	20
Proposed		Proposed Plantings	4	0	0	20
Location	Parking Spaces	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
Parking Lot - East	23 Spaces	None Required				

B2. Parking Lot Landscaping - Perimeter Landscaping Adjacent to ROW

Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
Parking Lot West - Required.	173	Continuous undulating landscape	5	0	0	varies
Proposed		screen - 15' width min. - 1 shade tree per 40'	5	0	0	46

Location	Distance	Requirement	Shade Trees	Ornamental Tree	Evergreen Trees	Shrubs
Parking Lot East - Require.	150		0	0	0	0
Proposed		None Required	0	0	0	0

B3. Parking Lot Landscaping - Perimeter Landscaping (not adjacent to ROW)

Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
Parking Lot West Required	59		2	0	0	8
Proposed		1 shade tree and 5 shrubs per 40'	2	0	0	8

Location	Distance	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
Parking Lot East - Required	200		0	0	0	0
Proposed		None Required	0	0	0	0

C. Foundation Landscaping

Location	Size	Requirement	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
All Buildings	Teckler Building	5' Width bed all sides of buildings	1	1	0	12

D. General Buffering - Not Required

E. Signs - Landscaping shall be placed at proposed signs

TOTAL ESTIMATED QUANTITIES

	Shade Trees	Orn. Tree	Evergreen Trees	Shrubs
Total Requirements	50	1	0	86
Total Proposed				

