



#2013-40
Three Oaks Recreation Area (Vulkan Cable Park)
– Special Use Permit Amendment
Project Review for Planning and Zoning Commission

Meeting Date: July 16, 2014

Requests:

1. Special Use Permit Amendment to the Three Oaks Recreation Area Special Use to allow a cable wakeboard park.
2. Variation from Article 4-400 F 1 Off-Street Parking and Loading from the requirement to have a landscape island every 10 spaces and end landscape islands

Location: 5517 Northwest Highway

Acreage: approximately 500 acres

Existing Zoning: M Manufacturing

Surrounding Properties:

North:	B-2 General Commercial
South:	M Manufacturing (The Lakehouse and main lake)
East:	R-3B and McHenry County (The Manor)
West:	B-2 PUD General Commercial

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- Three Oaks Recreation Area is the City's premier recreational park, located between Route 14 and Rakow Road, east of Main Street and west of Pingree Road.
- The proposed cable wakeboard park would be constructed on the smaller north lake. This lake is already used for paddle boarding and fishing.

Development Analysis:

General

- **Request:** Special Use Permit Amendment to allow a cable wakeboard park which would tow participants along the cable route.
- **Land Use:** The land use map shows the area as Industry. This land use designation may be considered appropriate for this use.
- **Zoning:** The site is currently zoned M Manufacturing. The City received a Special Use Permit to construct a recreational facility. This request would modify that Special Use Permit to allow the cable wakeboard park.

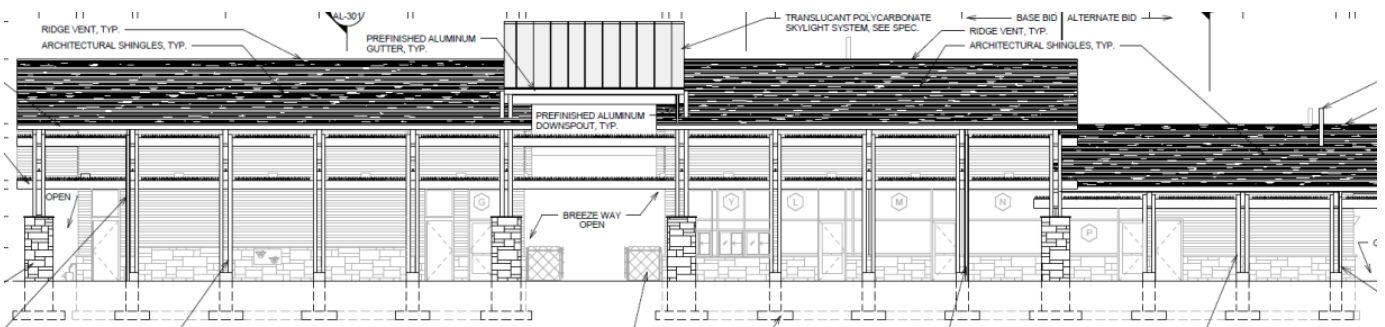
Site Layout

- A new building and 81 space parking lot are planned adjacent to the north lake.
- The new building will have a dining area, outside seating, restrooms and changing area, office space and a retail area.
- A boardwalk is constructed out to the start area for the cable tow.
- The existing crushed limestone path continues around this site. A new sidewalk and board walk are constructed around this building.

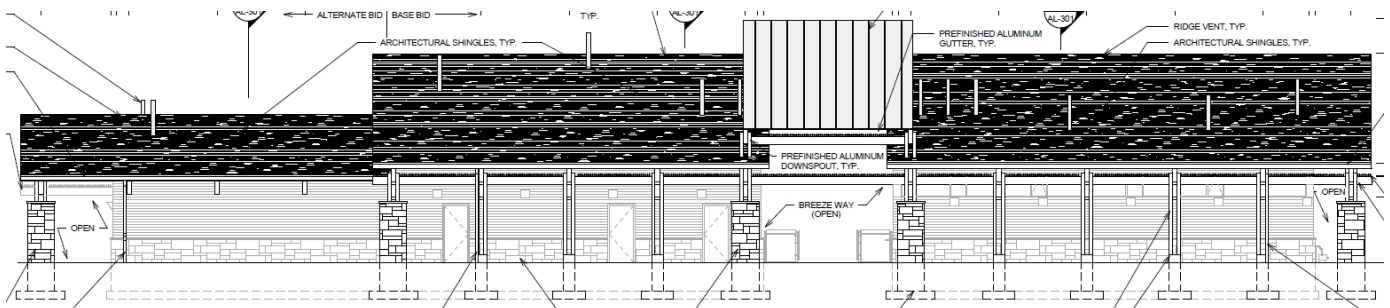
Building Elevations

- The architecture is representative of a chalet with high peaked gable roofs and large window bays.
- The site slopes down toward the lake allowing for a walk-out lower level and balconies overlooking the lake.
- The existing Lakehouse has stained and sealed horizontal cedar siding. The petitioner has met with staff and has agreed to add some horizontal siding sections in addition to the board and batten vertical siding.
- The existing Lakehouse has natural stone veneer around the base in a square/rectangular cut. The petitioner has met with staff and agreed to change the stone from fieldstone to square cut stone.
- The approved existing Lakehouse elevations are illustrated below for reference.

Existing Lakehouse South Elevation



Existing Lakehouse North Elevation



Parking

- The parking lot is heavy duty asphalt with traditional curb and gutter design around the perimeter and landscape islands.

Landscape

- The petitioner has not submitted a complete landscape plan. This is required as part of the building permit submittal.

Tree Removal

- The plans illustrate three trees that would need to be removed to accommodate the new building and parking area.
- City owned property is exempt from the Tree Preservation requirements; however, landscaping and trees will be planted that should off-set the trees to be removed.

Signage

- The petitioner is working with staff on the proposed sign design.

Findings of fact:

SPECIAL USE PERMIT AMENDMENT

The petitioner is requesting approval of a Special Use Permit Amendment for the cable Wakeboard Park. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City.

Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*
5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*

6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*

7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*

8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*

9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*

10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

ZONING ORDINANCE VARIATION

The petitioner is requesting two variations from Article 4-400 F 1 Off-Street Parking and Loading from the requirement to have a landscape island every 10 spaces and end landscape islands.

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.
 Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.
 Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;
 Meets *Does not meet*
- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;
 Meets *Does not meet*
- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or
 Meets *Does not meet*
- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.
 Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

2030 Comprehensive Land Use Plan Review:

The Comprehensive Plan designates the subject property as Industry. More accurately this property falls under Parks and Recreation in the Comprehensive Land Use. The following goal is applicable to this request:

Parks and Recreation – City Facilities

Goal: Enhance the City’s quality of life by providing and maintaining passive and active areas of recreation.

This can be accomplished with the following supporting action:

Supporting Action: Promote Three Oaks Recreation Area as one of the City’s main attractions.

Success Indicator: Creation of recreational programs to meet community needs.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request is made, the following conditions are recommended:

- 1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Civil Plan Set (Hitchcock Design Group, dated 6/13/14, received 06/13/14)
 - B. Architectural Plans (Repholz Design Studio, dated 6/13/14, received 7/3/14)

2. Site and Landscape Plan
 - A. Provide a landscape plan at building permit, which complies with Article 4-400.
 - B. The site and parking lot shall incorporate native landscape materials and incorporate BMPs similar to the current Three Oaks parking lot with rain gardens and bio-swales.
 - C. Sign plans shall be presented to the City for review and approval for the free-standing sign or any wall signs.
3. The elevations shall incorporate design elements from the existing Lakehouse, including, but not limited to, horizontal cedar siding, square cut natural stone, similar column elements and a similar color scheme.
4. Work with staff to ensure noise levels do not exceed 75 dB, to be measured at the front of the lakehouse, unless a separate approval is granted by the City for special events.
5. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, Public Works Departments and of the City's Stormwater Consultant.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLI-
CATION OF Copley/McGinnis Group,
LLC

LEGAL NOTICE

Notice is hereby given in compli-
ance with the Unified Development
Ordinance (UDO) of the City of
Crystal Lake, Illinois, that a public
hearing will be held before the
Planning and Zoning Commission
upon the application of Copley/
McGinnis Group, LLC on behalf of
the City of Crystal Lake relating to
the property commonly known as
5517 Northwest Highway, Crystal
Lake, Illinois 60014.

This application is filed for the
purposes of seeking a Special Use
Permit Amendment per Article 9 of
the UDO to allow a cable wake-
board park, the associated cable
towers, concession/restaurant area
and parking area and a Variation
from, 4-400 F.1 from the require-
ment to have a landscape island
every 10 spaces as well as any
other variations that may be neces-
sary to allow the plans as present-
ed.

A public hearing before the Plan-
ning and Zoning Commission on
the request will be held at 7:30
p.m. on Wednesday, July 2,
2014, at the Crystal Lake City Hall,
100 West Woodstock Street, at
which time and place any person

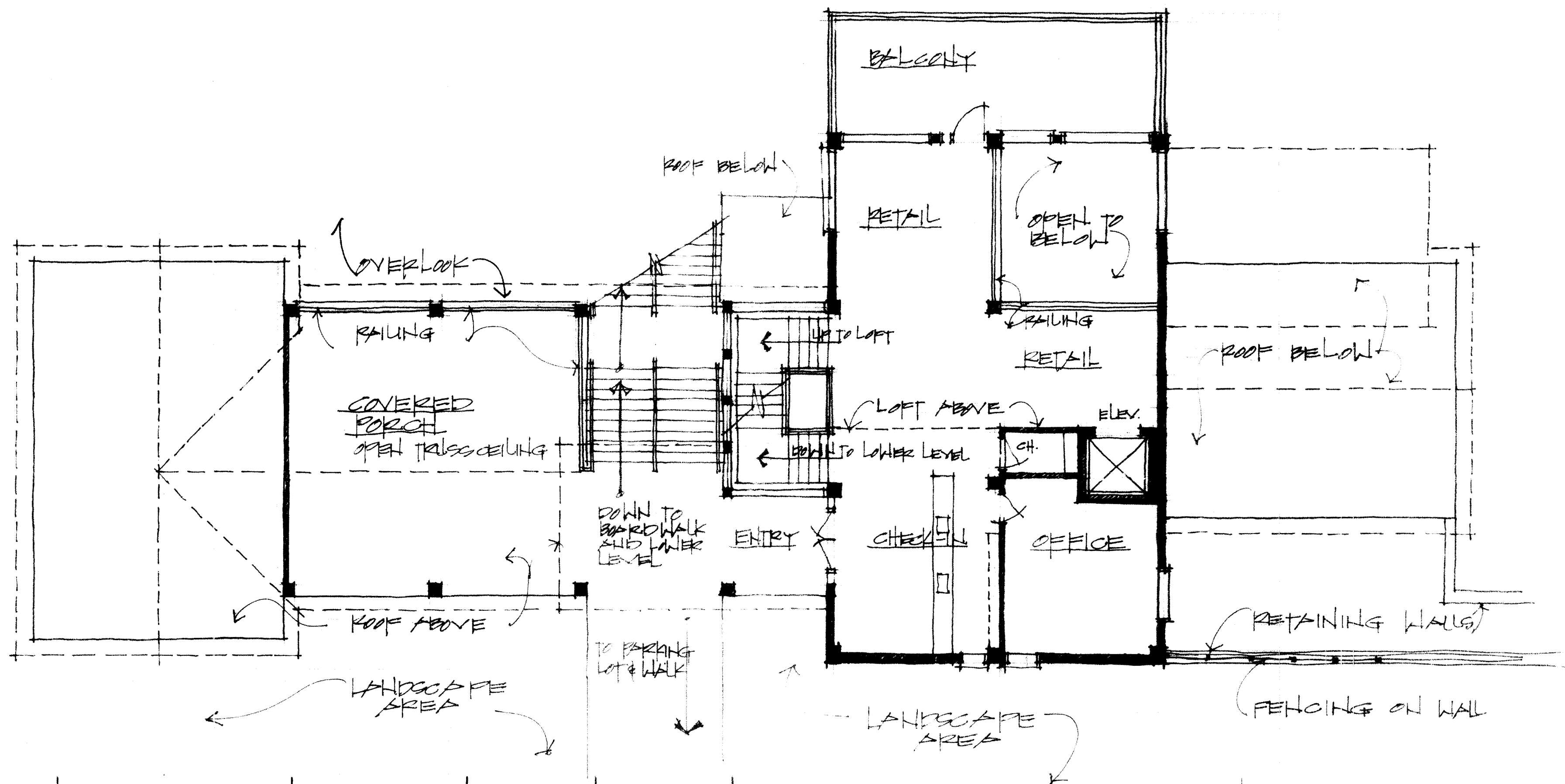
determining to be heard may be
present.

Tom Hayden, Chair
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
June 17, 2014. #A3601)

VULKAN CABLE PARK

AT THREE OAKS RECREATION AREA
CRYSTAL LAKE, ILLINOIS



UPPER LEVEL PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$

REPHOLZ STUDIO

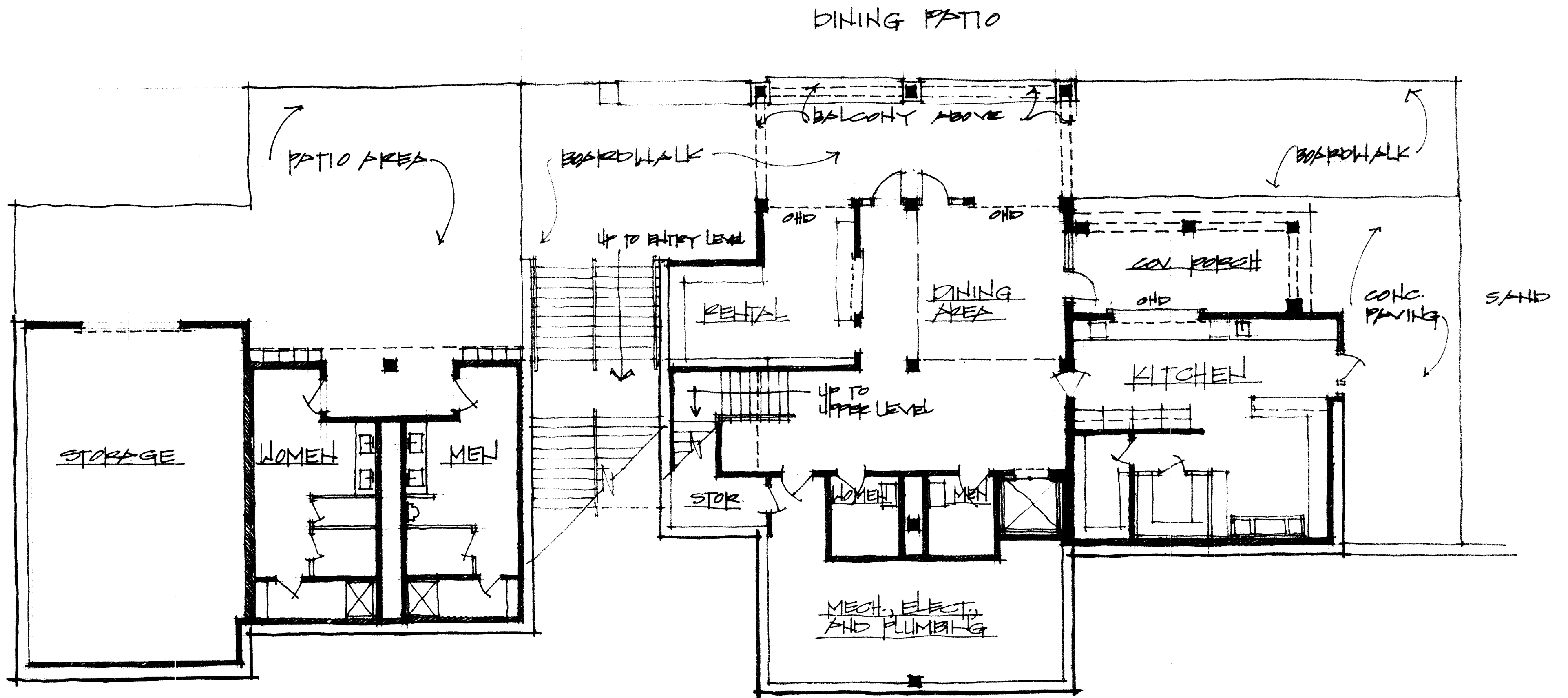
100 NORTH WALKUP AVE.
CRYSTAL LAKE, IL

6-13-14
SH. 1 OF 4

RECEIVED
7/3/14

VULKAN CABLE PARK

AT THREE OAKS RECREATION AREA



LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"

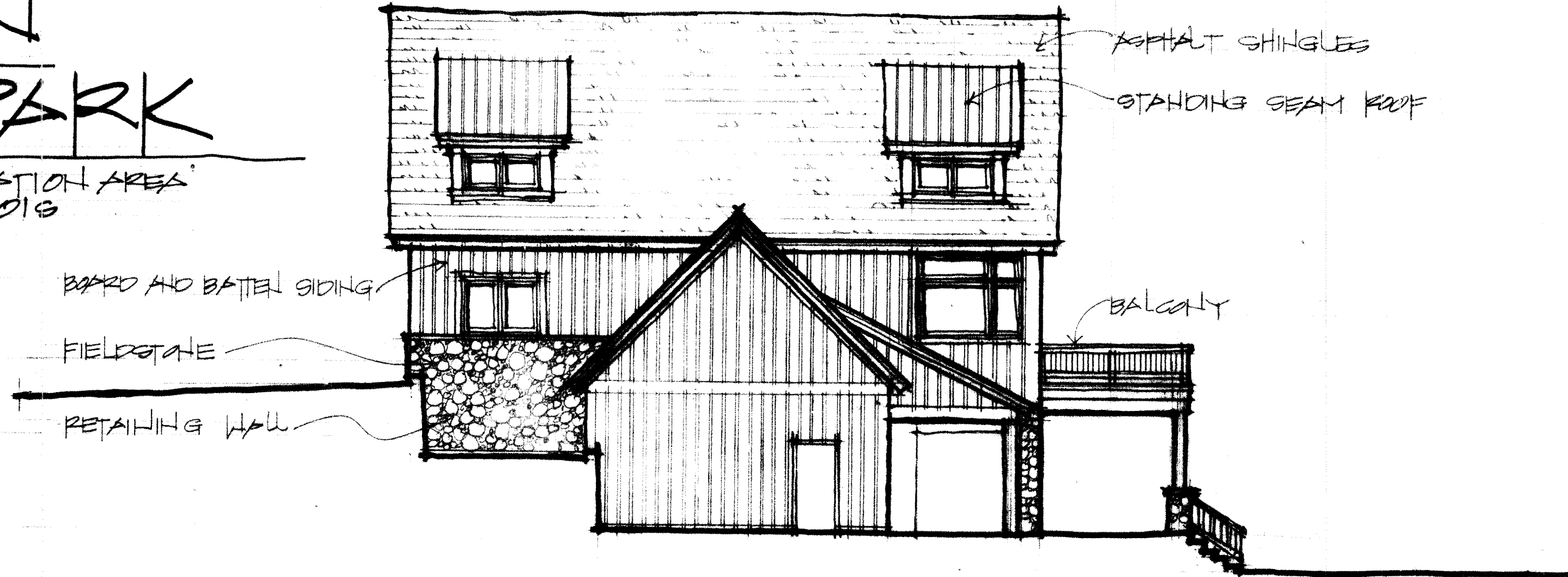
REPHOLZ STUDIO

100 NORTH WALKUP AVE
CRYSTAL LAKE, IL

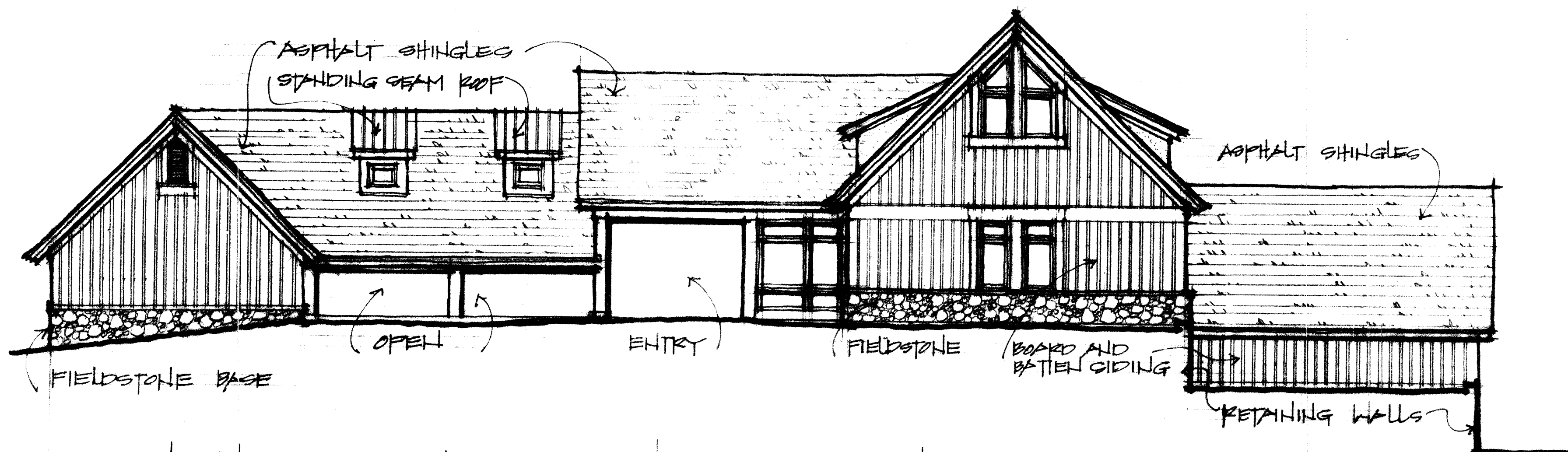
6-13-14
SH. 2 OF 4

VULKAN CABLE PARK

AT THREE OAKS RECREATION AREA
CRYSTAL LAKE, ILLINOIS



WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

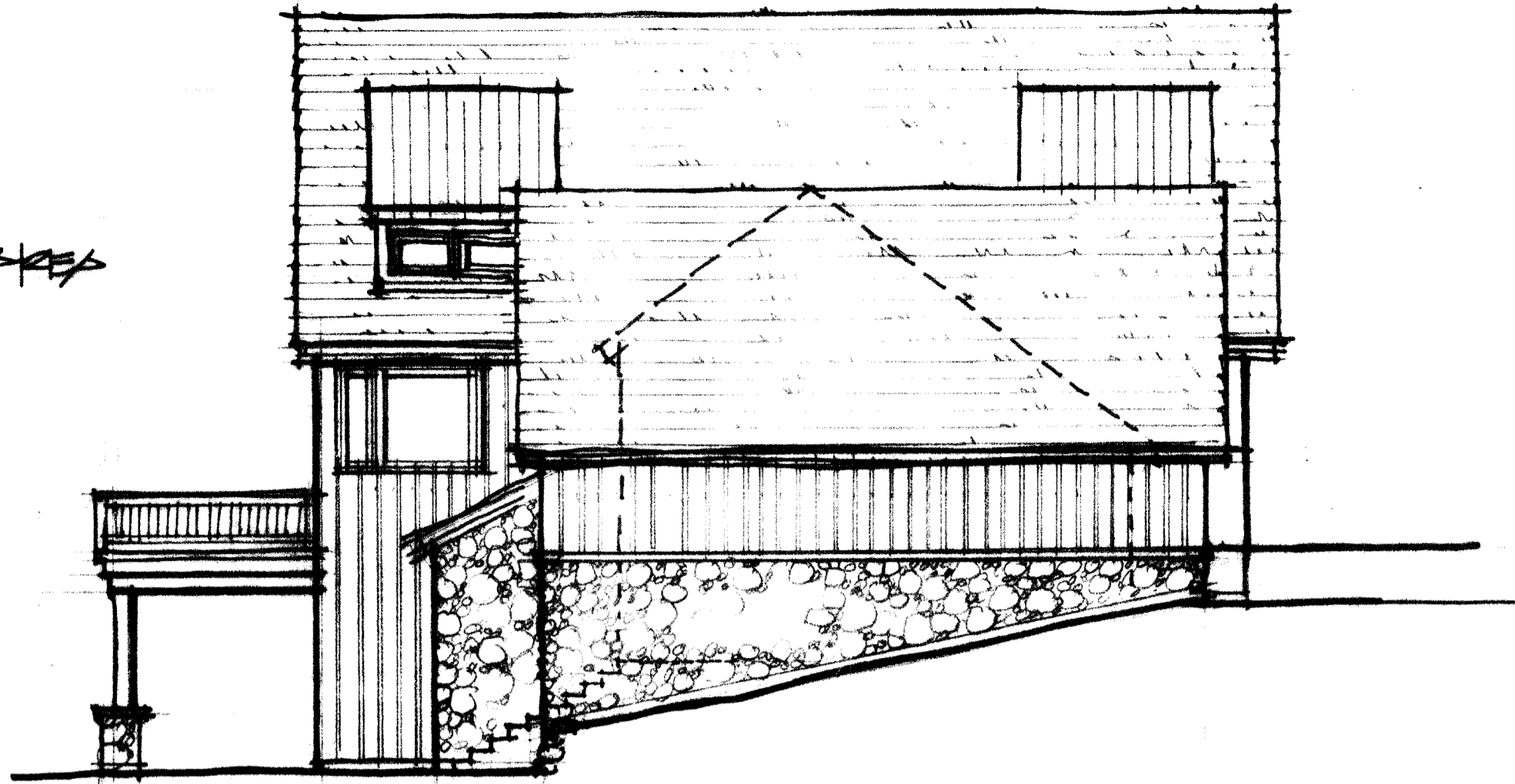


SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

REPHOLZ STUDIO	
100 NORTH WALKUP AVE.	6.13.14
CRYSTAL LAKE, IL	SH. 30/F 4

VULKAN CABLE PARK

AT THREE OAKS RECREATION AREA
CRYSTAL LAKE, ILLINOIS



EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

(ELEVATION SHOWN AT BOARDWALK)

REPHOLZ STUDIO

100 NORTH WALKUP AVE.
CRYSTAL LAKE, ILLINOIS

6.13.14
SH. 4 OF 4



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F 830.951.8925
hitchcockdesigngroup.com

PREPARED FOR
**Copley McGinnis
Group, LLC**
40 Birch Street
Crystal Lake, Illinois 60014

PROJECT
**Crystal Lake
Wakeboard Park**
5517 Northwest Highway
Crystal Lake, Illinois 60014

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T 815.477.1915
Architect
Rehder Studio
100 North
Crystal Lake, Illinois 60014
T 815.455.2388

PROJECT NUMBER
04-1025-001

DATE
JUNE 12, 2014

REVISIONS

No.	Date	Issue

CHECKED BY
SIRK

DRAWN BY
DEU

SHEET TITLE
**Layout & Materials
Plan**

SCALE IN FEET
1" = 4'-0"

0' 20' 40' 120'

SHEET NUMBER
L3.1



LAYOUT AND MATERIALS NOTES

1. Contractor responsible for field layout of all materials. All materials shall be laid out on a level surface. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
2. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
3. Contractor responsible to maintain all lateral slopes along edge of pavement. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
4. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
5. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
6. Contractor to provide layout stakes every 10 feet minimum for larger size rollers and rollers are not necessary.
7. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
8. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
9. Contractor responsible to take delivery, assemble and install all materials and curbs per manufacturer's instructions.
10. Plus curves are separation from the shown on plan and minus curves are shown on plan. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions. All materials shall be laid out in accordance with the manufacturer's instructions.
11. Refer to specifications for additional concrete, curbs and notes.

LAYOUT AND MATERIALS LEGEND

Material	Symbol
Stone Paving	[Symbol]
Asphalt Driveway - Heavy Duty	[Symbol]
Concrete Paving	[Symbol]
Barrel Vault Decking	[Symbol]
Stone Concrete Block Pave	[Symbol]
Grass - 12 inch Depth	[Symbol]





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PREPARED FOR
Copley McGinnis Group, LLC
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PROJECT
Crystal Lake Wakeboard Park
 5517 Northwest Highway
 Crystal Lake, Illinois 60014

CONSULTANTS
 Civil Engineer
 Caltech Engineering, Inc.
 Crystal Lake, Illinois 60014
 T 815.477.1915

Architect
 Reebok Studio
 100 North Walker Avenue
 Crystal Lake, Illinois 60014
 T 815.663.2585

- LAYOUT AND MATERIALS NOTES**
- Contractor responsible for full project E.A. and all expenses. Digital files of concrete information will be provided to contractor. Contractor shall be responsible for all permit fees and for making any necessary adjustments to the work as shown.
 - Contractor responsible to coordinate work in order to obtain all necessary permits. All additional permits will be issued to contractor. Contractor shall be responsible for all permit fees and for making any necessary adjustments to the work as shown.
 - Contractor responsible to include all items on this drawing in the contract. No additional payment will be made to replace items shown.
 - Reinforcing steel shall be placed and every 15 feet on the concrete. Contractor shall be responsible for the design of the concrete and for the placement of the reinforcing steel.
 - All concrete shall be in accordance with the specifications of the Concrete Reinforcing Steel Institute (CRSI).
 - Contractor to provide base for concrete with 12 inch minimum for large areas where work forms are not available.
 - Aggregates to base for concrete to be 3/4 inch maximum size coarse aggregate and 2 inch maximum size fine aggregate. All aggregates and dimensions to be in accordance with the specifications of the Concrete Reinforcing Steel Institute (CRSI).
 - All concrete shall be in accordance with the specifications of the Concrete Reinforcing Steel Institute (CRSI).
 - Contractor responsible to include all items on this drawing in the contract. No additional payment will be made to replace items shown.
 - Contractor responsible to include all items on this drawing in the contract. No additional payment will be made to replace items shown.

LAYOUT AND MATERIALS LEGEND

Expansion Joint	Material
[Symbol]	Stone Slab
[Symbol]	Asphalt Tertiary - Heavy Duty
[Symbol]	Concrete Paving
[Symbol]	Rebar-in-Decking
[Symbol]	Stone Cobble Swatches
[Symbol]	Slope - 2 In. 50:1

PROJECT NUMBER
 04-1025-001

P2 SUBMITTAL
 JUN 14, 2014

REVISIONS

No.	Date	Issue

CHECKED BY
 SHK

DRAWN BY
 DEU

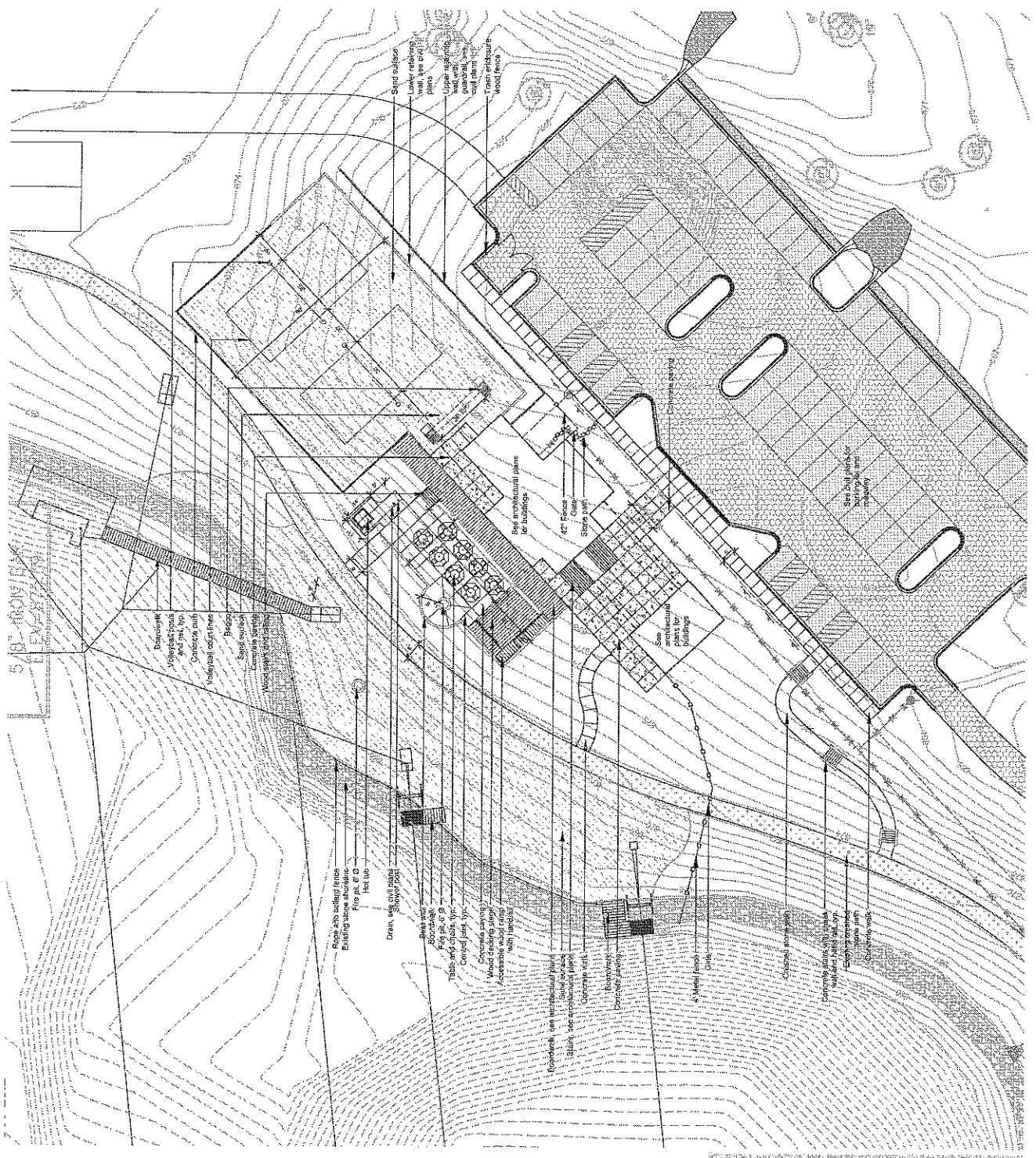
SHEET TITLE
 Layout & Materials Plan

SCALE IN FEET
 1" = 20'

NORTH

SHEET NUMBER
 L3.2

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PROJECT
**Crystal Lake
Wakeboard Park**
5517 Northwest Highway
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Architect
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102 North Whittier Avenue
Crystal Lake, Illinois 60014
T 815.485.2888

PROJECT NUMBER
04-022-001

DATE
JAN 13, 2011

No	Date	Issue

CHECKED BY
SJK

DRAWN BY
DEU

SHEET TITLE
Landscape Plan

SCALE IN FEET
1" = 40'

0 20' 40'

NORTH

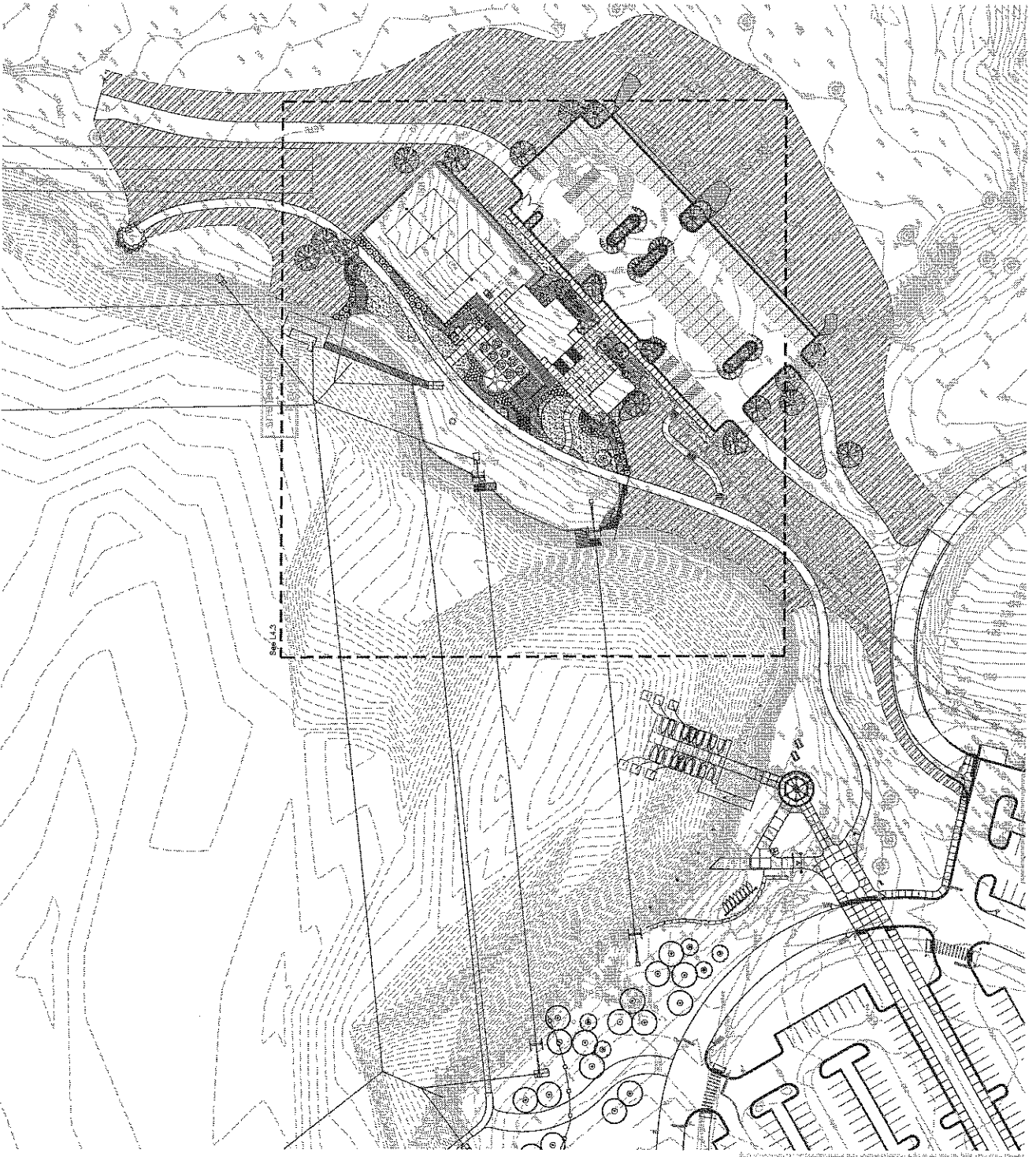
SHEET NUMBER
L4.2

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- LANDSCAPE NOTES**
- Seed limit is approximately 6" to 10" deep, 12" wide.
 - Tree nuclei range in 8" to 12" diameter, 12'.
 - Place erosion control fabric along all slopes greater than 4:1 to 1:1 and as needed.
 - Contractor responsible for erosion control on all seeded and seeded areas.
 - Do not remove plants or trees until they are fully established. Do not remove plants or trees until they are fully established. Do not remove plants or trees until they are fully established.
 - Plants and trees indicated are to be planted in accordance with the schedule of the Owner and functional requirements for the site. Plants and trees indicated are to be planted in accordance with the schedule of the Owner and functional requirements for the site. Plants and trees indicated are to be planted in accordance with the schedule of the Owner and functional requirements for the site.

LANDSCAPE LEGEND

- Blank Tree symbol, See detail for installation.
- General Tree Symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.
- Blank Tree symbol, See detail for Installation.



LANDSCAPE NOTES

1. Seed lists are to approximate. See to lists of grades and elevations.
2. Tree multipliers are P in diameter, 1/2".
3. Plants include crown (bladed) along all slopes greater than 4 to 7 feet of grade.
4. Contractor responsible for special contact in as needed and additional plants.
5. Do not locate plants within 10' of utility structures. Do not locate plants within 10' of utility structures. Do not locate plants within 10' of utility structures.
6. Show plant placement with a minimum 10' spacing unless otherwise noted. For the convenience of the Owner and professional engineers, only one of each plant species should be shown to represent the planting. All necessary plants to complete the work as shown.

LANDSCAPE LEGEND

- Shrub, tree, palm, etc. See detail for installation.
- Charismatic tree, ornamental, etc. See detail for installation.
- Shrub, tropical. See detail for installation.
- Planting. See detail for installation.
- Planting. See detail for installation.
- 5/8"
- Freeze Bed 1/2"
- Native Irrigation level line

PREPARED FOR
Copley McGinnis Group, LLC
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PROJECT
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PROJECT NUMBER 04-1025-601

DATE 12/12/2014

No	Date	Items

REVISIONS

No	Date	Items

CHECKED BY DSU
DRAWN BY DSU
SNK

SHEET TITLE
Landscape Plan

SCALE IN FEET
1" = 20'
0' 10' 20'

SHEET NUMBER
L4.3

North Arrow

