



#2014-33

**Teckler Boulevard Self Storage – Final PUD
Project Review for Planning and Zoning Commission**

Meeting Date: August 6, 2014

Request: Final Planned Unit Development approval for Phase 1 for Teckler Self Storage.

Location: Southeast corner of Teckler Boulevard and Official Road

Acreage: Approximately 4.87 acres

Existing Zoning: M Manufacturing

Surrounding Properties: North: M-PUD Manufacturing
South: M Manufacturing
East: (Across Main Street) B-2 Highway Commercial
West: M Manufacturing

Staff Contact: Elizabeth Maxwell (815.356.3615)

Background:

- This petitioner has purchased 4.87 acres of property which is primarily along Official Road with two lots fronting on Factory Road. The property was the former Black Dot Graphics buildings.
- The project is mini-warehousing/self-storage and would be comprised of 6 new warehouse buildings, an existing warehouse building and an open lot for outside storage of vehicles.
- The project would be constructed in 2 phases. Phase 1 is the 40,035 SF climate control building and office, the existing warehouse building on Factory Road and the three metal drive-up storage buildings at 2,550 SF, 8,575 SF and 3,825 SF. Phase 2 is the 22,440 SF Mixed Storage building, 4,950 SF drive-up storage building and outdoor storage lot.
- The petitioner was previously granted a Special Use Permit that allowed a Preliminary PUD for multiple buildings on a zoning lot, mini-warehousing/self-storage and outside storage. They were also granted variations from the maximum impervious surface limit, the rear yard setback, the front yard setback and the driveway spacing from a public roadway intersection.

Development Analysis:

Land Use/Zoning

- The site is currently zoned M Manufacturing. This is the appropriate zoning district for mini-warehousing/self-storage.
- The land use map shows the area as Industry. This is an appropriate land use designation for mini-warehousing/self-storage.
- The petitioner is requesting a Final PUD approval for Phase 1.

Site Layout

- There are 7 buildings and 1 outside storage lot. The Final PUD is for the existing storage building, the 4 new buildings as part of Phase 1 and the proposed outside storage lot.
- The main driveway is off Official Road into the front office and parking area. There are also three drives off Official Road and one on Eastgate Alley.
- There are three drive-in bays to the climate controlled building allowing customers to pull in and unload with protection from the elements.
- Fire would access the site through the two main drives off Official Road and would not need to drive between the buildings.

Building Elevations

- The buildings are constructed with a metal structure and the exterior is a metal insulated panel. The main body of the building is Rawhide color with a stucco finish and the sides are Spartan Bronze with a stucco finish. Accent colors are also added for the fascia, trim and downspouts.
- The main climate controlled building will have a decorative store-front with EIFS panels, decorative lighting and metal canopy.

Parking

- The project requires 11 spaces and 12 spaces have been provided.

Landscape

- The petitioner has submitted a preliminary landscape plan, which meets the condition to be robust and provide year-round plantings.
- Parkway Trees are shown along Teckler, Official and Eastgate.
- Foundation base landscape is shown around the front of the building as well as some parking lot screening along Teckler Boulevard.

Findings of fact:

Final Planned Unit Development

The petitioner is requesting approval of a Final Planned Unit Development to allow the construction of the mini-warehousing/self-storage in the M zoning district. The Final PUD must

be reviewed against the approved preliminary PUD conditions. The Final PUD is in substantial compliance with the approved preliminary PUD.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Industry, which allows for existing and future manufacturing and light manufacturing uses including storage and warehousing. The following goals are applicable to this request:

Land Use: Industry

Goal: Support manufacturing uses within the community which contribute to the regional and local economy and Crystal Lake’s live, work, play philosophy.

This can be accomplished with the following supporting action:

Supporting Action: Encourage the redevelopment of “brownfield” sites, underused or abandoned manufacturing properties in the City, and reuse already existing structures or daw upon existing infrastructure.

Recommended Conditions:

If a motion to recommend approval of the petitioner’s request for a Final PUD approval for Phase 1 is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. *Application (Teckler Blvd. Development, received XX/XX/XX)*
 - B. Engineering Plan Set (J. Condon & Associates, Inc., dated 07/11/14, received 07/15/14)
 - C. Architectural Plan Set (Reitan Architects, LLC, dated 06/20/14, received 07/15/14)
 - D. Landscape Plan (UplandDesign Ltd. dated 07/14/14, received 07/15/14)
2. All previous conditions as approved in Ordinance #7022 shall remain applicable unless modified by this request.
3. Site and Landscape Plan
 - A. All exterior parking surfaces shall be of an approved dust-proof surface
 - B. A final landscape plan showing quantities shall be provided with the building permit.
4. Elevations
 - A. A sample color and material board shall be presented with the Final PUD application for all exterior materials on all buildings.
 - B. All signage shall meet the requirements in the UDO.
5. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, Public Works Departments and of the City’s Stormwater Consultant.

CITY OF CRYSTAL LAKE DEVELOPMENT APPLICATION

Please type or print legibly

OFFICE USE ONLY
CASE #

PROJECT TITLE: Crystal Lake Self Storage

ACTION REQUESTED:

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input checked="" type="checkbox"/> Final PUD | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information:

NAME: Teckler Blvd Development Site LLC
c/o Brennon
ADDRESS: 95 White Bridge Pike, Suite 501
Nashville, TN 37205
PHONE: 615-417-8081
E-MAIL: brennon@fitzpatrickinvestments.com

Owner Information:(if different)

NAME:
ADDRESS:
-
PHONE: _
E-MAIL:

Property Information:

Project Description: This will be 88,233 gross sf Class A self-storage facility on 4.87 acres featuring drive-in loading bays so that customers can load and unload protected from the elements. Phase I – 40,000 sf climate controlled storage building, retrofit of 5,880 sf existing warehouse building, and 14,950 sf of drive-up self-storage. Phase II – 0.69 acres parking, 4,950 drive-up storage, and 22,440 sf mixed drive-up and interior corridor climate controlled storage. The plan requires a special use permit for a PUD with the following variances which were previously approved at preliminary : to reduce the distance between the entrance of to the property on Official Rd and the intersection from 60 feet to 40 feet; to reduce the rear yard set back from 20 feet to 10 feet; an increase in the impervious surface coverage from the allowed 70 percent to allow 75%; decrease the front yard setback from 30 feet to 29.9 feet; finally to allow see through 8 foot security fencing along a roadway for the vehicle storage areas and any other variations to allow the project as presented.

Project Address/Location: intersection of Official Road and Teckler Blvd.

PIN Number(s): 19-08 -228-001/ 002/003/004/008/ 012/013



Developer: Brennon Fitzpatrick of Teckler Blvd Development Site LLC 615-417-8081,
brennon@fitzpatrickinvestments.com

Architect: Ed Reitan of Reitan Architects LLC 847-519-1227 ereitan@reitanarchitects.com

Attorney: Joseph Gottemoller of Madsen, Sugden & Gottemoller, (815)459-5152, (FAX 815-459-0290)

Engineer: Jim Condon of J. Condon & Associates, Inc. (815) 728-0068/ jcondon@jcondoninc.com

Landscape Architect: Michelle Kelly, Upland Design Ltd. 815-254-0091, mkelly@uplanddesign.com

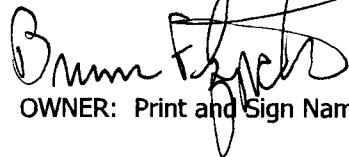
Planner: TBD

Surveyor: Jim Condon

Other:

Signatures:

As owner of the property in question, I hereby authorize the seeking of the above requested actions.

 / Brennon Fitzpatrick
OWNER: Print and Sign Name

7/25/14
Date

NOTE: If the subject property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter which names all beneficiaries of the trust.



**CRYSTAL LAKE PLANNING AND ZONING COMMISSION
SPECIAL MEETING
TUESDAY, MARCH 25, 2014
HELD AT THE CRYSTAL LAKE CITY COUNCIL CHAMBERS**

The meeting was called to order by Chairman Hayden at 7:30 p.m. On roll call, members Batastini, Esposito, Goss, Greenman, Jouron, Skluzacek, and Hayden were present. Mr. Gavle was absent.

James Richter II, Planning and Economic Development Manager, and Latika Bhide, Planner, were present from Staff.

Mr. Hayden asked those in attendance to rise to say the Pledge of Allegiance. He led those in attendance in the Pledge.

Mr. Hayden stated that this meeting was being televised now as well as recorded for future playback on the City's cable station.

2014-13 TECKLER BOULEVARD SELF STORAGE – PUBLIC MEETING

A motion is requested to set a public hearing date of April 2, 2014.

Preliminary PUD, Special Use Permit, and Zoning Variations for a self-storage facility.

Mr. Hayden stated the petitioner is present to request the setting of the public hearing for the next PZC meeting on April 2, 2014.

Joe Gottemoller, attorney, was present to represent the petition. The property is at the corner of Teckler and Official and runs all the way east to Eastgate Alley. He asked if there were any questions, concerns or additional information that the Commissioners wanted for the next meeting which is the public hearing.

There was no one in the public who wished to comment on this petition. The public portion was closed at this time.

Mr. Goss asked if the buildings would front on other streets besides Official. Mr. Gottemoller said yes.

Mr. Batastini asked for a color rendering and more detail of a typical building. Mr. Gottemoller said he would see what he could do. Mr. Batastini said just a little more detail would be helpful. He asked if there would be landscaping. Mr. Gottemoller said yes there is a landscaping plan.

Mr. Greenman asked if the petitioner could be prepared to walk through the variations at the next meeting.

Mr. Goss asked for dimensions of the drive aisles. It seems that some of them don't line up.

Mr. Skluzacek asked if the petitioner had any concerns with the conditions listed in the staff report. Mr. Gottemoller said he doesn't recall any that stand out as major concerns. He said they will review the conditions at the next meeting when the petitioner is here. Mr. Gottemoller said the petitioner is in Tennessee but will attend next week's meeting.

Mr. Batastini moved to set the public hearing for 2014-13 Teckler Boulevard Self Storage to the April 2, 2014 PZC meeting. Mr. Esposito seconded the motion. On roll call, all members voted aye. Motion passed.



CRYSTAL LAKE PLANNING AND ZONING COMMISSION
WEDNESDAY, APRIL 2, 2014
HELD AT THE CRYSTAL LAKE CITY COUNCIL CHAMBERS

The meeting was called to order by Chairman Hayden at 7:30 p.m. On roll call, members Batastini, Esposito, Goss, Jouron, Skluzacek, and Hayden were present. Members Gavle and Greenman were absent.

James Richter II, Planning and Economic Development Manager, Latika Bhide and Elizabeth Maxwell, both Planners, and Rick Paulson, Building Commissioner, were present from Staff.

Mr. Hayden asked those in attendance to rise to say the Pledge of Allegiance. He led those in attendance in the Pledge.

Mr. Hayden stated that this meeting was being televised now as well as recorded for future playback on the City's cable station.

2014-13 TECKLER BOULEVARD SELF STORAGE – PUBLIC HEARING

Preliminary PUD, Special Use Permit, and Zoning Variations for a self-storage facility.

Mr. Hayden stated that the sign had been posted. He said the surrounding property owners were notified and the Certificate of Publication was in the file. Mr. Hayden waived the reading of the legal notice without objection.

Joe Gottemoller, attorney, Brennon Fitzpatrick, petitioner, Jim Condon, engineer, and Ed Reitan, architect, were present to represent the petition. Mr. Gottemoller handed out color renderings of the proposed buildings. Mr. Fitzpatrick said they are a family owned real estate investment company in Tennessee and they own office, apartment, and self storage facilities. He said this is ideal zoning for self storage units and is an appropriate location. Mr. Fitzpatrick said this is a very old area and this will help the area. He said there is a need for climate control storage in the area. One of the buildings you can drive into. There will also be vehicle storage on the property. Mr. Fitzpatrick added that this site is very long and narrow which requires variations.

Mr. Gottemoller said they are requesting a Special Use Permit for storage units and showed an aerial photo of the site showing the approximate building locations. They are not asking for a curb cut on Teckler Boulevard. because of the amount of traffic on that roadway. The entrances will be off of Official. Mr. Gottemoller said the area was originally developed in the County prior to annexing to the City. The rear yard setback was 10 feet. He showed the Preliminary landscape plan. He added that they had brought a sample of the material they are proposing for the building and color samples.

Mr. Gottemoller said they are requesting a variation for impervious surface coverage. The previous

buildings had 85% coverage and this use would be 75% which is slightly higher than allowed by ordinance but it would be lower than what was on the property. They also will need fencing for the vehicle storage area which fronts on Factory Road. They don't want a solid screen because they want the police to be able to see into their property when they drive by.

Mr. Gottemoller said the only condition they have an issue with is the brick for the buildings. He said buildings in this area are mostly metal. Mr. Fitzpatrick said they will be glad to do a tree survey, but he would prefer to put in new trees and landscaping. Mr. Gottemoller said there are very few trees in the entire area.

Phil Murphy, co-owner of The Keep, said he is also Vice President of the National Self Storage Association. When looking through the plans they found several life safety issues including turning into the site for emergency response vehicles. Mr. Gottemoller said the climate controlled building will be sprinklered. Mr. Murphy said the congestion on Official will impact his property. He added that the placement of the buildings is causing the variations. If the buildings met the setback, that would reduce the coverage percentage for the property. Typically facilities such as this can disburse traffic around the property but the aisles won't allow that. Mr. Murphy showed photos of existing storage buildings that are metal and are rusting. His buildings are block and don't look like they are 40 years old. He said the petitioner will need to resize the RV parking area since there is no turn-around room. Also, there is no place to put the snow.

Jack Murphy, co-owner of The Keep, said this project has many fire safety and traffic issues. The design of the project is the reasons for the variations.

There was no one else in the public who wished to comment on this petition. The public portion was closed at this time.

Ms. Maxwell said the Fire Department reviewed the plans and they did not have any concerns with the layout or being able to enter/exit with their equipment.

Mr. Gottemoller said he offered to meet with the owners of The Keep after the special PZC meeting on March 25th but they declined. There won't be any semi pulling into the site off Official, but if there is they would go to the back side and pull straight in. Also, the locations of their entrances on Official are across the street from existing entrances. As for the Fire Department equipment, the sprinkler will kick in prior to any emergency equipment arriving at the site.

Mr. Gottemoller showed an aerial photo of the area showing the rear setbacks of the buildings that back up to this property. There is only one that is larger than 10 feet and that is the building on the corner of Teckler and Factory. He said the drive aisles are 24 feet wide, which is the standard lane width. Mr. Fitzpatrick said they have superior access to the sites. They have 3 independent access points. Mr. Gottemoller said the parking area for the RVs and boats will not be striped. He said they put the lines on the plan so they could see approximately how many vehicles would be able to be parked there. He added

that narrowing the building will not solve the impervious coverage percentage. Mr. Gottemoller said this use will not impact the very little traffic that is on Official. If it is needed, there is parking allowed on that street.

Mr. Gottemoller showed photos of the fencing that is used at The Keep which is similar to the type of fencing they want for this site. It is secure, but the police have the ability to see into the site. He showed photos of the properties in the area showing no landscaping or trees on the sites.

Mr. Gottemoller said this area is appropriate for this type of use. He reviewed the standards in the staff report. The redevelopment of this property may help property values in the area as well as spur other development. There won't be a high demand for City utilities on this site. Mr. Gottemoller said the standards for a PUD are mostly for residential development – not commercial. He added that a block building is not as well insulated and it doesn't make sense to have a block building.

Mr. Goss asked about the detention area and how deep it will be. Mr. Condon said it will be 2 to 3 feet deep and they will use the depressed area next to the road even though they are not required to provide detention. Mr. Goss asked about the size of the drive aisles. Mr. Gottemoller said they are between 24 feet and 33 feet wide. Mr. Goss asked about the size of the storage units in the buildings. Mr. Fitzpatrick said they will be 10 feet x 10 feet, 35 feet x 10 feet, and 15 feet x 10 feet. He added that cars can pull into the building up to a loading dock. Mr. Goss asked about the outdoor storage of RVs, etc. Mr. Fitzpatrick said they will mostly be RVs and boats but there could be some cars and trucks.

Mr. Esposito asked how they will keep the building from rusting. Mr. Fitzpatrick said they will maintain the buildings. Mr. Esposito said this is better than what was there previously. Mr. Reitan showed a sample of the panel material and color samples. He said a block building will not meet the energy code. The material they are proposing meets the wind load of 90 mph. If a panel becomes damaged, it can be replaced. Mr. Reitan said the product is very stiff and well insulated.

Mr. Batastini said he fully supports this request. It is a good place for it. The buildings have very long walls. Mr. Gottemoller said there will be landscaped to break it up. Mr. Batastini is concerned with the long-term maintenance of the landscaping. Mr. Gottemoller said a block building doesn't give them the "R"-rating they need and there will still be a long wall.

Mr. Hayden asked if the buildings were single story. Mr. Fitzpatrick said yes. Mr. Hayden said some of the elevations seem like there is a second story. Mr. Reitan said that is for the office and the area where the trucks are backing up to use the loading dock. Mr. Hayden asked if there is more demand for climate control units. Mr. Fitzpatrick said they ask the client if the items they wish to store there would be ok if stored in their garage; if yes – they won't need the climate control, and if no – they will need the climate control.

Mr. Hayden asked about restrictions for what is being stored in the units. Mr. Fitzpatrick said it is listed in the lease. Mr. Gottemoller said there are security cameras in place. Mr. Fitzpatrick said there is only

so far a landlord can go. Mr. Hayden asked if there will be floor drainage if vehicles are stored there. Mr. Gottemoller said the required codes will be addressed. Mr. Paulson said under the Fire Code only a certain amount of fuel may be in the vehicle. The Building Code requires triple basins for drainage after a certain square footage and these units don't meet that required size.

Mr. Jouron asked if the petitioner could break up the buildings' long walls by using the colors that will be on the building elsewhere. Mr. Gottemoller said they will use landscaping to break up the buildings' long walls. Mr. Reitan said it is difficult to add color areas to the panels.

Mr. Batastini moved to approve the Special Use Permit to allow a Preliminary PUD for multiple buildings on a zoning lot, for mini-warehousing/self-storage and for outside storage; and Variations from: A. Section 3-200B Density and Dimensional Standards to allow 75% impervious surface from the permitted 70%, a variation of 5%; B. Section 3-200B Density and Dimensional Standards to allow a 10-foot rear yard setback from the required 20-foot setback, a variation of 10 feet.; C. Section 3-200B Density and Dimensional Standards to allow a 29 feet 9 inch front yard setback from the required 30-foot setback, a variation of 3 inches; D. Section A-400C Access Management Manual to allow the driveways off Official Road and Eastgate Alley to be closer than 60 feet from the edge of the intersecting right-of-way; and E. Section A-400F Access Management Manual to allow driveways wider than 36 feet for Teckler Self Storage located at the southeast corner of Teckler Boulevard and Official Road with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:

- A. Application (Teckler Blvd. Development, received 03/03/14)
- B. ALTA Survey (Webster, McGrath & Aglberg Ltd., dated 4/18/13, received 30/03/14)
- C. Engineering Plan Set (J. Condon & Associates, Inc., dated 03/03/14, received 03/03/14)
- D. Preliminary Engineering Report (J. Condon & Associates, Inc., dated 03/03/14, received 03/03/14)
- E. Architectural Plan Set (Reitan Architects, LLC, dated 03/03/14, received 03/03/14)
- F. Landscape Plan (UplandDesign Ltd. dated 03/05/14, received 03/14/14)

2. Site and Landscape Plan

- A. If this property requires any tree removal, ~~the petitioner shall provide a tree inventory, protection plan and removal calculations which meet Article 4-300 of the UDO~~ **the petitioner shall work with staff and remain within the required calculations in the UDO.**
- B. Additional building foundation landscaping is required to meet the UDO standards.
- C. Work with staff on the final landscape plan, additional landscape materials may be added to the detention areas, to the front parking area, around the free-standing sign and along Eastgate Alley.
- D. Relocate fire hydrant from entrance driveway.
- E. The final landscape plan shall be robust and include year-round plantings to break up the building mass.**

3. Elevations

A. Thought should be given how to soften and enhance the Eastgate Alley elevation (East Elevation) as this is adjacent to the Prairie Trail and Main Street.

B. A sample color and material board shall be presented with the Final PUD application for all exterior materials on all buildings.

~~C. A 2 or 3 foot high CMU or Brick base should be added along all exterior elevations, except where there are overhead doors.~~

4. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, Public Works Departments and of the City's Stormwater Consultant.

Mr. Goss seconded the motion. On roll call, all members voted aye. Motion passed.

Mr. Hayden asked that the new documents be reviewed by the Fire Department.

assistance from the City when she had to excavate her sewer line under Barlina Road and the City Council had not granted her request. Councilwoman Ferguson stated that she appreciated this business, but under the current grant program stipulations, their request did not meet the criteria.

Mayor Shepley, saying that he was playing "devil's advocate", surmised that the overall purpose of the grant program was to attract and retain businesses because the Council recognized that businesses were a critical component of the City, and that the City did not have a resident retention grant program. Councilwoman Ferguson stated that she could see the difference, but the request still did not meet the grant criteria, and she suggested the possibility of exploring other means of assistance.

Mayor Shepley stated that he was in favor of granting the request, and although he agreed that the Council needed to be careful about setting a precedent, he felt this situation was unique, although maybe not strictly what had been envisioned when the grant program was established, but the overall premise fit squarely within what the City had designed the grant program to do. He stated that 1776's sewer failure had been a devastating event for them, and it had not been caused by them but possibly was associated with the heavy equipment used in the recent upgrade of Route 14. He stated that no matter the cause, 1776 was a longstanding business in Crystal Lake and they had chosen to stay open despite some financial hardship, and he did not see the difference between the grant program funding the provision of new jobs or keeping already existing jobs. He stated that he felt this was a very unique situation and granting the request would not set a precedent.

Councilwoman Brady Mueller noted that 1776 had received a \$5,000 grant in March of 2010 and the program includes a prohibition from reapplying for ten years. She questioned if the grant were approved, should they be prohibited for applying for 20 years? Mayor Shepley again stated that he felt this was a very unique situation. Councilman Thorsen stated that the Council had created the grant program with the vision of encouraging existing businesses to stay in Crystal Lake and new businesses to locate here, and he felt this request did meet the spirit of the program and he was in full support of it. Councilman Hubbard stated that although he had not been a part of creating the program, he agreed that the request was in the spirit of the program's intent. Councilman Hopkins agreed, stating that the request had met 8 of the 10 criteria and the purpose of the grant program was to retain businesses.

Councilwoman Brady Mueller moved to approve the Grant Agreement with Andy Andresky and to award \$5,000 in grant funding for property enhancements. Councilman Thorsen seconded the motion. On roll call, Councilmembers Brady Mueller, Hopkins, Hubbard, Thorsen and Mayor Shepley voted yes. Councilmembers Dawson and Ferguson voted no. Motion passed.

Councilman Dawson commented that he felt this action had "painted with too big of a brush" and would come back to "bite" the City.

➔ **17. Teckler Boulevard Self Storage, Teckler Boulevard and Official Road – Special Use Permit to allow a Preliminary Planned Unit Development for multiple buildings on a zoning lot, for mini-warehousing/self-storage and for outside storage; Variation from the permitted 70% impervious surface to allow 75% impervious surface; Variation from the**

required 20-foot rear yard setback to allow a 10-foot rear yard setback; Variation from the required 30-foot front yard setback to allow a 29 ft. 9 in. front yard setback; Variation from Section A-400C Access Management Manual to allow the driveways off Official Road and Eastgate Alley to be closer than 60 feet from the edge of the intersecting right-of-way; and Variation from Section A-400F Access Management Manual to allow driveways wider than 36 feet.

Brennon Fitzpatrick, the petitioner, and Joseph Gottemoller, attorney, were present for the matter. Also present were Jim Condon, the project engineer and Ed Reitan, the architect.

Mayor Shepley noted that this petition had received a unanimous recommendation for approval from the Planning and Zoning Commission. Mr. Gottemoller stated that they were in full agreement with the Planning and Zoning Commission's recommended conditions.

Mayor Shepley asked if anyone in the audience wished to speak on the matter.

Philip Murphy, co-owner of The Keep, a storage facility located at 7209 Teckler Boulevard, stated that he objected to the use of metal for the buildings, saying that it easily rusts and deteriorates. He stated that his facility and others in the City had been required to have masonry structures, which he stated hold up much better.

Planning and Economic Development Manager James Richter II advised that staff had recommended a 2-3 foot masonry base on the buildings, but the Planning and Zoning Commission had preferred landscaping which would grow to greater heights. Mr. Gottemoller urged the Council to consider that Mr. Murphy was a competitor located across the street and that he had not mentioned the building materials at the Planning and Zoning Commission meeting. He stated that the Crystal Lake Fire Rescue Department had not objected to the metal buildings and he felt it made more sense to landscape rather than add the 2 or 3 foot masonry base. He stated that they had decided to install the garage doors to the inside of the property, resulting in bare walls on the outside, which would look much better with landscaping than a horizontal base of masonry and that the Planning and Zoning Commission had agreed.

Councilwoman Brady Mueller asked if they could have masonry plus the landscaping, and Mr. Richter stated that they could. Councilwoman Brady Mueller asked if the addition of the masonry base would result in a sturdier and longer-lasting building, and Mr. Richter stated that from a maintenance perspective, it was possible that lawnmowers could chip the metal surface of the building. Councilman Dawson stated that metal buildings adhered to Code and could be insulated without a lot of additional expense.

Councilman Dawson expressed concern that there would be enough area for water retention in the swale, stating that he had never seen a property as large as this without a retention area. Jim Condon, the project engineer, stated that the City's engineering consultants had advised that the swale would be sufficient because this development was replacing a previously impervious building. He stated that they were improving the property from what had been there previously. Councilman Dawson stated that this area feeds directly to the Three Oaks Recreation Area and he wanted to be certain there was adequate retention. Abby Wilgreen, the City Engineer, confirmed that Mr. Condon had coordinated directly with the City's stormwater consultant. Mr. Richter stated that the impervious area had been reduced by 10%, which would also help with

stormwater management.

Councilman Hopkins asked for a presentation on the proposed materials and colors. Ed Reitan, the architect, presented elevations and colors. He stated that EIFS, an insulated stucco-like panel would be used in four colors. Councilman Thorsen asked if the Planning and Zoning Commission had been aware of the proposed materials and colors of the buildings, and Director of Community Development Michelle Rentzsch stated that they were. Mr. Wright stated that they had chosen the four colors to break up the appearance of the long building from the roadway. Councilman Hopkins asked how close the landscaping would be to the building, and Mr. Gottemoller stated that it would be located between the road and the building, noting that some of that area was in the swale so it would vary, but it would comply with City requirements. He also stated that this area was zoned for manufacturing, did not back up to a residential area, was in an old section of the City originally developed in the County, and that Factory Road to the south does not even have water and sewer. Mayor Shepley stated that the only main road in the area was Main Street, which was located across Eastgate and the railroad tracks. Councilman Hopkins stated that he understood that, but felt that didn't mean the building could not be dressed up.

Councilman Hubbard stated that he had no problem with not requiring masonry. Councilman Thorsen agreed. Mayor Shepley stated that the biggest factor for him was that this is a storage facility and he has never seen one that is great looking. He stated that as long as it was secure and did not become unsightly, he did not have a problem with it. He stated that Teckler Boulevard was not a gateway road and he was more concerned about what could be seen from Main Street. Mr. Gottemoller stated that the bottom 3 or 4 feet of the building would not be seen from Main Street. Mayor Shepley stated that he did not have a preference regarding the masonry base or landscaping and the building was so tucked away that no one would be conscious of it unless they were going there to store something. Councilwoman Brady Mueller asked if having the masonry base would make the building less likely to rust, and Mr. Richter stated that it would not. Councilwoman Brady Mueller recounted a bad experience she had with a metal storage facility that had rusted and stated that she was much happier using a masonry storage facility, but if having a masonry base would have no effect on that, she did not feel there was a need to require it. Mayor Shepley stated that the market would determine if the metal buildings would succeed.

Councilman Hopkins moved to approve the Planning and Zoning Commission recommendations and to adopt an Ordinance granting a Special Use Permit and Preliminary Planned Unit Development with variations for Teckler Boulevard Self Storage at Teckler Boulevard and Official Road. Councilman Thorsen seconded the motion.

Councilman Dawson stated that the property was previously a hodgepodge and the petitioner had proposed a presentable package. He complimented them on improving the area, but stated that he would have preferred a manufacturing use for the property.

On roll call, all voted yes. Motion passed.

18. 175 and 179 Edgewater – Simplified Residential Variation to allow an open “wrought iron” style 4-foot fence in the front yard setback for lakefront houses.

Michael Rumford and Robert Buelow, the homeowners of 175 and 179 Edgewater Drive



AN ORDINANCE GRANTING A SPECIAL USE PERMIT
AND VARIATIONS
FOR TECKLER BOULEVARD SELF STORAGE

WHEREAS, pursuant to the terms of the Petition (File #2014-13) before the Crystal Lake Planning and Zoning Commission, the Petitioner has requested a Special Use Permit to allow Preliminary Planned Unit Development for multiple buildings on a zoning lot, for mini-warehousing/self-storage and for outside storage; and Variations from: A. Section 3-200B Density and Dimensional Standards to allow 75% impervious surface from the permitted 70%, a variation of 5%; B. Section 3-200B Density and Dimensional Standards to allow a 10-foot rear yard setback from the required 20-foot setback, a variation of 10 feet.; C. Section 3-200B Density and Dimensional Standards to allow a 29 feet 9 inch front yard setback from the required 30-foot setback, a variation of 3 inches; D. Section A-400C Access Management Manual to allow the driveways off Official Road and Eastgate Alley to be closer than 60 feet from the edge of the intersecting right-of-way; and E. Section A-400F Access Management Manual to allow driveways wider than 36 feet for Teckler Self Storage located at the southeast corner of Teckler Boulevard and Official Road; and

WHEREAS, the required hearings were held on the petition of the property owners in the manner and the form required by the Unified Development Ordinance of the City of Crystal Lake and the statutes of the State of Illinois; and

WHEREAS, it is in the best interests of the City of Crystal Lake that the Final Planned Unit Development be granted as requested in said Petition,

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF CRYSTAL LAKE, McHENRY COUNTY, ILLINOIS, as follows:

SECTION I: That a Special Use Permit to allow Preliminary Planned Unit Development for multiple buildings on a zoning lot, for mini-warehousing/self-storage and for outside storage; and Variations from: A. Section 3-200B Density and Dimensional Standards to allow 75% impervious surface from the permitted 70%, a variation of 5%; B. Section 3-200B Density and Dimensional Standards to allow a 10-foot rear yard setback from the required 20-foot setback, a variation of 10 feet.; C. Section 3-200B Density and Dimensional Standards to allow a 29 feet 9 inch front yard setback from the required 30-foot setback, a variation of 3 inches; D. Section A-400C Access Management Manual to allow the driveways off Official Road and Eastgate Alley to be closer than

60 feet from the edge of the intersecting right-of-way; and E. Section A-400F Access Management Manual to allow driveways wider than 36 feet for Teckler Self Storage located at the southeast corner of Teckler Boulevard and Official Road (19-08-228-001, -002, -003, -004, -008, -012, and -013), Crystal Lake, Illinois.

SECTION II: That the Preliminary Planned Unit Development be granted with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Teckler Blvd. Development, received 03/03/14)
 - B. ALTA Survey (Webster, McGrath & Aglberg Ltd., dated 4/18/13, received 30/03/14)
 - C. Engineering Plan Set (J. Condon & Associates, Inc., dated 03/03/14, received 03/03/14)
 - D. Preliminary Engineering Report (J. Condon & Associates, Inc., dated 03/03/14, received 03/03/14)
 - E. Architectural Plan Set (Reitan Architects, LLC, dated 03/03/14, received 03/03/14)
 - F. Landscape Plan (UplandDesign Ltd. dated 03/05/14, received 03/14/14)

2. Site and Landscape Plan
 - A. If this property requires any tree removal, the petitioner shall work with staff and remain within the required calculations in the UDO.
 - B. Additional building foundation landscaping is required to meet the UDO standards.
 - C. Work with staff on the final landscape plan, additional landscape materials may be added to the detention areas, to the front parking area, around the free-standing sign and along Eastgate Alley.
 - D. Relocate fire hydrant from entrance driveway.
 - E. The final landscape plan shall be robust and include year-round plantings to break up the building mass.

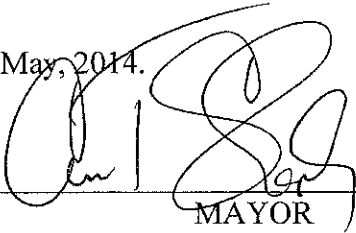
3. Elevations
 - A. Thought should be given how to soften and enhance the Eastgate Alley elevation (East Elevation) as this is adjacent to the Prairie Trail and Main Street.
 - B. A sample color and material board shall be presented with the Final PUD application for all exterior materials on all buildings.

4. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, Public Works Departments and of the City's Stormwater Consultant.

SECTION III: That the City Clerk be and is hereby directed to amend the official zoning map of the City of Crystal Lake and all pertinent records of the City of Crystal Lake to show the granting of Variations in accordance with the provisions of this Ordinance, as provided by law.


SECTION IV: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

DATED at Crystal Lake, Illinois, this 6th day of May, 2014.



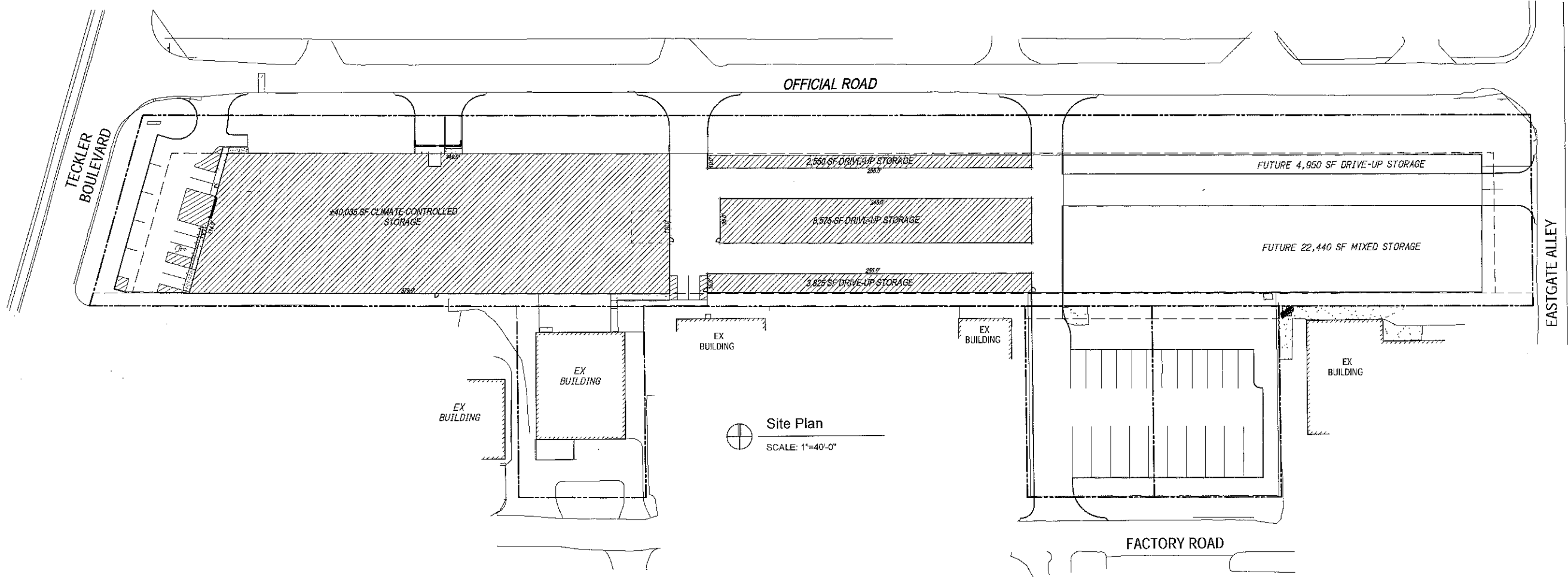
MAYOR

ATTEST:



CITY CLERK

Published in pamphlet form by the authority of the Mayor and City Council of the City of Crystal Lake.



DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Willey Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 847-519-2277 - FAX 847-519-0347
 Assumed Name No. 784-004083

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

2014 33
 RECEIVED
 JUL 15 2014

THIS SET OF PLANS IS THE PROPERTY OF REITAN ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF REITAN ARCHITECTS, LLC.

SHEET NAME
 SITE PLAN

SHEET
ST1
 OF 2

PROJECT NO.
 1402

DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Willey Road - Suite 86 - Schaumburg, Illinois 60173
 PH. 847-518-1227 - FAX 847-518-0347
 Assumed Name No. 184-004083

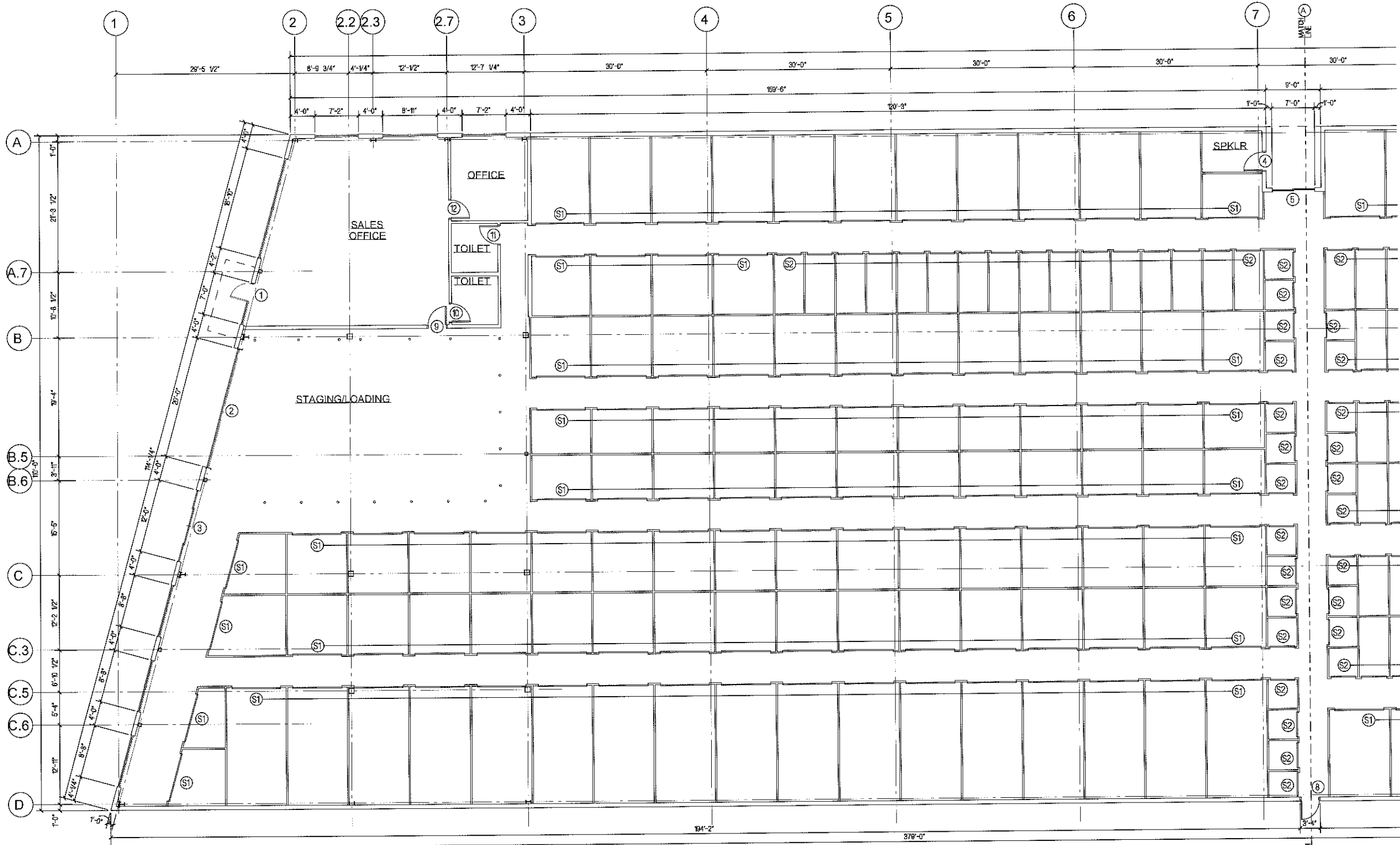
THIS IS TO BE THE FINAL SET OF PLANS FOR THE PROJECT. ANY CHANGES TO THE SET OF PLANS MUST BE APPROVED BY THE ARCHITECT AND ENGINEER BEFORE CONSTRUCTION BEGINS.

SHEET NAME
 BUILDING 'A'
 PARTIAL
 FLOOR PLAN

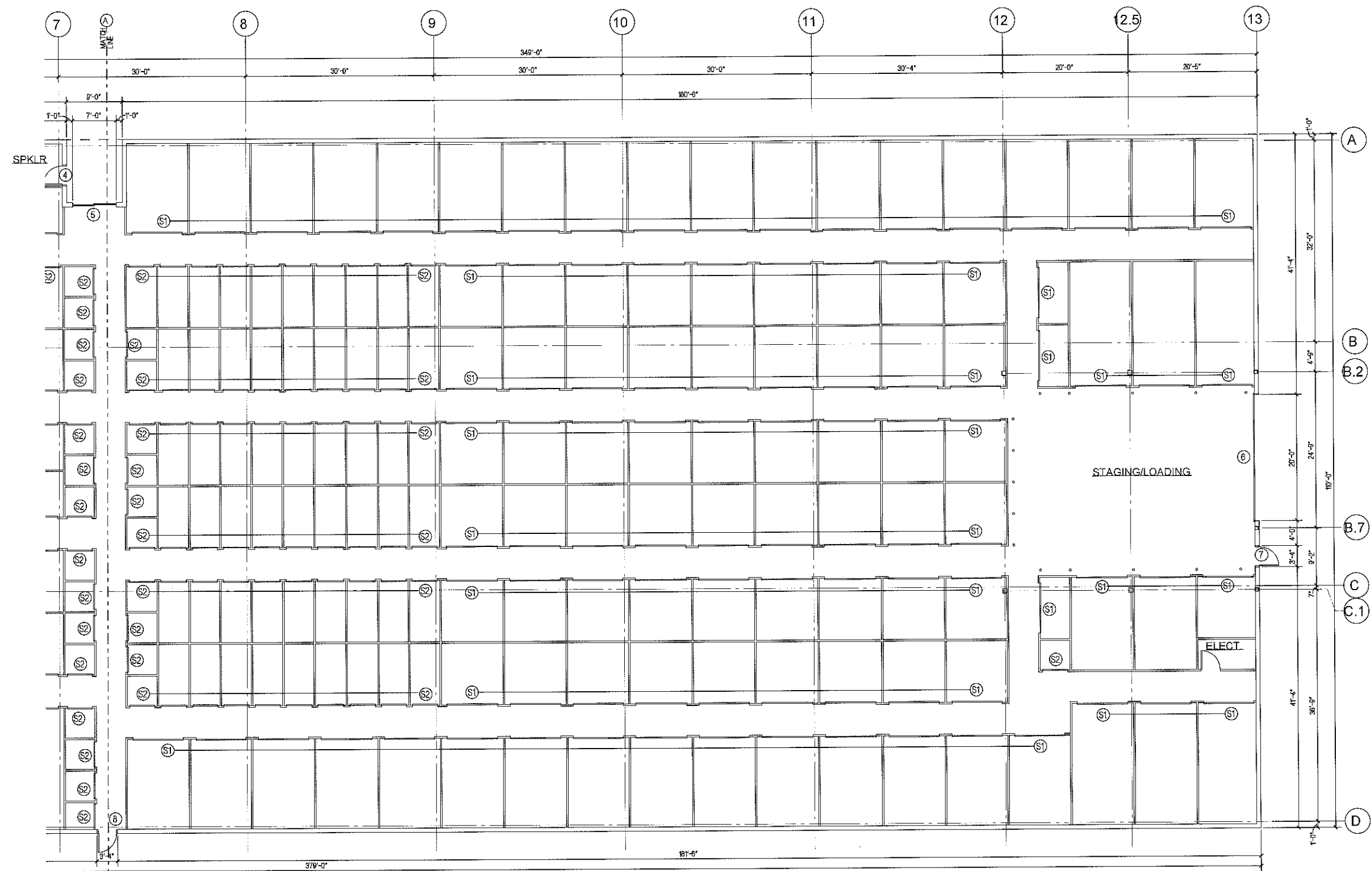
SHEET
A1
 OF X


PROJECT NO.
 1402

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14



BUILDING 'A'
 Partial Floor Plan
 SCALE: 1/8"=1'-0"




 BUILDING 'A'
 Partial Floor Plan
 SCALE: 1/8"=1'-0"

DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Willey Road - Suite 106 - Schaumburg, Illinois 60173
 PH. 847-519-2227 - FAX 847-519-0347
 Assumed Name No. 184-004083

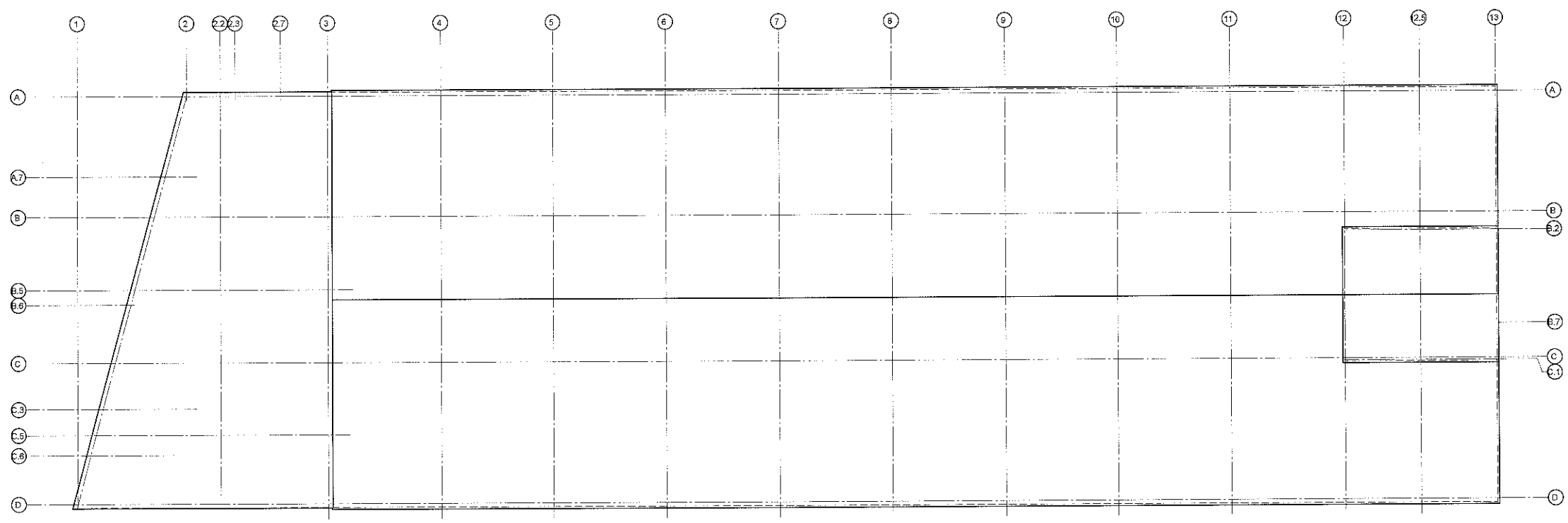
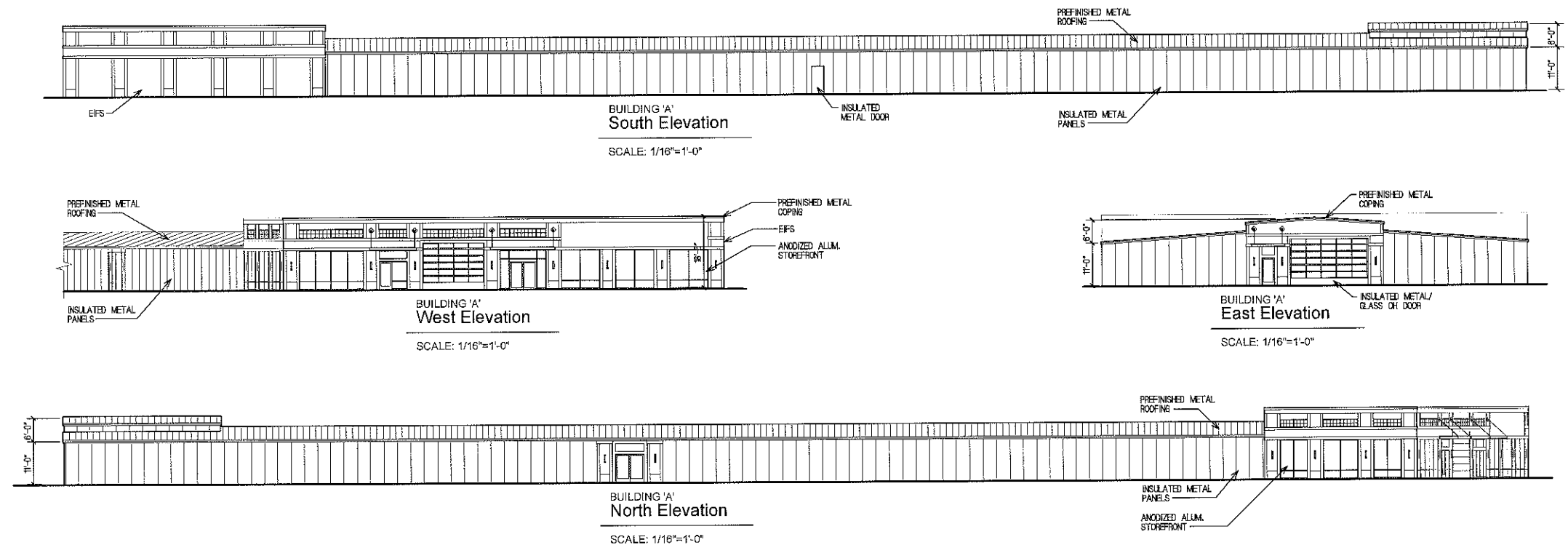
PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

THIS IS A PRELIMINARY SET OF PLANS AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY OF CRYSTAL LAKE, ILLINOIS.

SHEET NAME
 BUILDING 'A'
 PARTIAL
 FLOOR PLAN
 & SECTIONS

SHEET
A2
 OF X

PROJECT NO.
 1402



Roof Plan
SCALE: 1/16"=1'-0"

DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Willey Road - Suite 106 - Schaumburg, Illinois 60173
 PH. 847-519-2227 - FAX 847-519-0347
 Assumed Name No. 184-004083

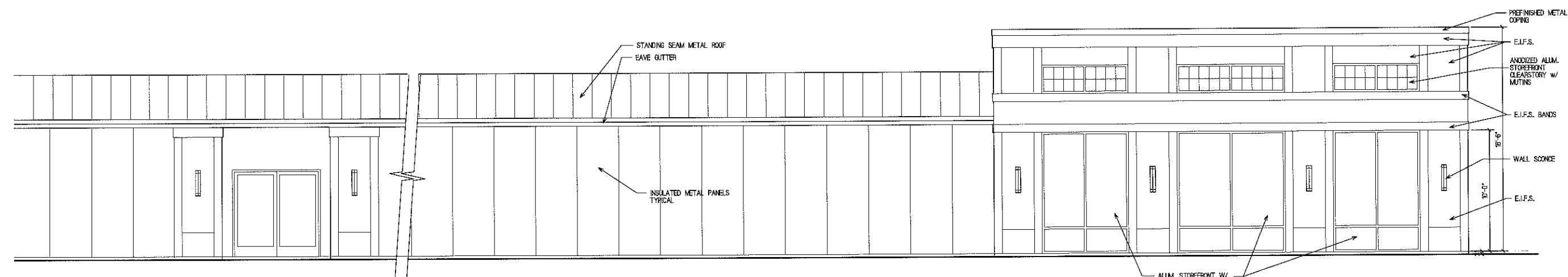
THIS IS A PRELIMINARY PLAN. THE CLIENT HAS REVIEWED THIS PLAN AND HAS APPROVED THE SAME. THE CLIENT HAS REVIEWED AND APPROVED THE SAME. THE CLIENT HAS REVIEWED AND APPROVED THE SAME.

SHEET NAME
 BUILDING 'A'
 EXTERIOR
 ELEVATIONS &
 ROOF PLAN

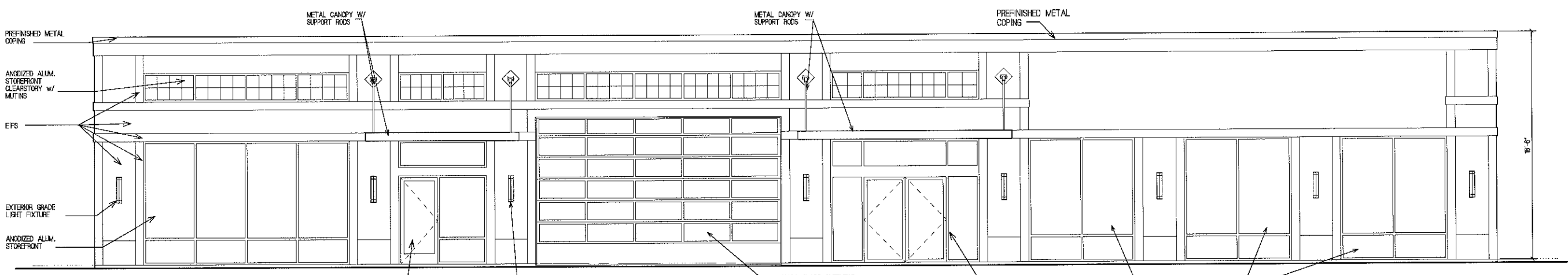
SHEET
A3
 OF X

PROJECT NO.
 1402

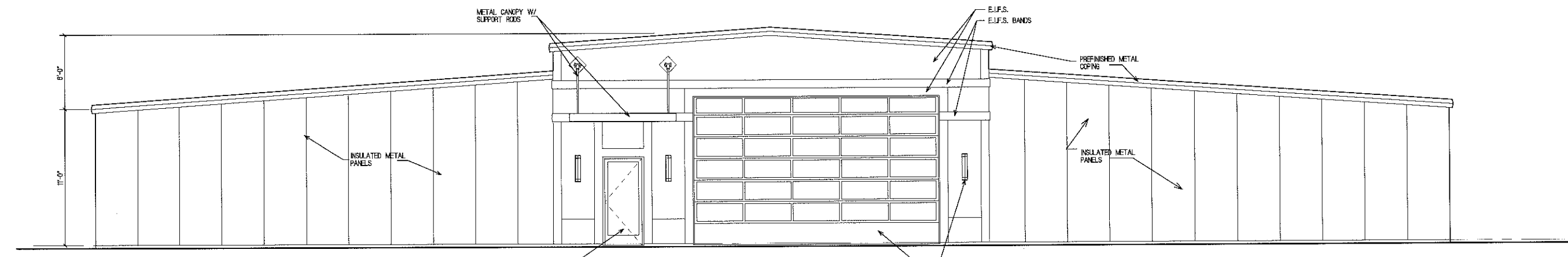
PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14



BUILDING 'A'
Partial North Elevation
SCALE: 1/4"=1'-0"



BUILDING 'A'
West Elevation
SCALE: 1/4"=1'-0"



BUILDING 'A'
East Elevation
SCALE: 1/4"=1'-0"

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

REVISIONS

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
S.E. CORNER OF:
TECKLER BOULEVARD & OFFICIAL ROAD
CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
1325 Willey Road - Suite 166 - Schaumburg, Illinois 60173
PH. 847-518-8227 - FAX 847-518-0847
Assumed Name No. 154-004083

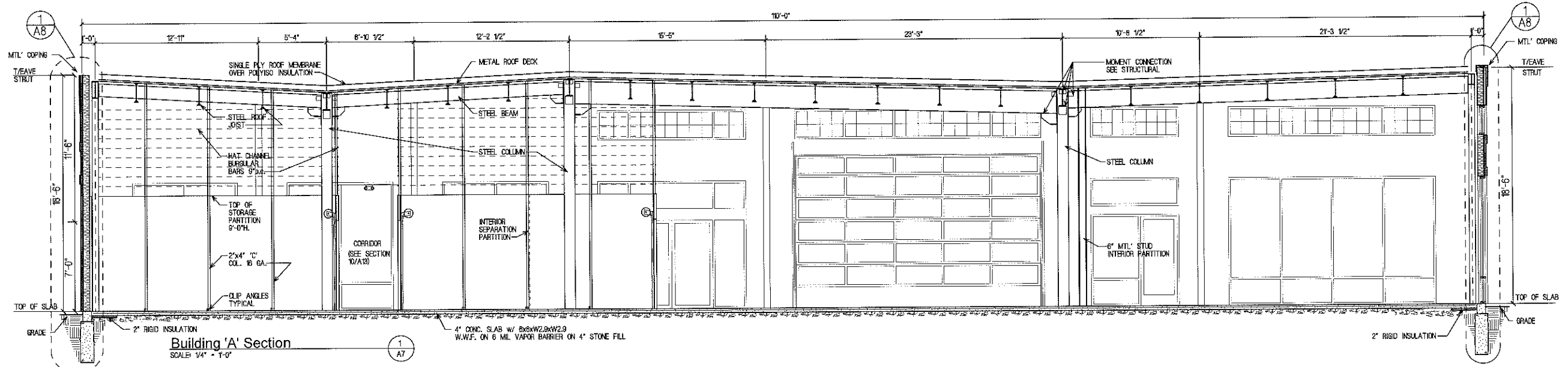
PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

THIS IS A PRELIMINARY DRAWING AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF REITAN ARCHITECTS, LLC.

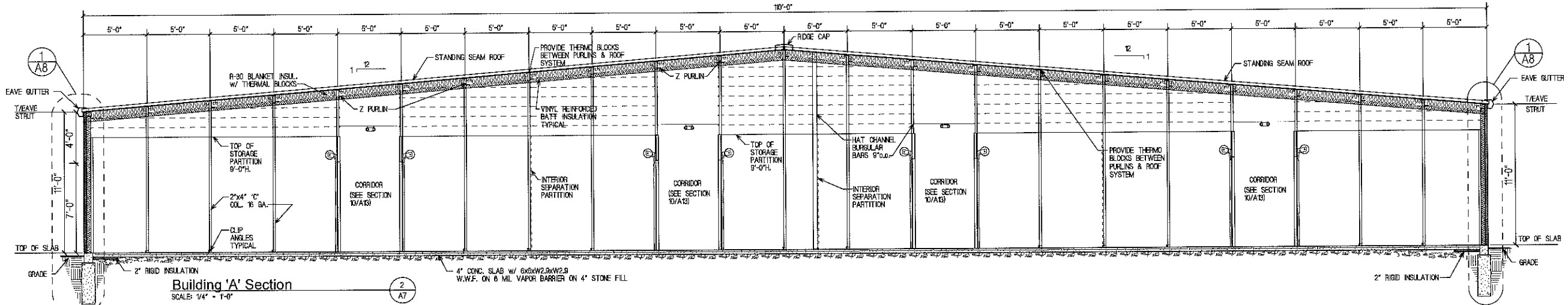
SHEET NAME
BUILDING 'A'
BUILDING SECTIONS

SHEET
A7
OF X

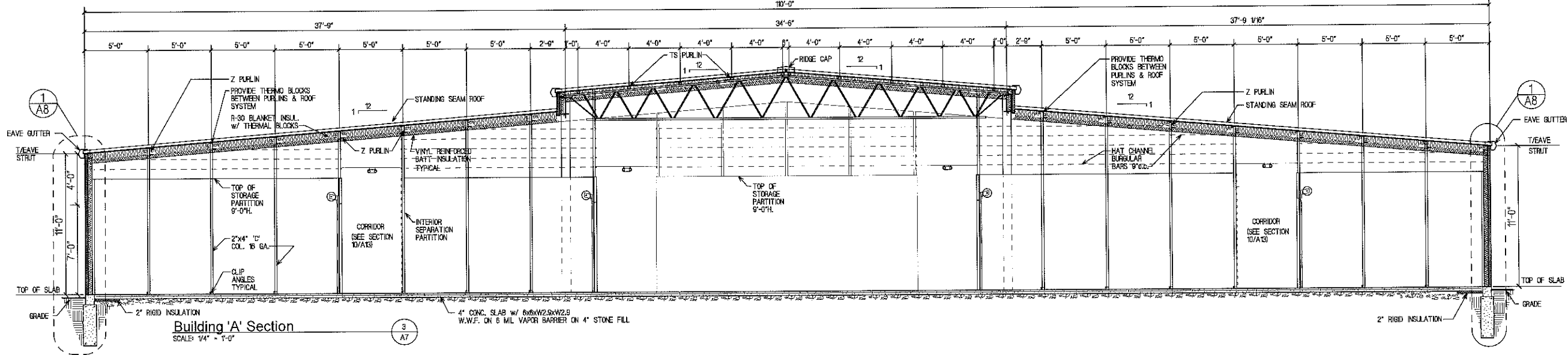
PROJECT NO.
1402



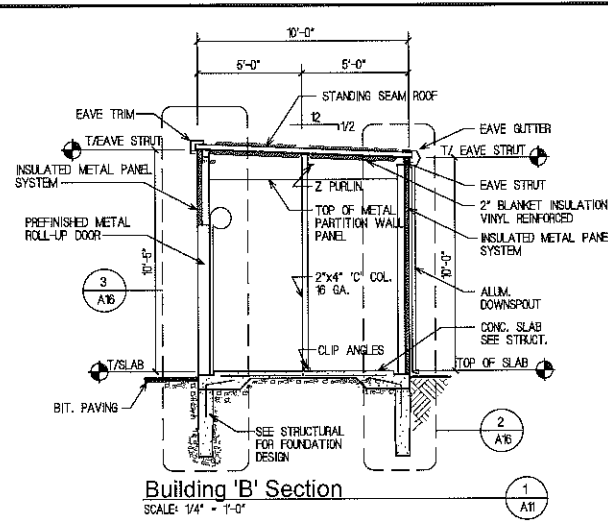
Building 'A' Section
SCALE: 1/4" = 1'-0"



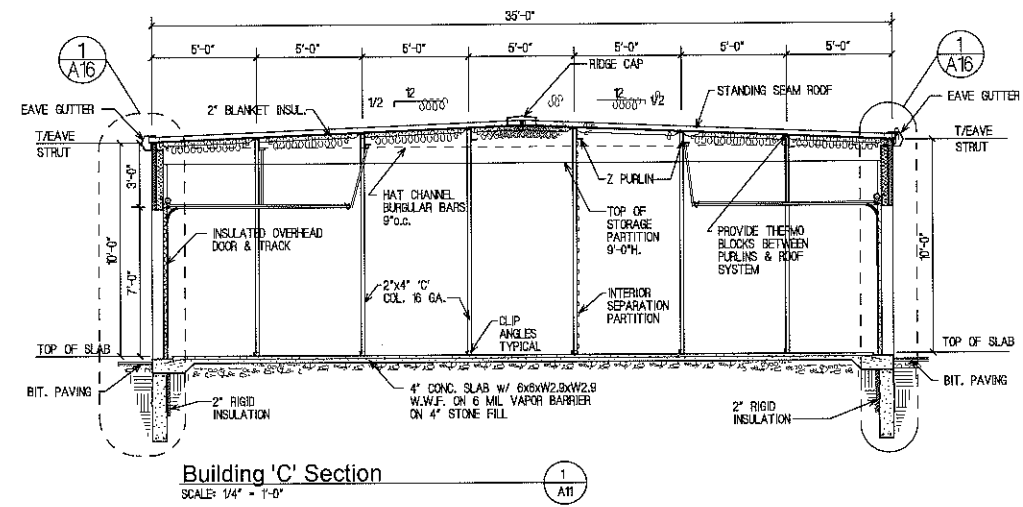
Building 'A' Section
SCALE: 1/4" = 1'-0"



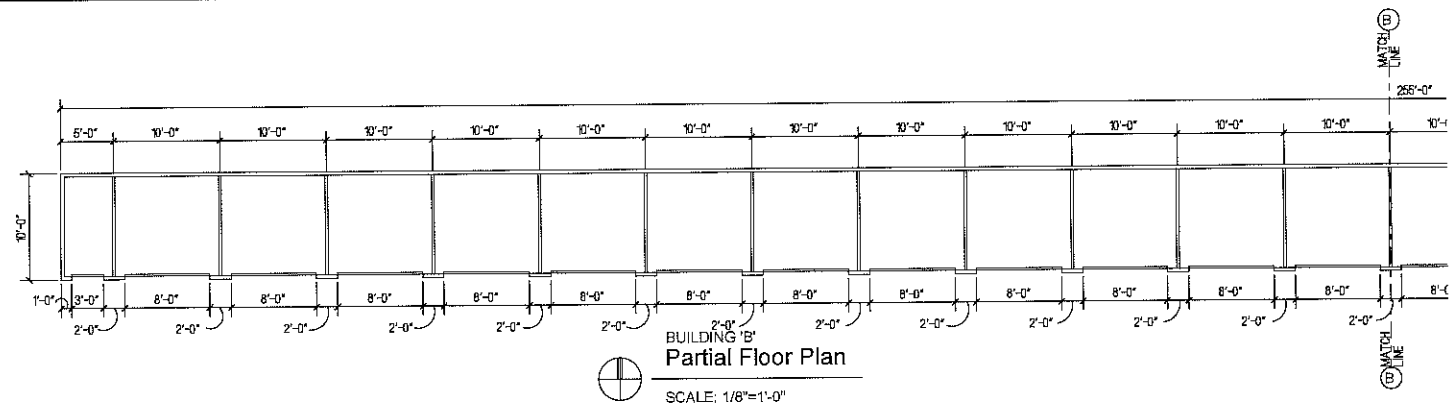
Building 'A' Section
SCALE: 1/4" = 1'-0"



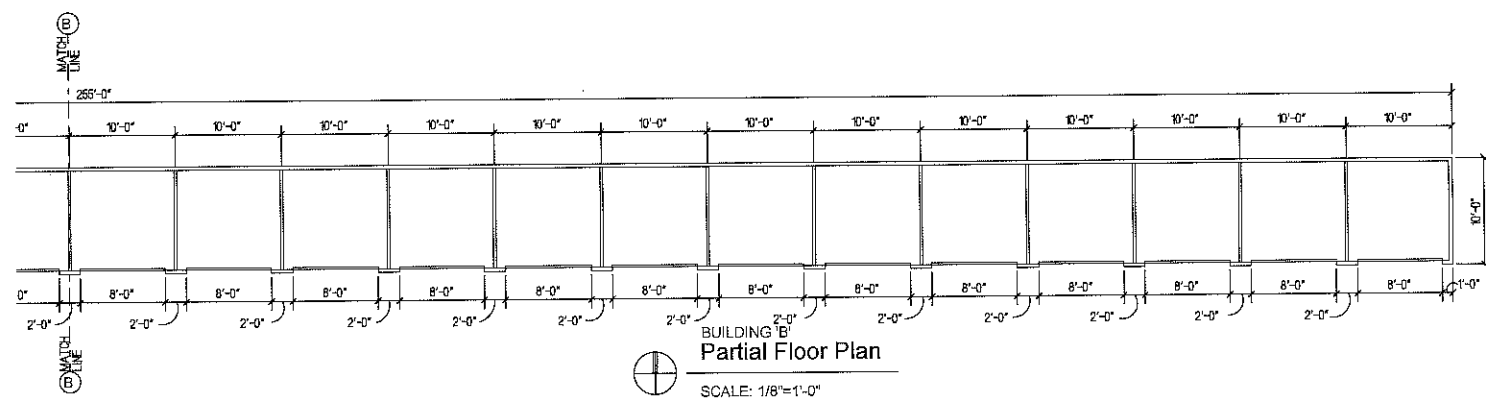
Building 'B' Section
SCALE: 1/4" = 1'-0"



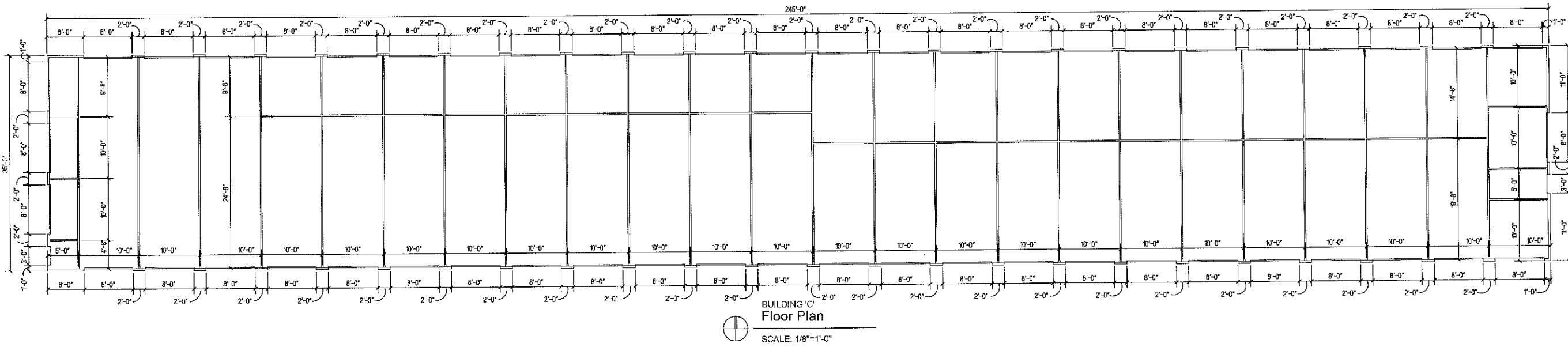
Building 'C' Section
SCALE: 1/4" = 1'-0"



BUILDING 'B'
Partial Floor Plan
SCALE: 1/8"=1'-0"



BUILDING 'B'
Partial Floor Plan
SCALE: 1/8"=1'-0"



BUILDING 'C'
Floor Plan
SCALE: 1/8"=1'-0"

DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
S.E. CORNER OF:
TECKLER BOULEVARD & OFFICIAL ROAD
CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
1335 Willey Road - Suite 166 - Schaumburg, Illinois 60173
PH: 847-599-2271 - FAX: 847-599-0347
Assumed Name No. 184-004083

THIS SET OF DRAWINGS IS THE PROPERTY OF REITAN ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF REITAN ARCHITECTS, LLC IS STRICTLY PROHIBITED.

SHEET NAME
BUILDINGS 'B'
& 'C' FLOOR
PLANS & BLDG.
SECTIONS

SHEET
A11
OF X

PROJECT NO.
1402

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

DATE
JUNE 20, 2014

REVISIONS

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
S.E. CORNER OF:
TECKLER BOULEVARD & OFFICIAL ROAD
CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
1225 Willey Road - Suite 866 - Schaumburg, Illinois 60173
PH. 847-519-2227 - FAX 847-519-0347
Assumed Name No. 184-004083

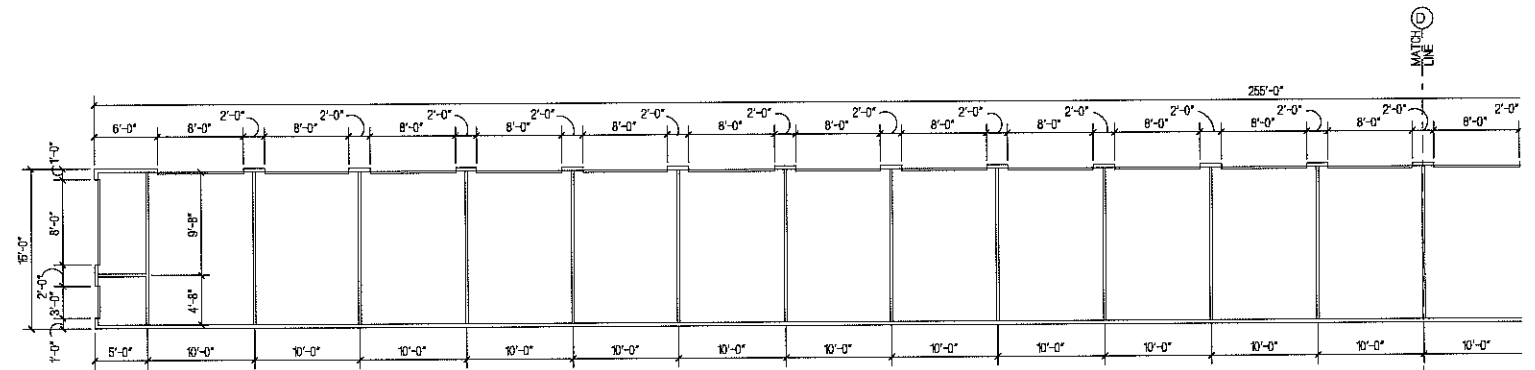
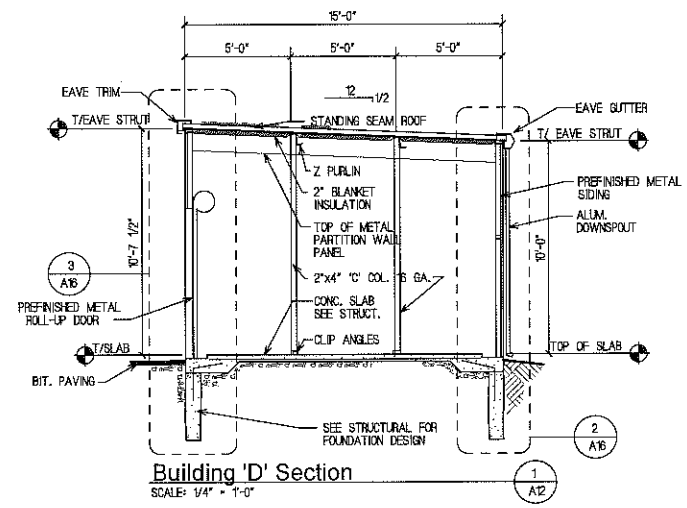
PLEASE REFER TO THE
PROJECT MANUAL FOR THE
LATEST REVISIONS AND
SPECIFICATIONS TO THE
CONTRACT DOCUMENTS.
THE CONTRACTOR SHALL
VERIFY THE DIMENSIONS
AND CONDITIONS OF THE
SITE PRIOR TO CONSTRUCTION.

SHEET NAME
BUILDING 'D'
FLOOR PLAN
& BUILDING
SECTION

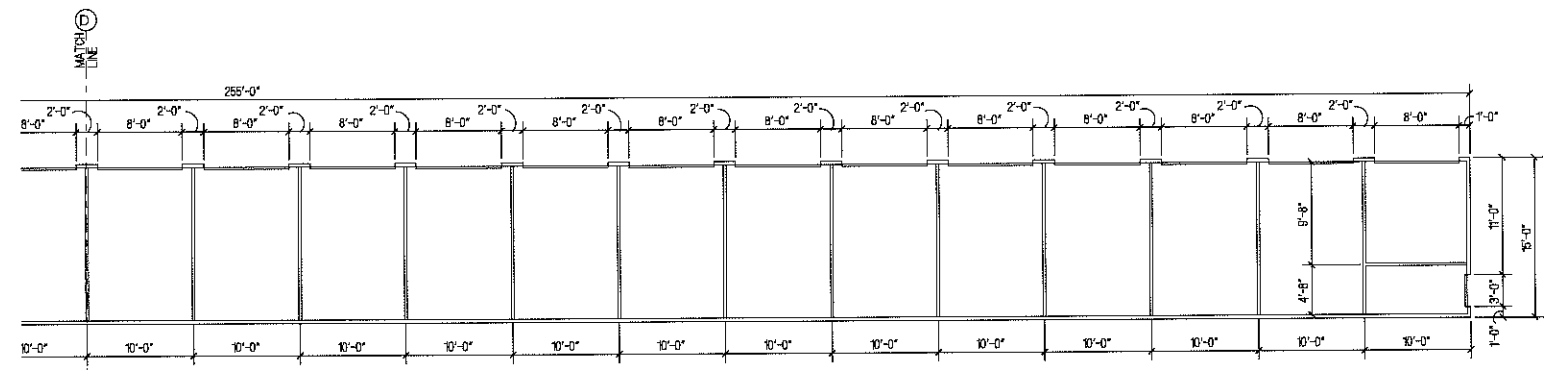
SHEET
A12
OF X

PROJECT NO.
1402

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

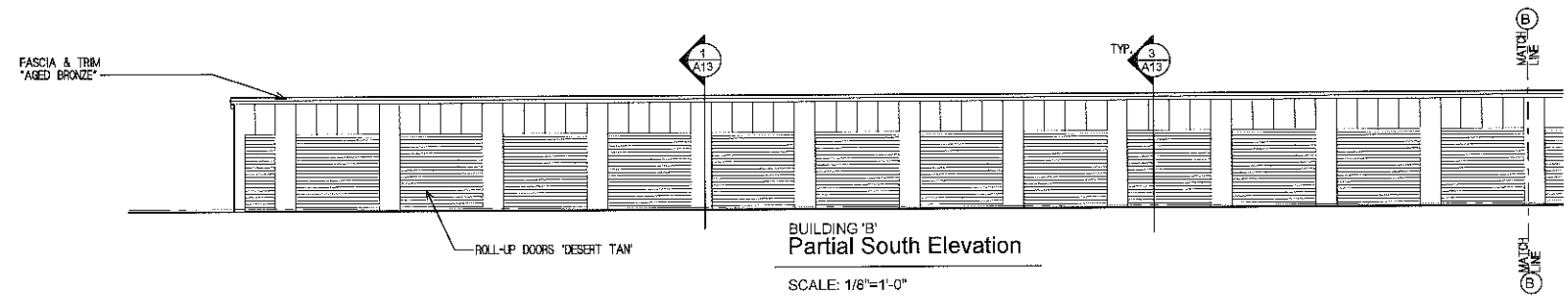


BUILDING 'D'
Partial Floor Plan
SCALE: 1/8"=1'-0"



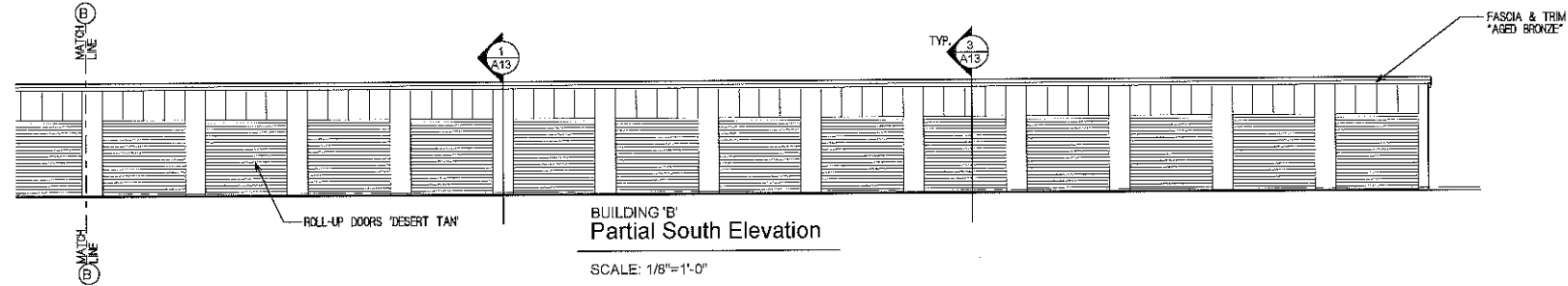
BUILDING 'D'
Partial Floor Plan
SCALE: 1/8"=1'-0"

© Copyright, Reitan Architects, LLC.



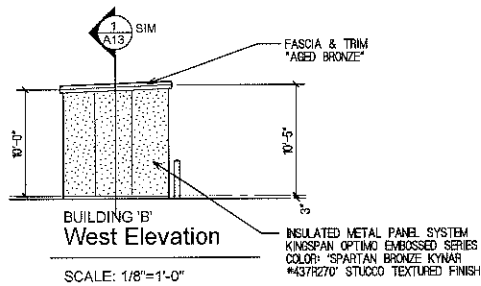
BUILDING 'B'
Partial South Elevation

SCALE: 1/8"=1'-0"



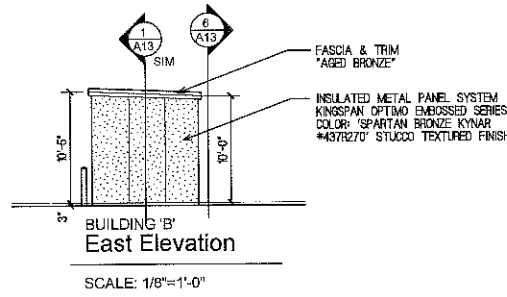
BUILDING 'B'
Partial South Elevation

SCALE: 1/8"=1'-0"



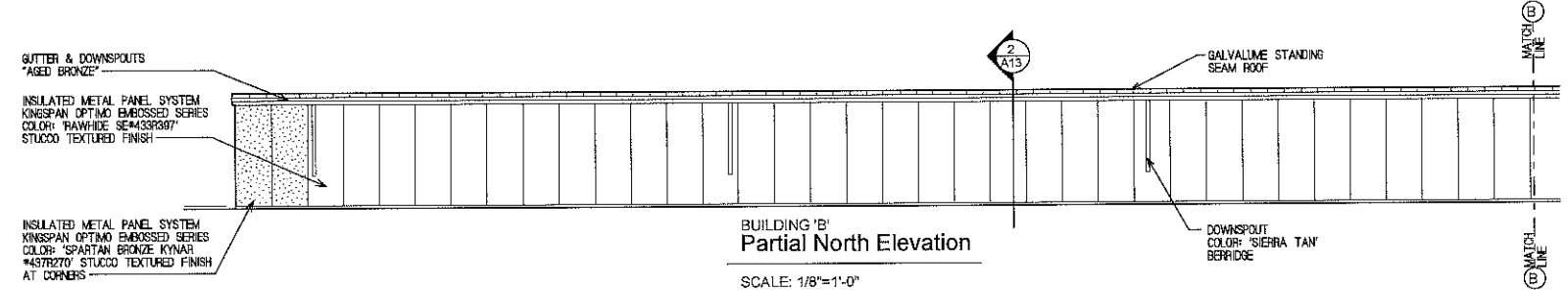
BUILDING 'B'
West Elevation

SCALE: 1/8"=1'-0"



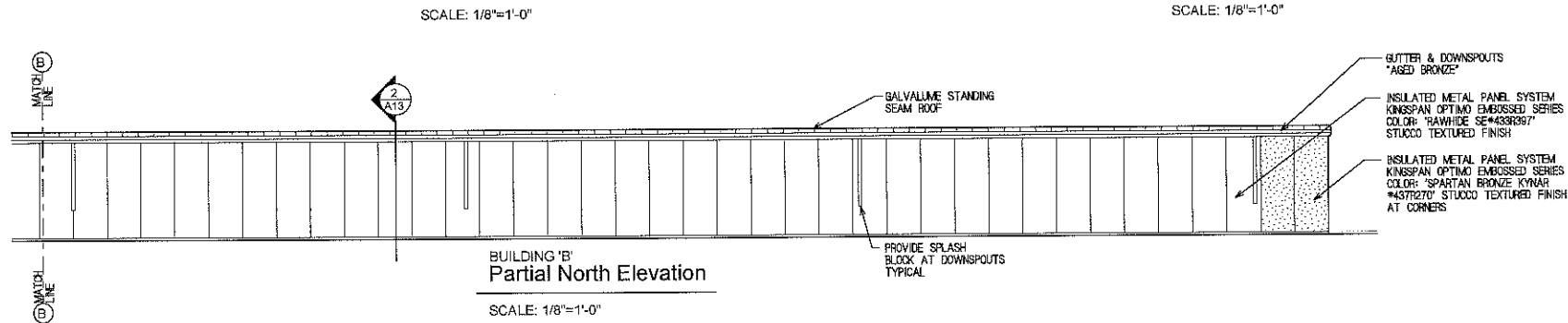
BUILDING 'B'
East Elevation

SCALE: 1/8"=1'-0"



BUILDING 'B'
Partial North Elevation

SCALE: 1/8"=1'-0"



BUILDING 'B'
Partial North Elevation

SCALE: 1/8"=1'-0"

DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Willey Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 847-519-1227 - FAX 847-518-0347
 Assumed Name No. 184-004083

THIS SET OF DRAWINGS SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF REITAN ARCHITECTS, LLC. IS STRICTLY PROHIBITED.

SHEET NAME
BUILDING 'B'
 EXTERIOR
 ELEVATIONS

SHEET
A13
 OF X

PROJECT NO.
 1402

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14

DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Wiley Road - Suite 186 - Schaumburg, Illinois 60173
 PH: 847-519-1227 - FAX 847-519-0947
 Assumed Name No. 194-004083

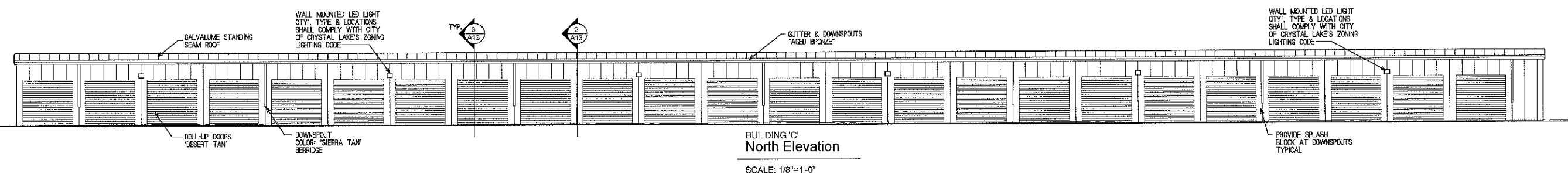
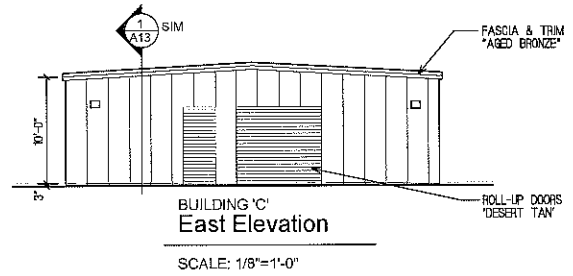
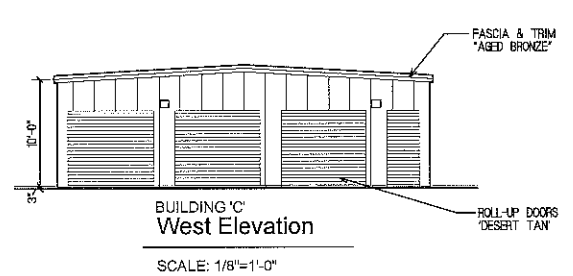
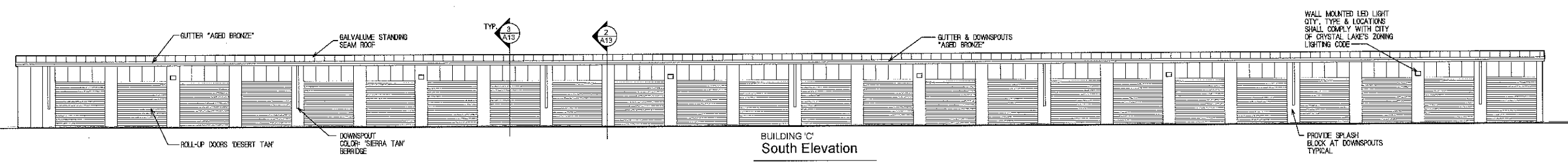
THIS IS A CONTRACT DOCUMENT. IT IS THE PROPERTY OF REITAN ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS TO BE RETURNED TO REITAN ARCHITECTS, LLC. UPON COMPLETION OF THE PROJECT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

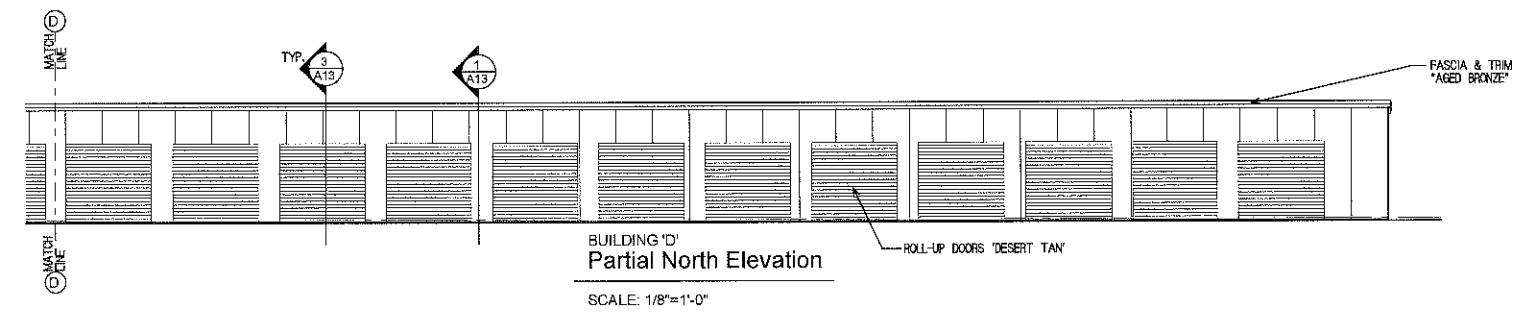
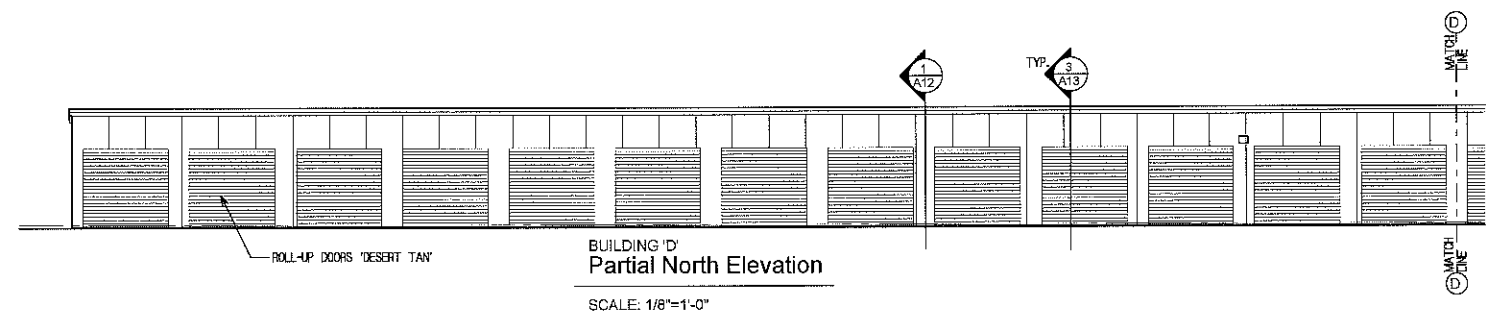
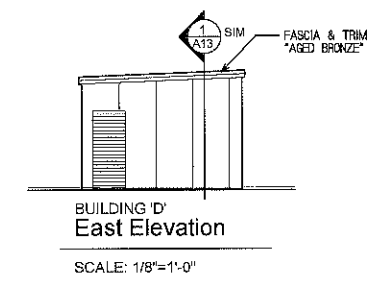
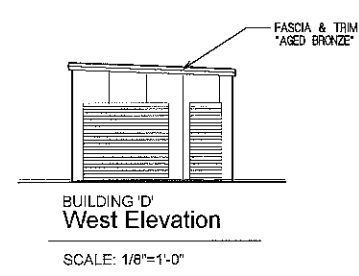
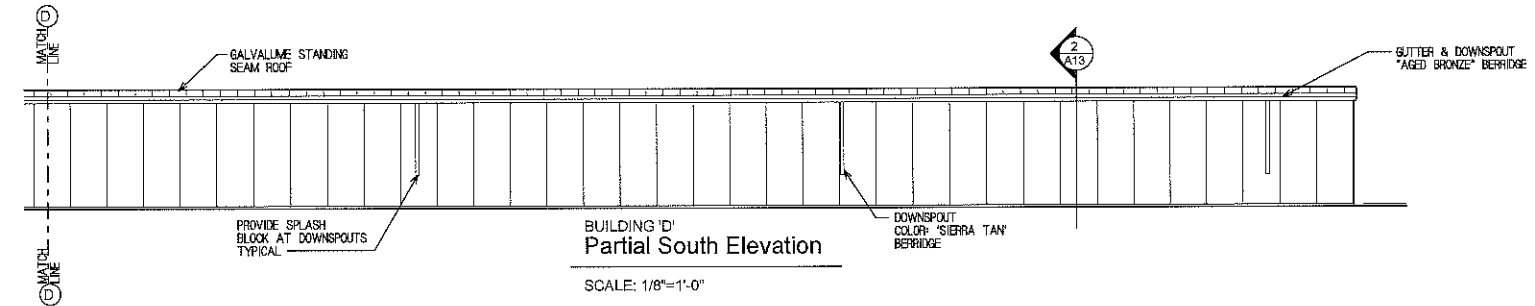
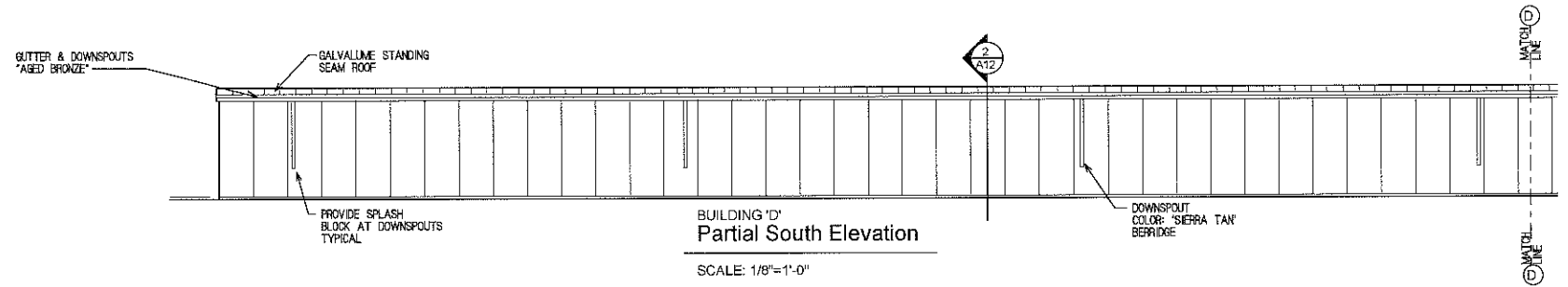
SHEET NAME
 BUILDING 'C'
 EXTERIOR
 ELEVATIONS

SHEET
A14
 OF X

PROJECT NO.
 1402

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14





DATE	JUNE 20, 2014
REVISIONS	

PROPOSED SELF-STORAGE FACILITY
Crystal Lake Self Storage
 S.E. CORNER OF:
 TECKLER BOULEVARD & OFFICIAL ROAD
 CRYSTAL LAKE, ILLINOIS

Reitan Architects, LLC.
 1325 Wiley Road - Suite 166 - Schaumburg, Illinois 60173
 PH. 847-519-1227 - FAX 847-519-0347
 Assumed Name No. 194-004083

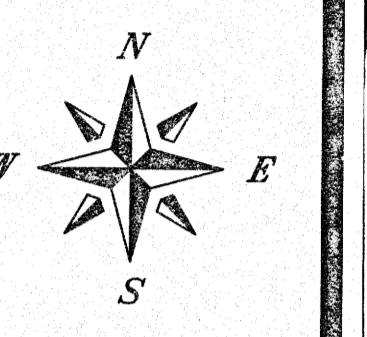
THIS IS THE OFFICIAL RECORD COPY OF THE RECORD DRAWING. ANY CHANGES TO THIS DRAWING MUST BE MADE BY THE ARCHITECT AND NOTED ON THIS DRAWING. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

SHEET NAME
 BUILDING 'D'
 EXTERIOR
 ELEVATIONS

SHEET
A15
 OF X

PROJECT NO.
 1402

PROGRESS SET - NOT FOR CONSTRUCTION - 06-20-14



SCALE
1" = 40'

ISSUE DATE
07/11/14

PROJECT MANAGER
JEC

DESIGNER
JMS

QUALITY CONTROL
JEC

CRYSTAL LAKE SELF STORAGE

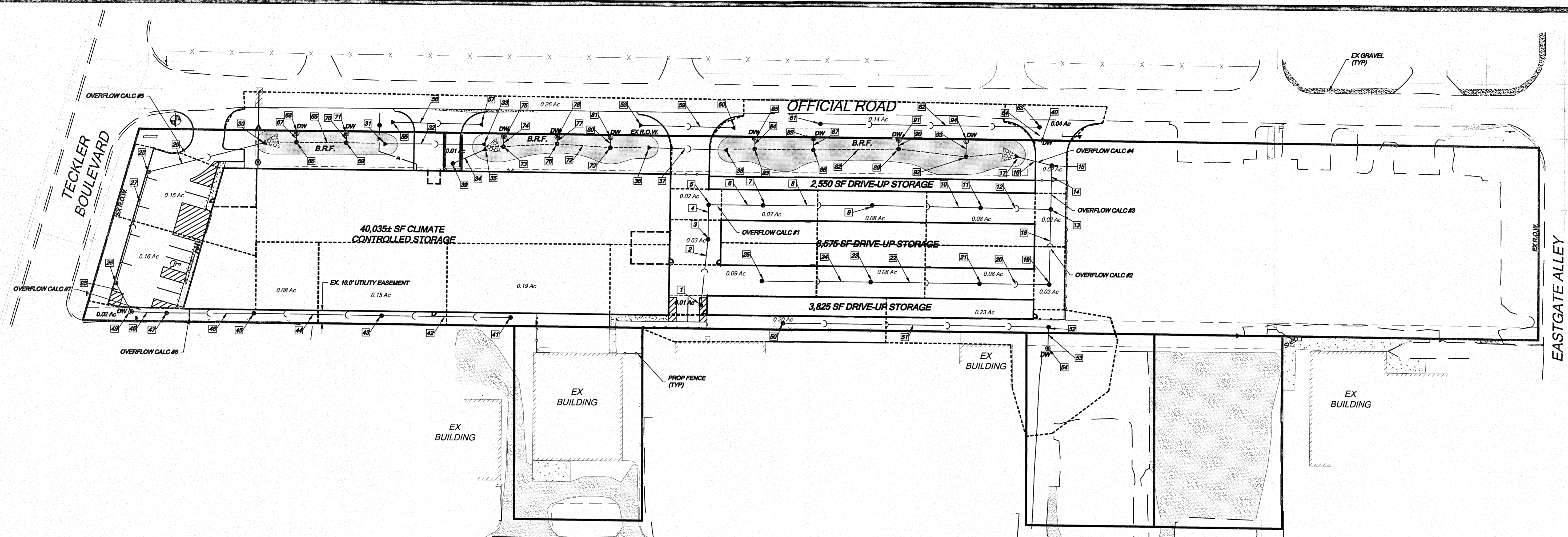
CRYSTAL LAKE, ILLINOIS

DESCRIPTION
DATE
NO.

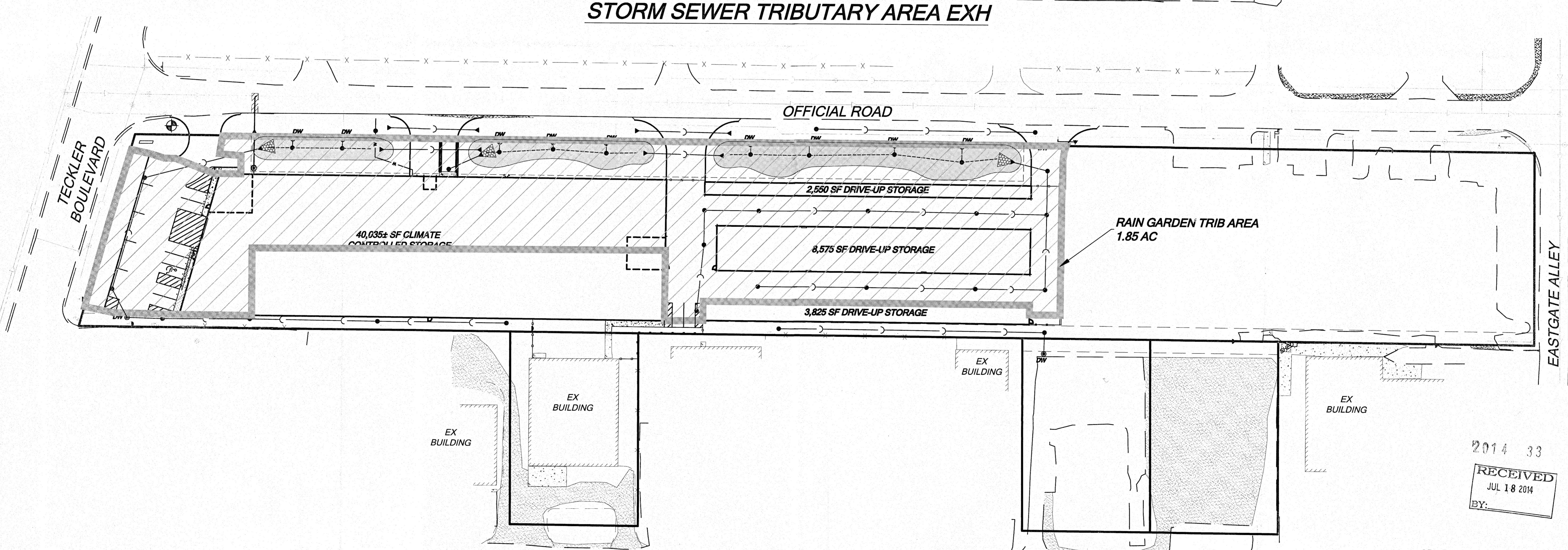
PROJECT NUMBER
FITZ-13001-3

SHEET TITLE
DRAINAGE EXHIBIT

SHEET NUMBER
1 OF 1

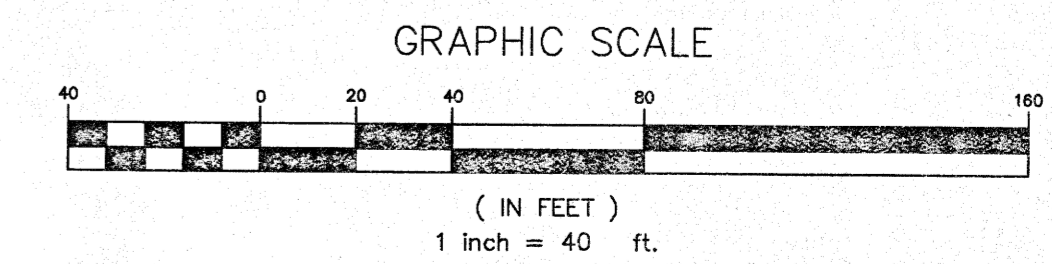


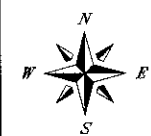
STORM SEWER TRIBUTARY AREA EXH



RAIN GARDEN TRIBUTARY AREA EXH

2014 33
RECEIVED
JUL 18 2014
BY:





SCALE
1" = 40'

ISSUE DATE
07/11/14

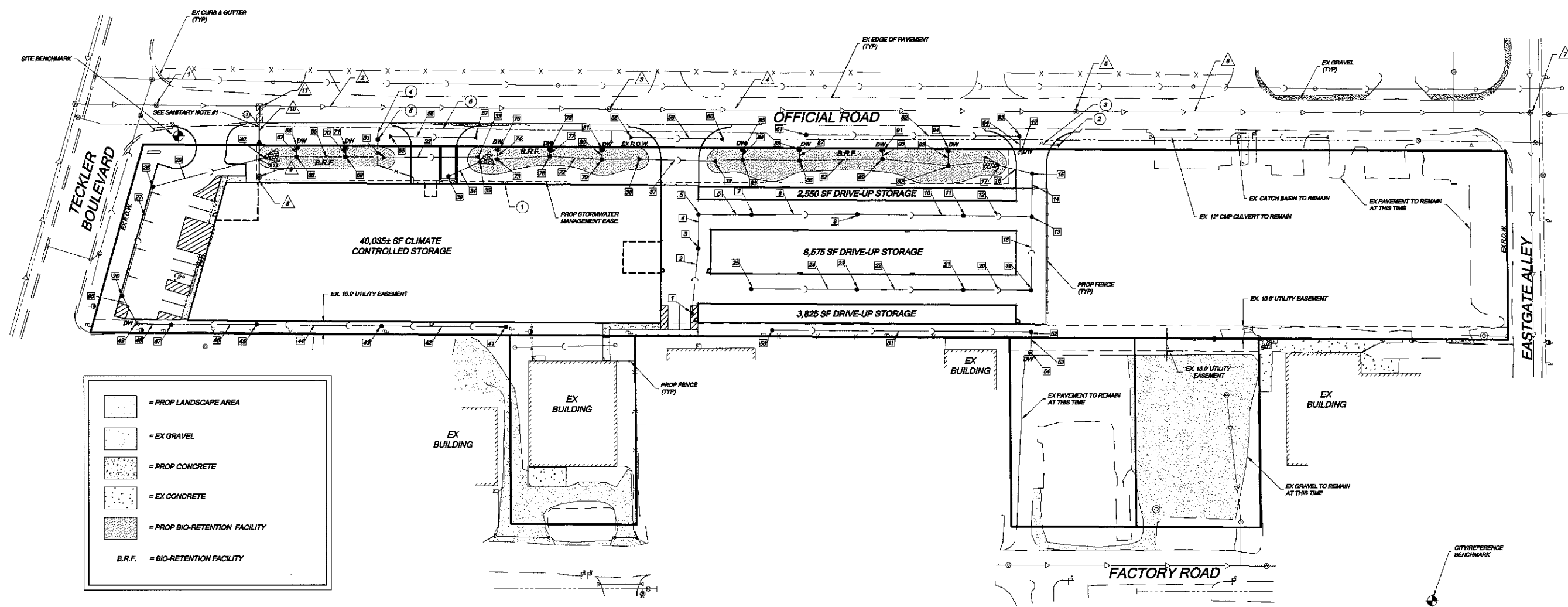
PROJECT MANAGER
JEC

DESIGNER
JMS

QUALITY CONTROL
JEC

CRYSTAL LAKE
SELF STORAGE

CRYSTAL LAKE,
ILLINOIS



WATERMAN

- Thrust blocking shall be installed on water mains at all bends, tees, elbows, etc. except as noted below.
- Thrust blocks not permitted with 45° vertical bends in water main. These shall be restrained with (Chicago) or equivalent.
- Water main shall be ductile iron pipe, Class 52 conforming to ANSI/A21.51 or AWWA C151.
- Ordnance and cast iron fittings shall conform to ANSI/A21.51 or AWWA C110 and C-111 water main shall be cast iron in accordance with ANSI/A21.51 or AWWA C104.
- Minimum cover from finished grade to top of water main shall be six (6) feet. Maximum cover shall be eight (8) feet.
- Water main there are flexible expansion joints shall be installed in every water main.
- All water mains shall be subjected to a pressure test and a separate leakage test at system pressure for 24 hours by the Contractor. Hydrostatic pressure test and leakage shall be based on 150 psi for 12 hours. Water main shall be constructed in accordance with the Standard Specifications.
- The Underground Contractor shall consider incidental to the contract any obstruction and setting of existing water main where connections to and conduits of such mains is indicated on the drawings. In the event that the pressure obtainable to effective capacity is not sufficient, the Contractor shall be notified to additional personnel for correcting the deficiencies.

FINISH

- All subgrade and bases shall be prepared and approved by the Engineering Division prior to base or binder installation.
- Subgrade and proposed pavements shall be finished by the Excavation Contractor to within 0.1 foot plus or minus, of plan elevation.
- The Paving Contractor shall ensure that the subgrade has been properly prepared and that the finished top of subgrade elevation has been greater within the tolerance allowed in these specifications. Unless the Paving Contractor advises the owner and engineer in writing prior to final grading for base course construction, it is understood that the Contractor has approved and accepts responsibility for the subgrade.
- For the purpose of providing finished accessibility and complying with the American Disability Act and City Standards, curbs shall be depressed at locations where public walks or pedestrian paths intersect with curb lines at street intersections and other locations as directed.
- 1/2 inch thick precast concrete expansion joints with (2) No. 4 plain round steel bars shall be installed at designated intervals and at all P.O., P.T., curb returns and at the end of each piece. Alternate ends of the curb shall be ground and faced with metal expansion tubes.
- 1/2 inch thick fibre expansion joints shall be used in every case where the sidewalk abuts into the curb and gutter. Concrete joints shall be saw cut, disintegrated intervals in the curb. The cost of these joints shall be considered as incidental to the cost of the contract.
- All poured in place concrete curb and gutter shall incorporate ten (10) No. 4 reinforcing bars located wherever the curb and gutter carries utility service lines, the cost of which shall be considered incidental to the cost of concrete curb and gutter.
- Stairwells (where required) shall be of the thickness and dimensions as shown in the construction plans. All sidewalk concrete shall be a minimum of 4,000 psi (or 3,000 psi class G concrete) and shall develop a minimum of 2,000 psi compressive strength at twenty (20) days. Control joints shall be set at four (4) foot centers, and one-half inch (1/2 inch) precast concrete expansion joints shall be set at four (4) foot centers and where the sidewalk meets the curb or another sidewalk, or at the end of each piece. All sidewalks constructed over utility trenches and/or existing driveway aprons shall be reinforced with three (3) No. 4 reinforcing bars (30 foot maximum length).

Approved: City Engineer
Drawing Name
Drawing Number
Date
Drawn
Checked
EM
LZ

STANDARD NOTES AND SPECIFICATIONS

Director of Engineering and Building
ILLINOIS
Engineering Division

30 STORM SEWER CALLOUTS:

1. PROP CS 2' DIA T1F OL RIM = 882.26 INV = 880.00	21. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	41. PROP CS 2' DIA T8 F&G RIM = 882.75 INV = 880.00	61. PROP CS 2' DIA T8 F&G RIM = 882.05 INV = 880.20	81. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
2. PROP CS 12' STORM SEWER @ 0.20%	22. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	42. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	62. PROP CS 2' DIA T8 F&G RIM = 882.05 INV = 880.20	82. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
3. PROP CS 2' DIA T1F OL RIM = 883.05 INV = 882.80	23. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	43. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	63. EX CB TO BE RAISED PROP RIM = 881.80 EX RIM = 882.80 INV = 882.00 (CONTRACTOR TO VERIFY)	83. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
4. PROP CS 4' DIA T1F OL RIM = 883.05 INV = 882.85	24. PROP CS 12' STORM SEWER @ 0.18%	44. PROP 100 LF 12' STORM SEWER @ 0.20%	64. EX 12' STORM SEWER TO REMAIN	84. PROP 7 LF 12' STORM SEWER @ 1.14%
5. PROP CS 4' DIA T1F OL RIM = 883.05 INV = 882.85	25. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	45. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	65. EX 12' PERFORATED UNDERDRAIN @ 0.18%	85. PROP DRYWELL RIM = 881.80 INV = 885.00
6. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	26. PROP CS 2' DIA T1F OL RIM = 882.40 INV = 880.25 (N)	46. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	66. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00	86. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
7. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	27. PROP CS 12' STORM SEWER @ 0.08%	47. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	67. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00	87. PROP 7 LF 12' STORM SEWER @ 1.14%
8. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	28. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	48. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	68. PROP DRYWELL RIM = 884.50 INV = 885.00	88. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
9. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	29. PROP CS 12' STORM SEWER @ 0.20%	49. PROP CS 2' DIA T8 F&G RIM = 883.50 INV = 880.00	69. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00	89. PROP 5 LF 12' STORM SEWER @ 1.00%
10. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	30. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	50. PROP CS 2' DIA T8 F&G RIM = 882.75 INV = 880.00	70. PROP 5 LF 12' STORM SEWER @ 1.00%	90. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
11. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	31. PROP 12' STORM SEWER @ 0.18%	51. PROP 205 LF 12' STORM SEWER @ 0.48%	71. PROP DRYWELL RIM = 881.80 INV = 885.00	91. PROP DRYWELL RIM = 881.80 INV = 885.00
12. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	32. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	52. PROP CS 2' DIA T8 F&G RIM = 882.30 INV = 880.25	72. PROP 118 LF 4" PERFORATED UNDERDRAIN @ 1.87%	92. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
13. PROP CS 2' DIA T1F OL RIM = 882.75 INV = 880.25	33. PROP 12' STORM SEWER @ 0.20%	53. PROP CS 2' DIA T8 F&G RIM = 882.75 INV = 880.00	73. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00	93. PROP 5 LF 12' STORM SEWER @ 1.00%
14. PROP CS 12' STORM SEWER @ 0.14%	34. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	54. PROP DRYWELL RIM = 884.50 INV = 885.00	74. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00	94. PROP DRYWELL RIM = 881.80 INV = 885.00
15. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	35. PROP 12' STORM SEWER @ 0.20%	55. PROP 12' STORM SEWER @ 0.21%	75. PROP DRYWELL RIM = 881.80 INV = 885.00	95. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00
16. PROP CS 12' STORM SEWER @ 0.20%	36. PROP 12' STORM SEWER @ 0.20%	56. PROP 70 LF 12' STORM SEWER @ 0.21%	76. PROP CS 2' DIA T8 F&G RIM = 882.54 INV = 880.00	96. PROP 25 LF 12' STORM SEWER @ 2.00%
17. PROP 12' STORM SEWER @ 0.17%	37. PROP 12' STORM SEWER @ 0.17%	57. PROP 12' STORM SEWER @ 0.17%	77. PROP 5 LF 12' STORM SEWER @ 1.00%	
18. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	38. PROP 12' STORM SEWER @ 0.17%	58. PROP 12' STORM SEWER @ 0.17%		
19. PROP CS 4' DIA T1F OL RIM = 882.75 INV = 880.25	39. PROP CS 2' DIA T1F OL RIM = 881.75 INV = 880.25	59. PROP 12' STORM SEWER @ 0.17%		

WATER SERVICE CALLOUTS:

- PROP FIRE CONNECTION
- EX FIRE HYDRANT TO BE RELOCATED BURY ELEVATION = 882.80
- PROP 15 LF FIRE HYDRANT SERVICE EXTENSION
- PROP PRESSURE CONNECTION & 80 LF 4" WATER SERVICE
- PROP WATER SERVICE SHUTOFF RIM = 881.50
- EX 8" WATERMAIN

UTILITY CROSSING CALLOUTS:

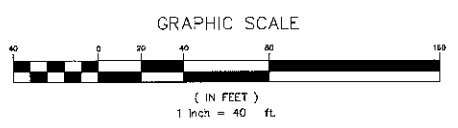
- PROP SAN CROWN = 882.23
PROP STORM INV = 880.27
- PROP SAN CROWN = 886.12
EX WATER CROWN = 885.88

SANITARY SEWER CALLOUTS:

- EX SAN MH
RIM = 885.20
INV = 884.80 (W,E)
- EX 36" LF 8" SAN SEWER
- EX SAN MH
RIM = 883.82
INV = 883.07 (W,E)
- EX 374 LF 8" SAN SEWER
- EX SAN MH
RIM = 882.57
INV = 882.07 (W,E)
- EX 304 LF 8" SAN SEWER
- EX SAN MH
RIM = 881.80
INV = 877.78 (W)
- EX 374 LF 8" SAN SEWER
- PROP 5 LF 8" SAN SERVICE @ 1.10%
(INV @ BLDG = 886.03)
- PROP SAN MH
RIM = 884.00
INV = 887.87 (S)
- PROP 5 LF 8" SAN SERVICE @ 1.10%
(INV = 885.87 (S))

NOTES:

- UTILIZE CASINO PIPE AND/OR WATER QUALITY MATERIAL FOR CROSSING WITH EXISTING WATERMAIN, REFER TO DETAIL ON SHEET 12.



DESCRIPTION

DATE

NO.

PROJECT NUMBER
FITZ-13001-3

SHEET TITLE
SITE UTILITY PLAN

SHEET NUMBER
5 OF 12



SCALE	1" = 20'
ISSUE DATE	07/11/14
PROJECT MANAGER	JEC
DESIGNER	JMS
QUALITY CONTROL	JEC

CRYSTAL LAKE SELF STORAGE
CRYSTAL LAKE, ILLINOIS

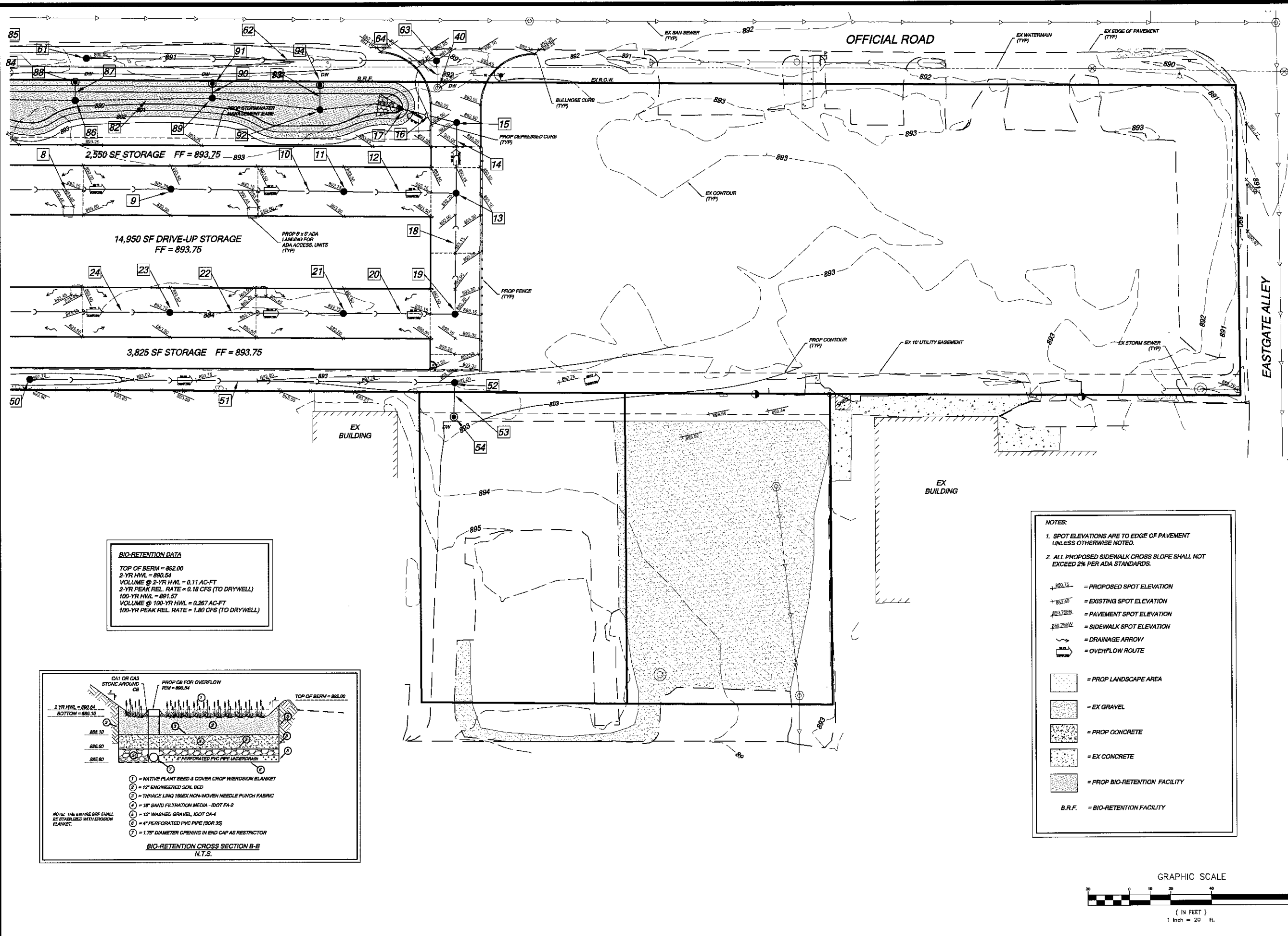
NO.	DATE	DESCRIPTION

PROJECT NUMBER
FITZ-13001-3

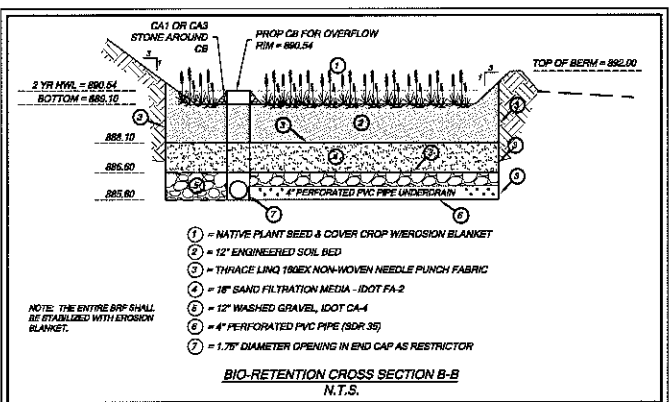
SHEET TITLE
EAST GRADING PLAN

SHEET NUMBER

7 OF 12



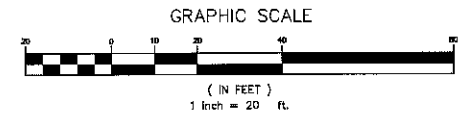
BIO-RETENTION DATA
TOP OF BERM = 892.00
2-YR HWL = 890.54
VOLUME @ 2-YR HWL = 0.11 AC-FT
2-YR PEAK REL. RATE = 0.18 CFS (TO DRYWELL)
100-YR HWL = 891.57
VOLUME @ 100-YR HWL = 0.267 AC-FT
100-YR PEAK REL. RATE = 1.80 CFS (TO DRYWELL)

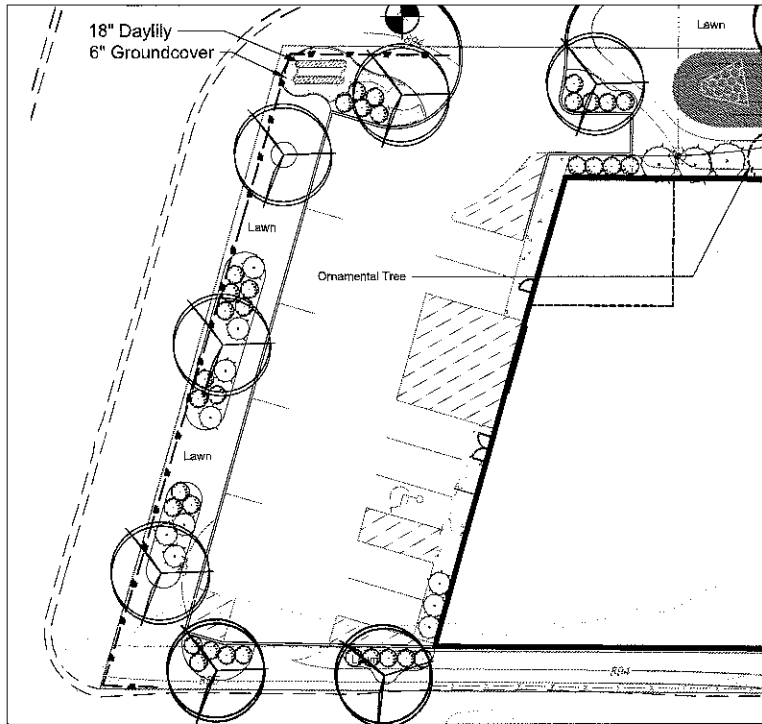
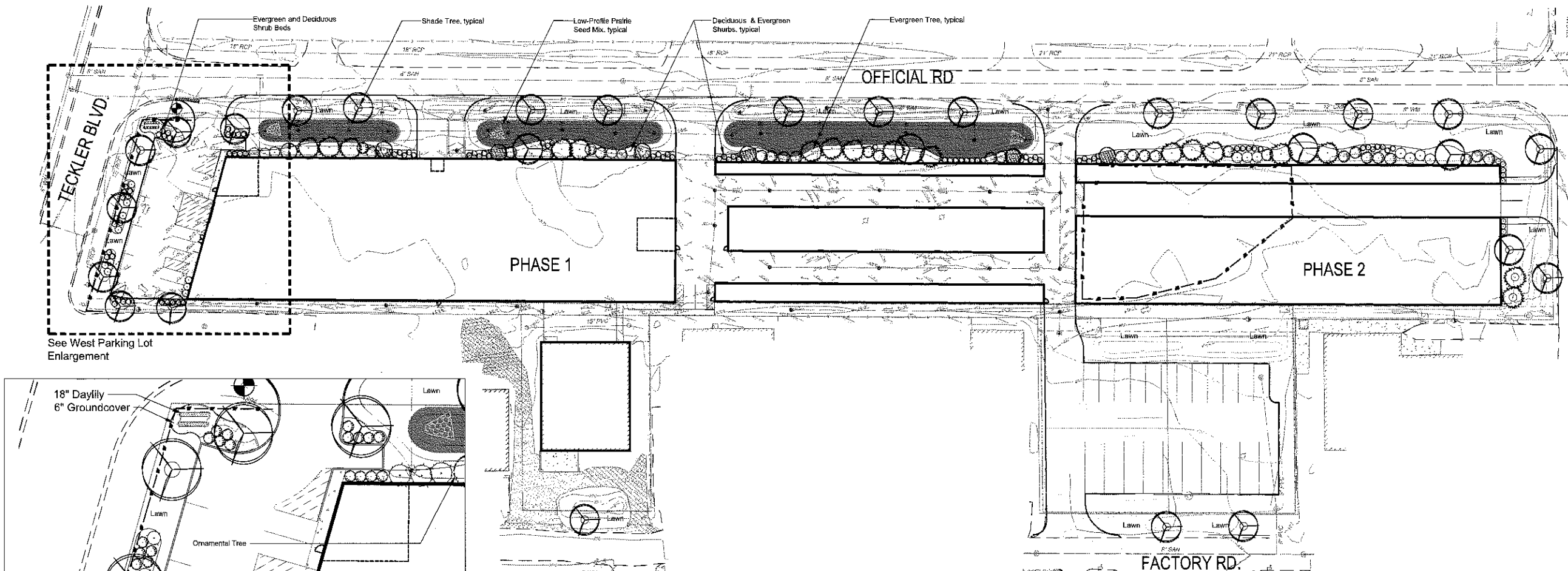


NOTES:

- SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PROPOSED SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% PER ADA STANDARDS.

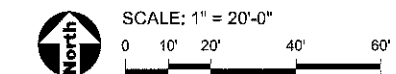
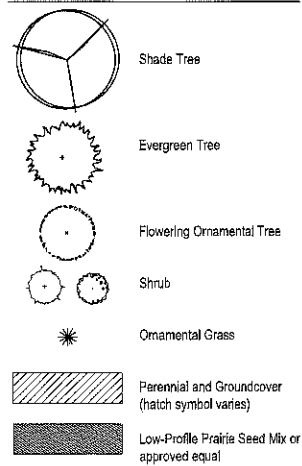
- = PROPOSED SPOT ELEVATION
- = EXISTING SPOT ELEVATION
- = PAVEMENT SPOT ELEVATION
- = SIDEWALK SPOT ELEVATION
- = DRAINAGE ARROW
- = OVERFLOW ROUTE
- = PROP LANDSCAPE AREA
- = EX GRAVEL
- = PROP CONCRETE
- = EX CONCRETE
- = PROP BIO-RETENTION FACILITY
- B.R.F. = BIO-RETENTION FACILITY





WEST PARKING ENLARGEMENT

LANDSCAPE LEGEND



LOW-PROFILE PRAIRIE SEED MIX

Botanical Name	Common Name	P.L.S. Quinces/Acre
Permanent Grasses/Sedges:		
<i>Carex breviflora</i>	Plains oval sedge	1.00
<i>Juncus tenuis</i>	Path Rush	1.00
		Total
		2.00
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	16.00
<i>Lolium multiflorum</i>	Annual Rye	2.00
		Total
		18.00
Forbs:		
<i>Allium canadense</i>	Wild Garlic	1.00
<i>Allium cernuum</i>	Nodding Onion	1.00
<i>Anemone canadensis</i>	Meadow anemone	0.25
<i>Aquilegia canadensis</i>	Wild Columbine	0.15
<i>Aster sericeus</i>	Silky Aster	0.25
<i>Baptisia leucophæa</i>	Cream wild indigo	0.10
<i>Cornus aschiioides</i>	Wild hyacinth	0.75
<i>Cornepala lanceolata</i>	Sand Coreopsis	1.00
<i>Dioclethron mesoëa</i>	Shooting Star	0.05
<i>Geranium maculatum</i>	Wild Geranium	0.05
<i>Ruellia humilis</i>	Wild Petunia	0.50
<i>Solidago nemoralis</i>	Old Field Goldenrod	0.50
		Total
		5.60

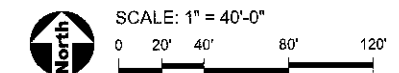
PLANT LIST

QTY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
SHADE TREES				
2.5"	cal.	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	B&B
2.5"	cal.	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shedemaster'	Shademaster Honeylocust	B&B
2.5"	cal.	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	B&B
2.5"	cal.	<i>Ulmus</i> 'Homestead'	Homestead Elm	B&B
0	Total			
ORNAMENTAL TREES				
6"	ft.	<i>Amelanchier x grandiflora</i> 'Autumn Applesauce'	Autumn Applesauce Serviceberry	B&B
0	Total			
EVERGREEN TREES				
4"	ft.	<i>Picea pungens</i> var. <i>glauca</i>	Colorado Blue Spruce	B&B
0	Total			
EVERGREEN SHRUBS				
24"	x 24"	<i>Buxus</i> 'Green Mound'	Green Mound Boxwood	B&B or Pot
24"	x 24"	<i>Taxus x media</i> 'Tauntoni'	Taunton Yew	B&B or Pot
#5	cont.	<i>Juniperus chinensis</i> var. <i>sargentii</i> 'Viridis'	Green Sargent Juniper	Pot
0	Total			
DECIDUOUS SHRUBS				
#5	cont.	<i>Cornus sericea</i> 'Cardinal'	Cardinal Redtwig Dogwood	B&B or Pot
18"	ht.	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	B&B or Pot
#5	cont.	<i>Rosa</i> 'Radtkopink'	Knock Out Pink Double Rose	Pot
30"	ht.	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	B&B or Pot
#5	cont.	<i>Physocarpus opulifolius</i> 'Mandia'	Mandia Ninebark	Pot
#5	cont.	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	B&B or Pot
#5	cont.	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	B&B or Pot
0	Total			
PERENNIALS & GROUNDCOVERS				
1	gal.	<i>Heemerocallis</i> 'Going Bananas'	Going Bananas Daylily (50% mix)	Pot
1	gal.	<i>Heemerocallis</i> 'Summer Wine'	Summer Wine Daylily (50% mix)	Pot
1	gal.	<i>Nepeta racemosa</i> 'Walker's Low'	Walker's Low Catmint	Pot
1	gal.	<i>Vinca minor</i>	Periwinkle	Pot
0	Total			

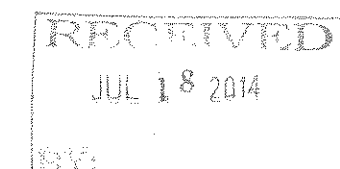
GENERAL NOTES: LANDSCAPE

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- Plants shall be in healthy, vigorous condition, free of dead or broken branches, frost cracks, broken branches, or damage of any kind. Plants shall have a full, even, well developed branching and dense, fibrous, and vigorous root system.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing. In no case shall plant material be smaller than indicated in the plans.
- Planting and seeding shall be under favorable weather conditions, and shall begin after April 1 and complete by June 15, or shall begin after Sept. 1 and complete by Dec. 1.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch. Beds and tree rings (6' diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring. All weeds and their root system shall be removed prior to mulching. Mulch shall not touch bark of tree trunks.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by rototilling 2" of Mushroom Compost into new beds.
- Shade trees shall have a clear trunk free of branching to a minimum height of 8'-0". Overall tree height shall be between 12'-14" and no more than 18" in height. Trees shall be balled and burlapped.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification. Turf mixes shall be installed and lawn established at all disturbed areas.
- Contractor shall restore all areas disturbed as a result of construction.

OVERALL LANDSCAPE PLAN



2014 33



J. Condon & Associates, Inc.
 8416 BUSINESS PARKWAY
 BROWNSVILLE, ILLINOIS 61222
 P. 815.728.0968
 S. DESIGN FIRM # 184-025753

FITZPATRICK INVESTMENTS, LLC
 NASHVILLE, TENNESSEE

uplandDesign Ltd
 Landscape Architecture & Plan. Planning
 244 W. Riverside St., Chicago, Illinois 60606
 24042 Lockport St., Maitland, Illinois 60154
 310-334-0291, www.uplanddesign.com

S. DESIGN FIRM # 050-007767

SCALE
 1"=40'

ISSUE DATE
 05/28/2014

PROJECT MANAGER
 JEC

DESIGNER
 LD

QUALITY CONTROL
 MK

OFFICIAL ROAD PROJECT
 CRYSTAL LAKE, ILLINOIS

NO.	DATE	DESCRIPTION
	05-28-2014	City Review
	06-09-2014	City Resubmittal
	07-14-2014	Final PUD Approval

PROJECT NUMBER
 JOB NUMBER
 SHEET TITLE
 LANDSCAPE PLAN
 SHEET NUMBER
 L 100

