



#2014-40
Boyer – Rezoning and SUP
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	October 1, 2014
<u>Request:</u>	Rezoning from M-L Manufacturing Limited to B-4 Downtown Commercial and a Special Use Permit to allow a single-family attached first floor residential use in the B-4 zoning district.
<u>Location:</u>	171 S. Main Street
<u>Acreage:</u>	Approximately 19,300 square feet – 5,750 square-foot building
<u>Existing Zoning:</u>	M-L Manufacturing Limited
<u>Proposed Zoning:</u>	B-4 Downtown Commercial
<u>Surrounding Properties:</u>	North: M-L Manufacturing Limited South: M Manufacturing East: M Manufacturing West: (Across Main Street) R-2 Single Family Residential
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- Existing Use: The site contains an existing manufacturing/office building.
- Previous Approvals: 2005 Annexation and zoning from I-1 Light Industry in McHenry County to M-L Manufacturing Limited. The site was annexed as is with the improvements as they exist today.
- Request: The petitioner is requesting a rezoning from M-L to B-4 as well as a Special Use Permit.

Development Analysis:

Land Use/Zoning

- The site is currently zoned M-L Manufacturing Limited. The petitioner is requesting a zoning change to B-4 Downtown Commercial to allow the building to be used for retail sales, showroom, office, storage and residential uses.

- The land use map shows the area as Mixed Use. This is an appropriate land use designation for B-4 zoning or a multi-use building. Additional Downtown zoning criteria is listed below in the findings of fact section.
- The petitioner is also requesting a Special Use Permit. Residential is permitted in the B-4 zoning district as upper story only. This would be residential on the first floor.

Site Layout

- There is an existing driveway off Main Street leading to a back parking area and overhead garage doors.
- The petitioner will maintain the driveway and parking access for his residential parking as well as customers to the office, showroom or retail portion of the building.

Building Elevations

- The building is constructed of brick with large glass windows along the front. The petitioner plans to do maintenance work and add architectural details to enhance the building.

Parking

- The project requires 2 spaces for the residence + 4.8 spaces for the office space + 4 spaces for the workroom for Lifestyle and White Oak Industries (home furnishing stores) for a total of 11 parking spaces.
- All parking must be on a paved surface and striped with the appropriate number of spaces and accessible spaces.

Findings of fact:

REZONING

- The property is currently zoned M-L Manufacturing Limited.
- The property would be rezoned to B-4 Downtown Commercial. The Downtown zoning criteria are:
 - ✓ General: This district is for the City's historic downtown and its immediate surroundings and for any new intense commercial and residential development servicing a transit stop. It is to permit a mix of commercial uses, as well as high-density residential uses. Mixed-use with offices or residential uses on the upper floors is encouraged. This district is not appropriate or warranted in any location other than the historic downtown, its expansions and new transit-oriented development.
 - ✓ Character: This district is characterized by multi-story buildings that create a mass of buildings occupying the entire block. Zero front and side yard setbacks are integral to the character of this district. Structured parking is encouraged to achieve the desired densities.
 - ✓ Uses: This district encourages mixed use. Retail, food service and service businesses are desired on the street level. Upper levels should provide for office and residential uses. A significant residential population is intended to provide a need for convenience and neighborhood-serving businesses.

Criteria for Rezoning

(a) The existing uses and zoning of nearby property.

Meets *Does not meet*

(b) The extent to which property values are diminished by a particular zoning classification or restriction.

Meets *Does not meet*

(c) The extent to which the destruction of property value of a petitioner property owner promotes the health, safety, morals or general welfare of the public.

Meets *Does not meet*

(d) The relative gain to the public as opposed to the hardship imposed on a petitioning property owner.

Meets *Does not meet*

(e) The suitability of the subject property for its zoned purposes.

Meets *Does not meet*

(f) The length of time the property has been vacant as zoned, considered in the context of land development in the area.

Meets *Does not meet*

(g) The Comprehensive Plan designation and the current applicability of that designation.

Meets *Does not meet*

(h) The evidence or lack of evidence, of community need for the use proposed.

Meets *Does not meet*

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit to allow a single-family attached dwelling in the B-4 zoning district as a first floor use not an upper story residence. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.

Meets *Does not meet*

2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.

Meets *Does not meet*

3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*
6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*
7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*
8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*
9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.
 Meets *Does not meet*
10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.
 Meets *Does not meet*

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Mixed Use, which allows for a blend of commercial, office and residential uses. The following goal is applicable to this request:

Land Use: Industry

Goal: Balance the various land uses within the city to create more compact, mixed-use livable neighborhoods while providing a variety of housing, jobs, transportation options and business services.

This can be accomplished with the following supporting action:

Supporting Action: Maintain compatibility with adjacent land uses throughout the city and with neighboring communities.

Success Indicator: Approval of zoning requests which comply with the adopted Comprehensive Plan Land Use Map.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request for a Final PUD approval for Phase 1 is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Boyer, received 09/11/14)
 - B. Application Packet Narrative (Boyer, received 09/15/14)
2. The petitioner shall submit a complete set of building permit plans for any interior alterations and is required to meet all life-safety codes for all commercial, office and residential uses.
3. All parking areas shall be on a paved surface with at least 1 enclosed space for the residence and 11 additional striped spaces.
4. The petitioner shall address all of the review comments and requirements of the Community Development and Fire Rescue Departments.

**City of Crystal Lake
Development Application**

Office Use Only

File #

2014

40

Project Title: 171 S. Main Street, Neil Boyer

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input checked="" type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

SEP 11 2014

Petitioner Information

Name: Neil E & Carmen W. Boyer

Address: 4 White Oak Court
Algonquin, IL. 60102

Phone: 847-922-0729

Fax: _____

E-mail: neilb@lifestyletrans.com

Owner Information (if different)

Name: James F & Sue H. McNeil

Address: 95 Faringdon Ct.
Crystal Lake, IL. 60014

Phone: 815-459-7578

Fax: _____

E-mail: JFSHM7585@yahoo.com

Property Information

Project Description: Change Zoning to B-4 Downtown Commercial with
a Special Use Permit to allow single family residential,
not as an upper story residence, to allow multi use building
for warehouse, storage, estate sales office, showroom, manufacturing
for furniture, refurbishing furniture and a residence on ground level

Project Address/Location: _____

171 S. Main Street, Crystal Lake, IL. 60014

PIN Number(s): 19-04-157-005

Development Team

Please include address, phone, fax and e-mail

Developer: TBD

Architect: TBD

Attorney: Karlen R. Covey 7908 Route 15, Crystal Lake, IL. 60012

Engineer: TBD

Landscape Architect: TBD

Planner: TBD

Surveyor: TBD

Other: _____

Signatures

NEIL E. BOYER *Neil E Boyer* 9/11/14

CARMEN W. BOYER

Carmen W Boyer 9/11/14

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Development Team

Please include address, phone, fax and e-mail

Developer: TBD

Architect: TBD

Attorney: Karlen R. Covey 7908 Route 15, Crystal Lake, IL. 60012

Engineer: TBD

Landscape Architect: TBD

Planner: TBD

Surveyor: TBD

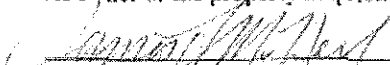
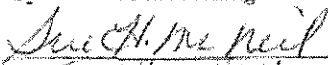
Other: _____

Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

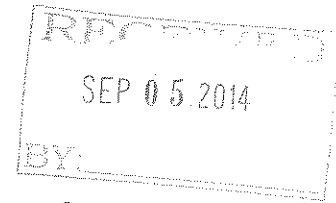
As owner of the property in question, I hereby authorize the seeking of the above requested action.

		<u>9/11/14</u>
OWNER: Print and Sign name <u>JAMES F. McNEIL</u>	<u>Sue H. McNeil</u>	Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

BEFORE THE PLANNING AND ZONING COMMISSIONS
OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION OF)
Neil E. Boyer and Carmen W. Boyer,)
Contract Purchasers and James F. McNeil)
And Susan H. McNeil, Owners)



PETITION TO RECLASSIFY PROPERTY
AND FOR A SPECIAL USE PERMIT

2014 40

Now comes the Petitioners, JAMES F. McNEIL and SUSAN H. McNEIL, Owners, and NEIL E. BOYER and CARMEN W. BOYER, Contract Purchasers, by and through Attorney, KARLEN R. COVEY, request the Planning and Zoning Commissions of the City of Crystal Lake to reclassify the property from M-L Manufacturing Limited to B-4 Downtown Commercial, with a Special Use Permit to allow a multi-use building with single family residential on the ground floor, rather than the upper floor, as permitted by ordinance and in support thereof, Petitioners state:

1. That the property which is the subject of this Petition is legally described as follows:

See Exhibit A Attached

PIN: 19-04-157-005

2. Said property is currently classified under the Zoning Ordinance of the City of Crystal Lake as M-L Limited Manufacturing. At present, the property contains a factory, warehouse, and office facility.

3. The property is located at 171 S. Main Street in Crystal Lake, Illinois.

4. The entire property, which is the subject of this Petition, is 141 x 120 x 214 x 140 feet, more or less.

5. The property is surrounded by land zoned as follows: Northwest – B-4 and R-3B PUD; North – M PUD; East – M; and South – M; West – R-2 separated by Main Street and railroad right of way.

6. The requested zoning of B-4 Downtown Commercial under the Crystal Lake Zoning Ordinance is consistent with the surrounding areas in the City of Crystal Lake under the Crystal Lake Zoning Ordinance. The City Comprehensive Plan calls for mixed-use on the property and the surrounding areas.

7. The property is well suited for B-4 Downtown Commercial, as it is situated in an area that contains manufacturing, office, residential, commercial and business uses. Furthermore, the surrounding property uses and the trend of development in the area is consistent with the proposed changes.

8. Petitioners also seek a Special Use Permit to allow single family residential, not as an upper story residence, to allow a multi-use building for warehouse, storage, estate sales, office, showroom, manufacturing for furniture refurbishing and a residence, on the ground level, pursuant to Article 2 Sections 2-300, 2-400 C and Article 9 Sections 9-200 A and D.

9. The Reclassification and Special Use Permit requested for the parcel described above will not materially impair an adequate supply of light or air to the surrounding properties, increase the hazards of fire or other dangers, diminish property values in the surrounding areas or the taxable value of land and buildings of the City and throughout the City, increase the congestion of public streets, or impair the public health, safety, comfort, morals and general welfare of the City.

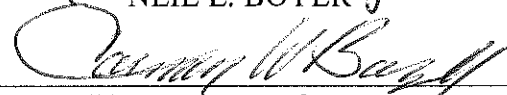
10. The property's current use is vacant light manufacturing, storage and office.

WHEREFORE, the Petitioners respectfully requests the Crystal Lake Planning and Zoning Commissions entertain this Petition, set a date, time and place for a hearing on this matter. Further, Petitioners pray that after such hearing and as a result thereof, the Board recommends to the City Council of Crystal Lake that the parcel be re-classified as B-4 Downtown Commercial, and that a Special Use Permit be granted to allow single family residential on the ground level, rather than the upper level, of a multi-use building under the terms and conditions of the City of Crystal Lake Zoning Ordinance.

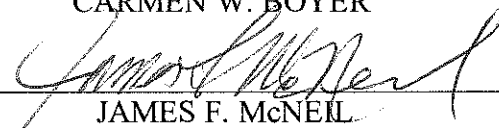
Respectfully submitted,



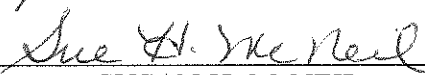
NEIL E. BOYER



CARMEN W. BOYER



JAMES F. McNEIL



~~SUSAN~~ H. McNEIL
Sue

Prepared by:
Karlen R. Covey
COVEY & COVEY
7908 Rt. 14, Suite B
Crystal Lake, IL 60012
Ph. (815) 459-2232

EXHIBIT A

PRIOR POLICY/STARTER FILE

STARTER FILE SINCE DATE:

STARTER FILE TITLE VESTING:

STARTER EFFECTIVE DATE: JUNE 2, 1986;

STARTER VESTING:
JAMES F. MCNEIL AND SUE H. MCNEIL, HUSBAND AND WIFE, IN JOINT TENANCY

COVER DATE OF THIS NEW SEARCH: AUGUST 8, 2014

LEGAL DESCRIPTION:

THE SOUTH 120 FEET OF THE NORTH 200 FEET (MEASURED ALONG THE WEST LINE OF THE NORTHWEST QUARTER) OF THAT PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 4, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING ON THE WEST LINE OF SAID SECTION AT THE SOUTHWEST CORNER OF A PIECE OF LAND CONVEYED BY HENRY BURMEISTER AND WIFE TO CHARLES W. WELLE AND CAROLYN J. WELLE, BY DEED DATED APRIL 25, 1942 AND RECORDED IN BOOK 252 OF DEEDS, PAGE 438; THENCE EAST, ON THE SOUTH LINE OF LAND SO CONVEYED TO THE WESTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD SPUR, AS CONVEYED TO THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY BY DEED DATED OCTOBER 19, 1926 AND RECORDED IN BOOK 180 OF DEEDS, PAGE 11; THENCE SOUTHWESTERLY ALONG THE WESTERLY LINE OF SAID RIGHT OF WAY OF CHICAGO AND NORTHWESTERN RAILROAD COMPANY, TO THE INTERSECTION OF SAID LINE WITH THE WEST LINE OF SAID SECTION; THENCE NORTH ALONG SAID SECTION LINE, TO THE PLACE OF BEGINNING, IN TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS.

**BEFORE THE PLANNING AND ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE PETITION OF)
Neil E. Boyer and Carmen W. Boyer,)
Contract Purchasers and James F. McNeil)
And Susan H. McNeil, Owners)

2014 40

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission on the application by Neil E. Boyer and Carmen W. Boyer for the purposes of Rezoning the property to B-4 and seeking a Special Use Permit to allow a multi-use building at 171 S. Main Street, Crystal Lake, Illinois. PINs: 19-04-151-005.

This application is filed for the purpose of Rezoning the property from M-L Manufacturing Limited to B-4 Downtown Commercial and seeking a Special Use Permit to allow single family residential not as an upper story residence to allow a multi-use building for warehouse/storage, estate sales, office, a showroom, manufacturing for furniture refurbishing and a residence pursuant to Article 2 Section 2-300, 2-400 C and Article 9 Sections 9-200 A and D. Plans for this project can be viewed at the Crystal Lake community Development Department at the City Hall.

A public hearing before the Planning and Zoning Commission on this request will be held at 7:30 p.m. on Wednesday October 1, 2014 at the Crystal Lake City hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

Application
For
Rezoning and Special Use Permit

171 South Main Street
Crystal Lake, IL 60014



Submitted
by
Carmen & Neil Boyer
4 White Oak Court
Algonquin, IL 60102



September 11, 2014

To The City of Crystal Lake, IL,

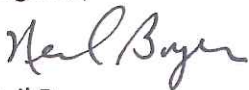
As owners of home based businesses we have long hoped to find a building and a location that would allow us to grow and expand our businesses and serve as our residence. We believe the building at 171 S. Main Street is that building. Looking at the building in its current condition it is sad to see such a classic mid-century structure in such disrepair and the landscape so poorly maintained. We are sure that the City would like to see a better alternative to welcoming residents and visitors to downtown Crystal Lake.

Are intentions for the building are:

- Completely restore the exterior brick structure and repair the leaking roof.
- Add architectural detail (awnings, doors, windows, etc) to enhance the building appearance.
- Add landscaping to the front to enhance the curbside appeal.
- Add landscaping and parking resurfacing to enhance the rear portion of the property.
- Reconfigure and modernize the building interior to include:
 - 1200 SF of office space for rental
 - 2000 SF of personal residential space
 - 2000 SF of office/workroom space for Lifestyle Transitions and White Oak Interiors

This building will allow us to create a personal living space and operate our businesses while providing a space for the community to see what is possible in redeveloping a building. Our past success in managing renovations for our clients and ourselves gives us the confidence we can create an exciting new element to the City's landscape. We are excited about the project and look forward to working with the City to achieve our dream.

Regards,



Neil Boyer
Lifestyle Transitions Inc.
4 White Oak Ct.
Algonquin, IL 60102
www.lifestyletrans.com
neilb@lifestyletrans.com
Telephone 224-828-0148



Carmen Boyer
White Oak Interiors, Inc
4 White Oak Ct.
Algonquin, IL 60102
www.whiteoakinteriors.com
carmen@whiteoakinteriors.com
Telephone 847-854-8892

The Businesses

Lifestyle Transitions Inc. (LTI), www.lifestyletrans.com, provides services to individuals and families who need assistance in household downsizing or estate dispersal. Individuals and families are often in a quandary in how to reduce or eliminate a lifetime collection of personal items, furniture and “stuff”. We assist by conducting at-home estate/moving sales and working with area charities for donation purposes. LTI is a member of the National Association of Senior Move Managers, American Society of Estate Liquidators and McHenry County Task Force on Aging. This building will allow the expansion of the current consignment business by providing increased storage and prep area for items to be sold online and at future sales.

White Oak Interiors, Inc. (WOI), www.whiteoakinteriors.com, is a full service interior design and decorating business. Serving Chicagoland since 1996 WOI provides services to residential and commercial clients that cover all facets of interior space. Projects range from selecting furniture and custom window treatments to kitchen and office space makeovers. Working with a team of skilled area craftsmen has allowed WOI to build a reference base of clients by delivering projects on time and in budget. This building will allow WOI to create a showroom for clients to see and explore the possibilities of their project while working with WOI. WOI is a member of the Decorator's Alliance National Association, Northern Kane County Chamber of Commerce and the Women's Leadership Network.

Current Views
of
171 South Main Street, Crystal Lake, IL 60014



Artist Renderings

Of

Future

171 South Main Street
Crystal Lake, IL 60014

Views

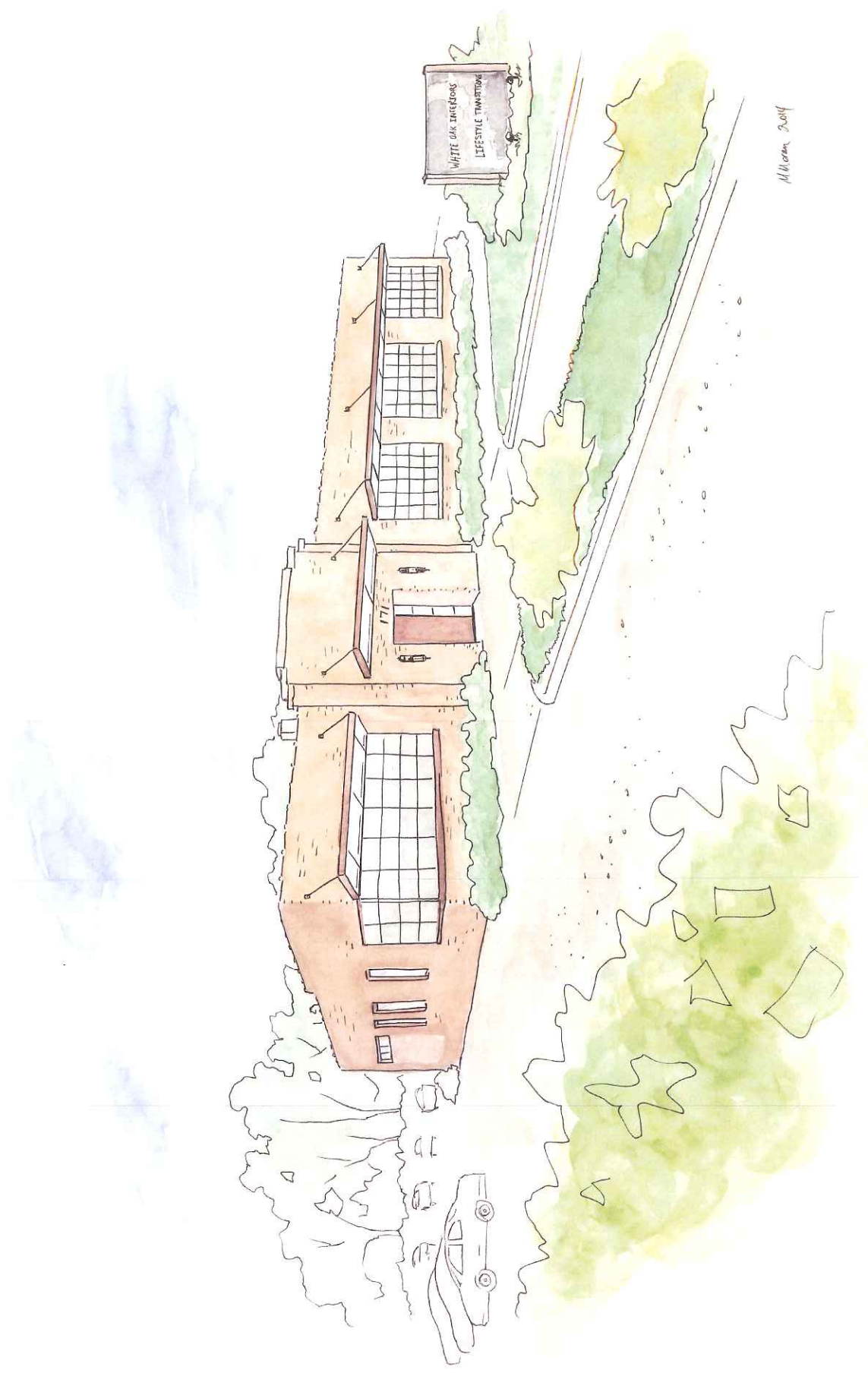
Front-West

Rear-East

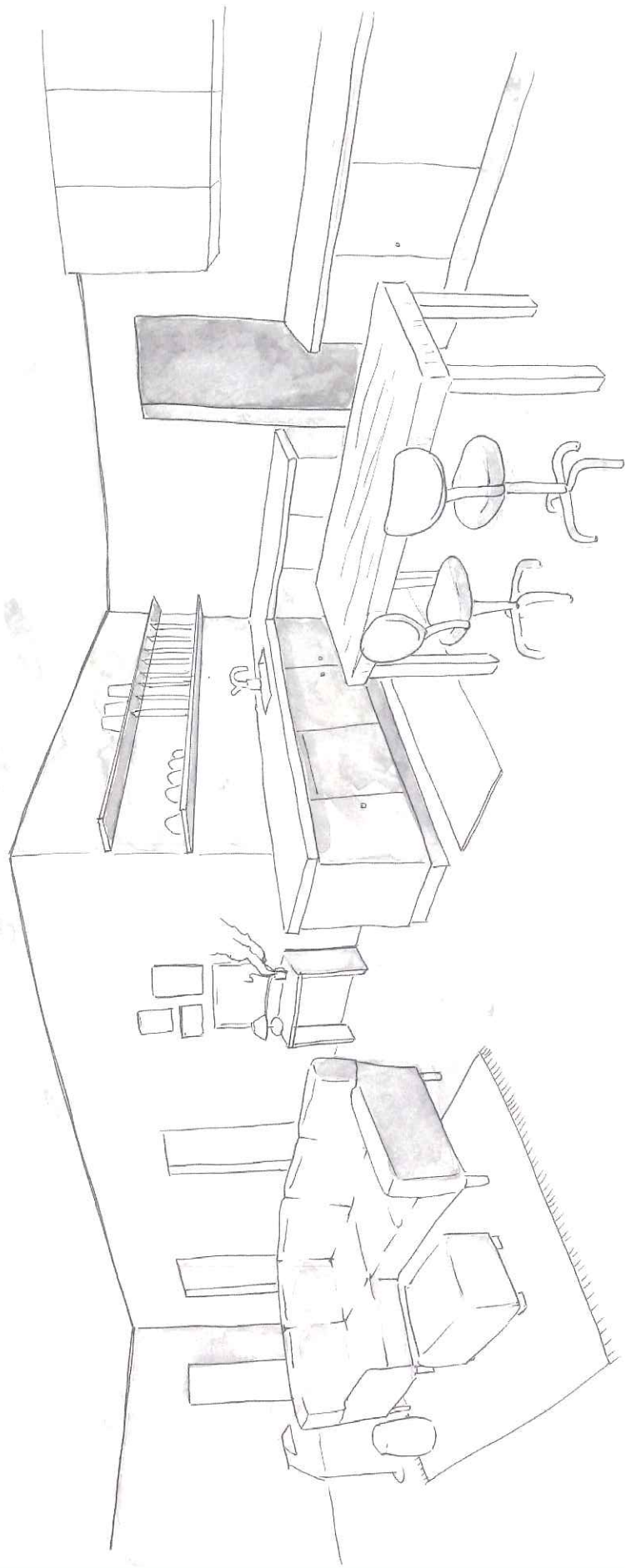
Interior

Floor Plan

Note: Artistic license taken with front view showing
parking on North side of building.

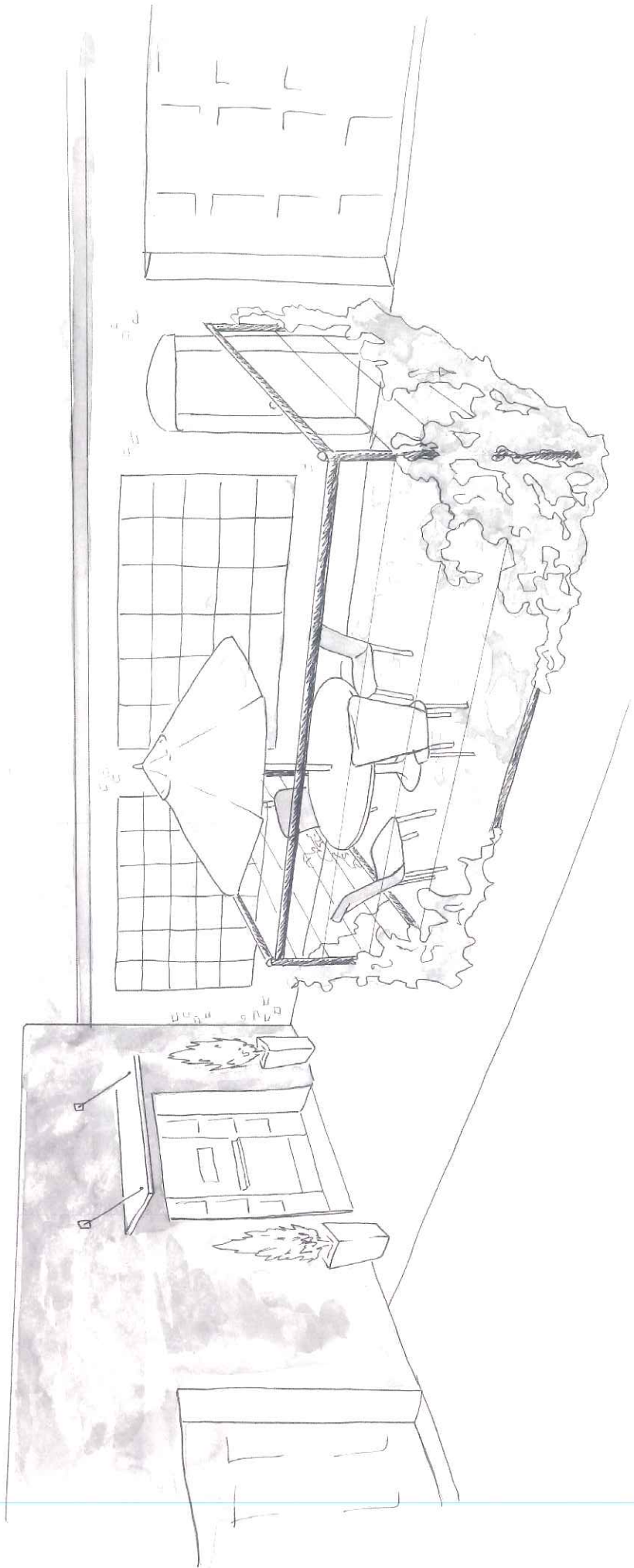


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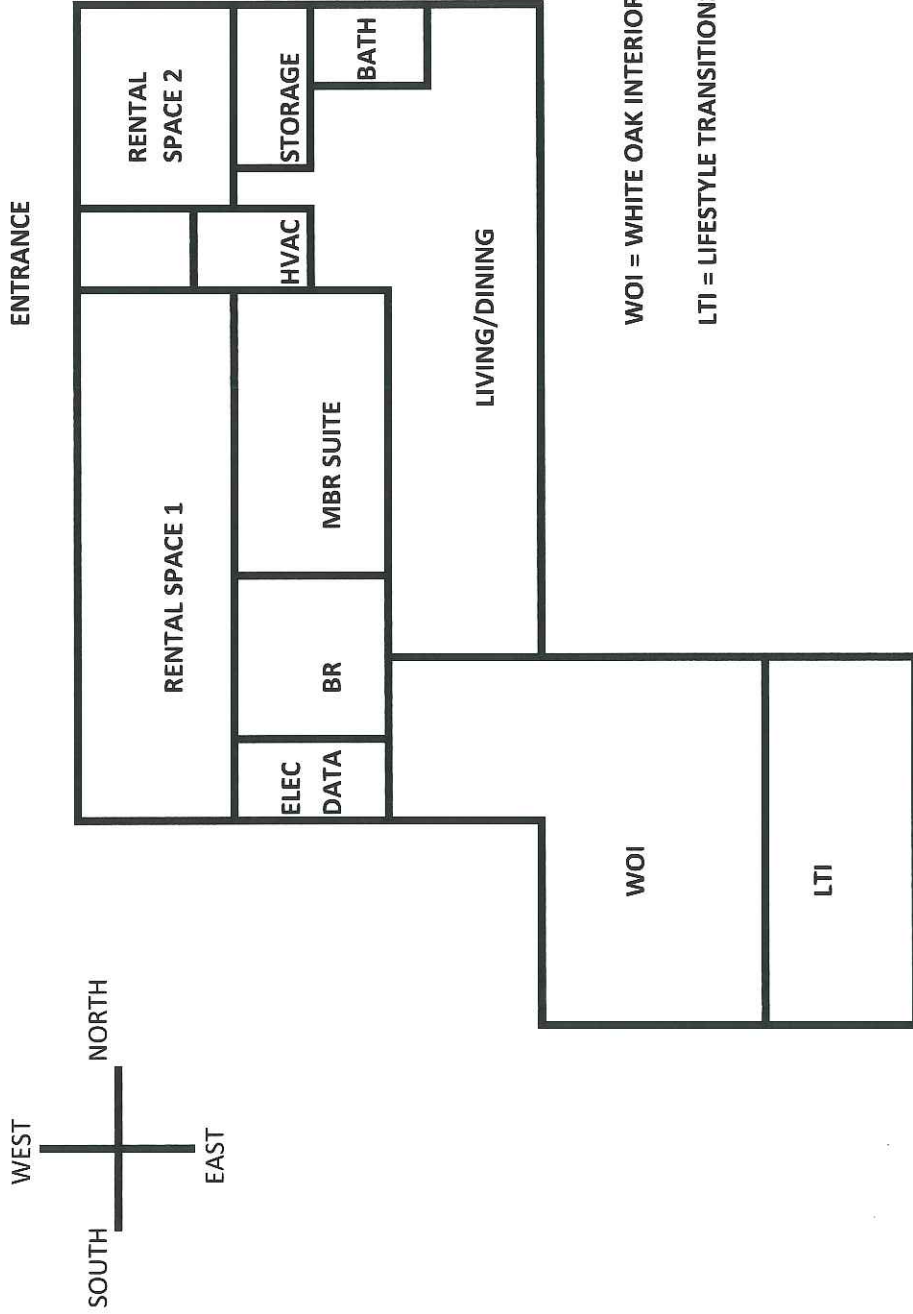
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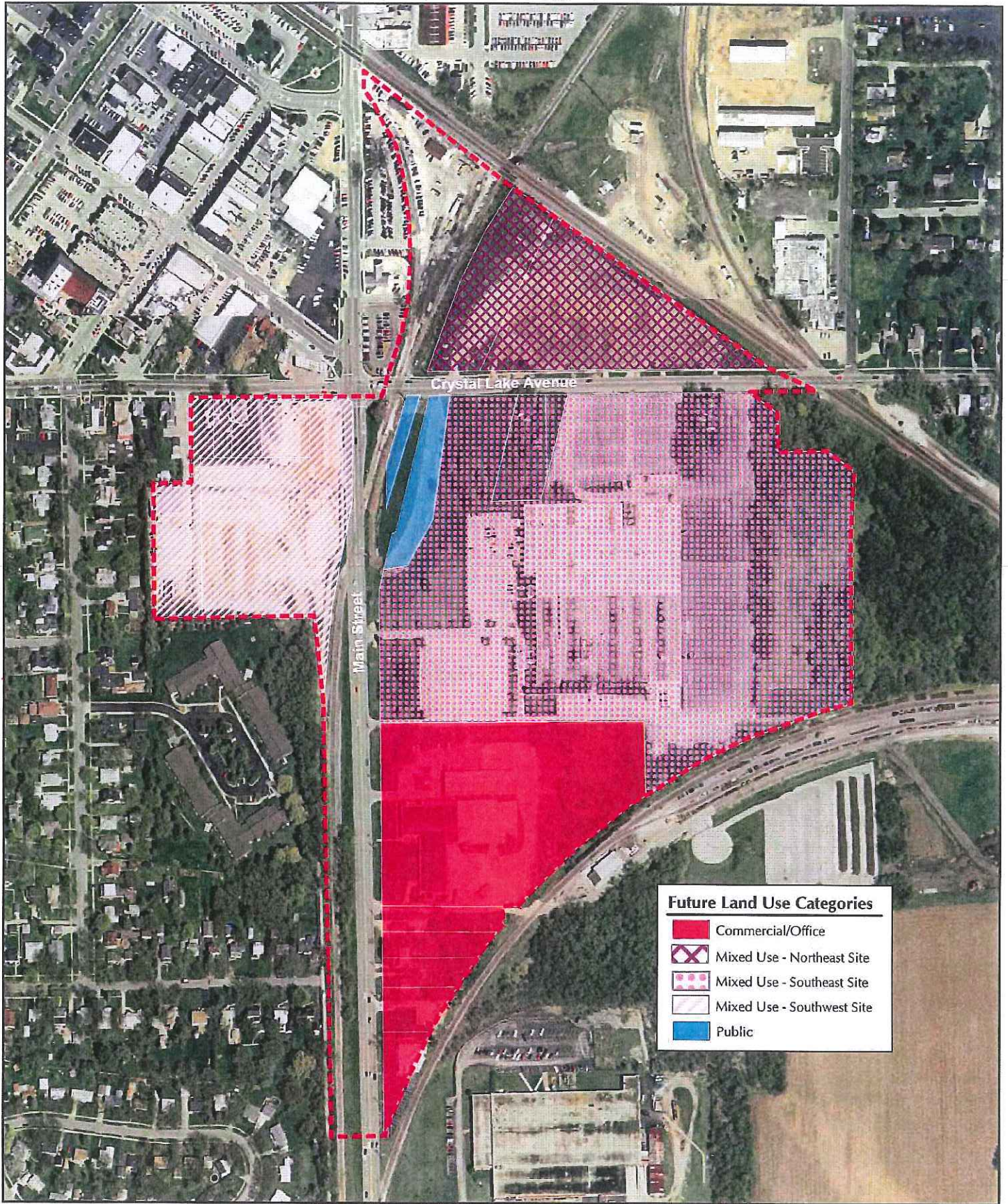
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CONCEPTUAL FLOOR PLAN

171 S. MAIN ST., CRYSTAL LAKE, IL 60014

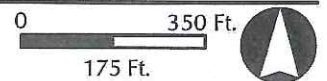




Map 3: Future Land Use

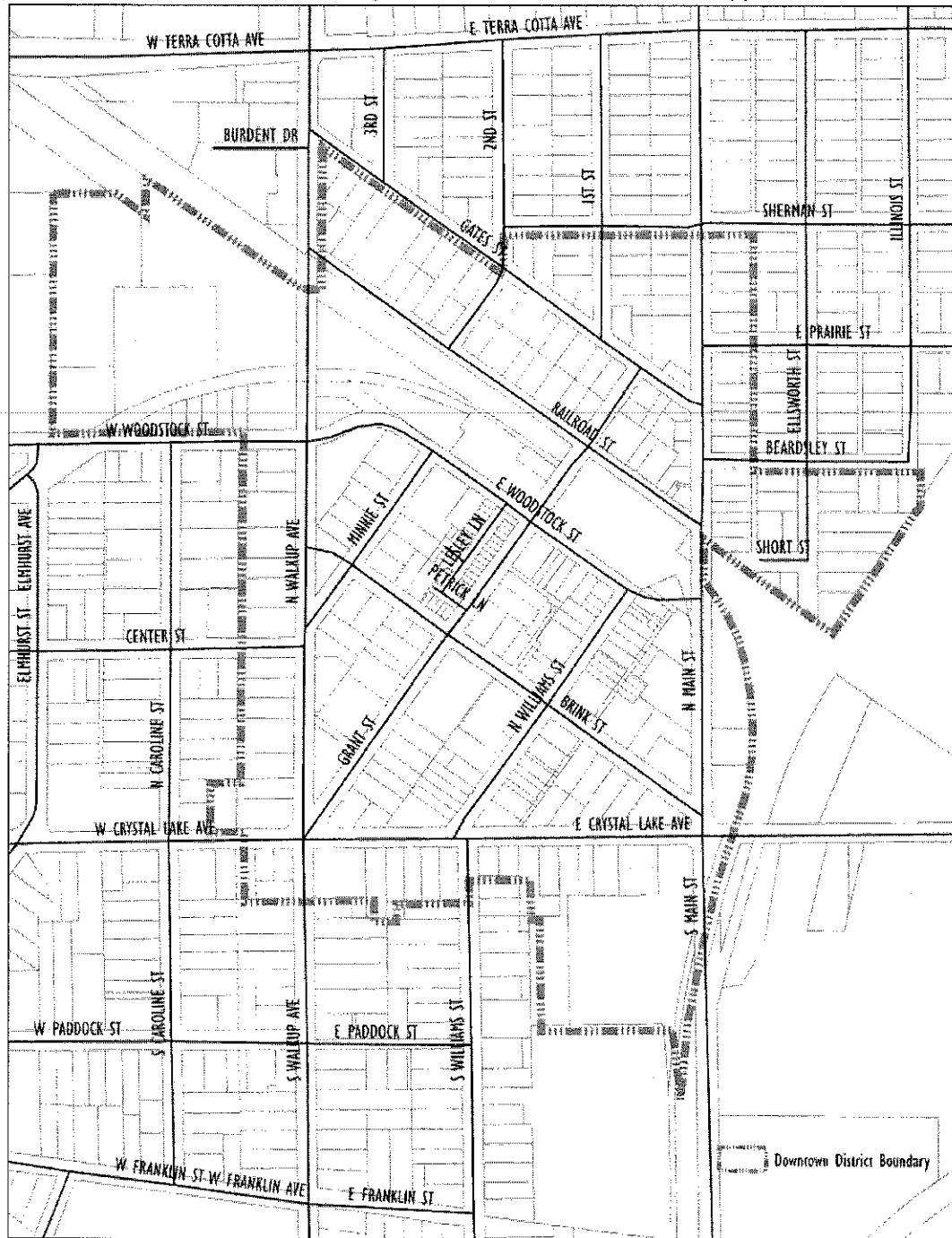
Crystal Lake Ave and Main St TIF Redevelopment Plan
 City of Crystal Lake, Illinois

August 24, 2005



SECTION A-1300 DOWNTOWN DISTRICT

The boundaries of the Downtown District are delineated below. This delineation does not imply that properties within this district are zoned "B-4" Downtown Business. Rather, it indicated properties where provisions pertaining to the 'Downtown District' are applicable.



DOWNTOWN DISTRICT