



#2014-41 103 Sunnyside Avenue (Dimopoulos) – Variation Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	October 1, 2014
<u>Request:</u>	Variation from Article 3-200, 7-200B (iii) and 7-300B 4 from the minimum front yard setback requirements to allow a 40-foot encroachment of a covered front porch that will be added to the existing nonconforming principal structure.
<u>Location:</u>	103 Sunnyside Avenue
<u>Acreage:</u>	19,500 square feet
<u>Existing Zoning:</u>	R-2 Single Family
<u>Surrounding Properties:</u>	North: W Watershed (Park) South: R-2 Single Family East: R-2 Single Family West: R-2 Single Family
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3798)

Background:

- **Existing Use:** The property is improved with a single family home. The principal structure has a front yard setback of 18 feet and the required front yard setback for the property is 57 feet, due to the setbacks of the two closet structures.
- **Background:** The property is nonconforming due to the property not meeting the front yard setback requirement as outlined in the UDO for R-2 zoning. The property will be remodeled. The remodel includes a first floor addition to the existing structure, 3-car attached garage, second floor addition, new covered front porch and a conversion of the existing detached garage to a garden shed. The petitioner is requesting a variation from the front yard setback. The proposed covered porch would extend 1-foot from the current footprint of the existing principal structure. The proposed covered front porch would therefore increase the encroachment of the front yard setback, creating a 40-foot encroachment.
- **UDO Requirements:** The front yard setback is the average existing setback of the dwellings on the two closest lots. The two closest lots are 125 and 117 Sunnyside Avenue. The average front-yard setback is 57 feet $((90+24)/2 = 57)$.

Development Analysis:

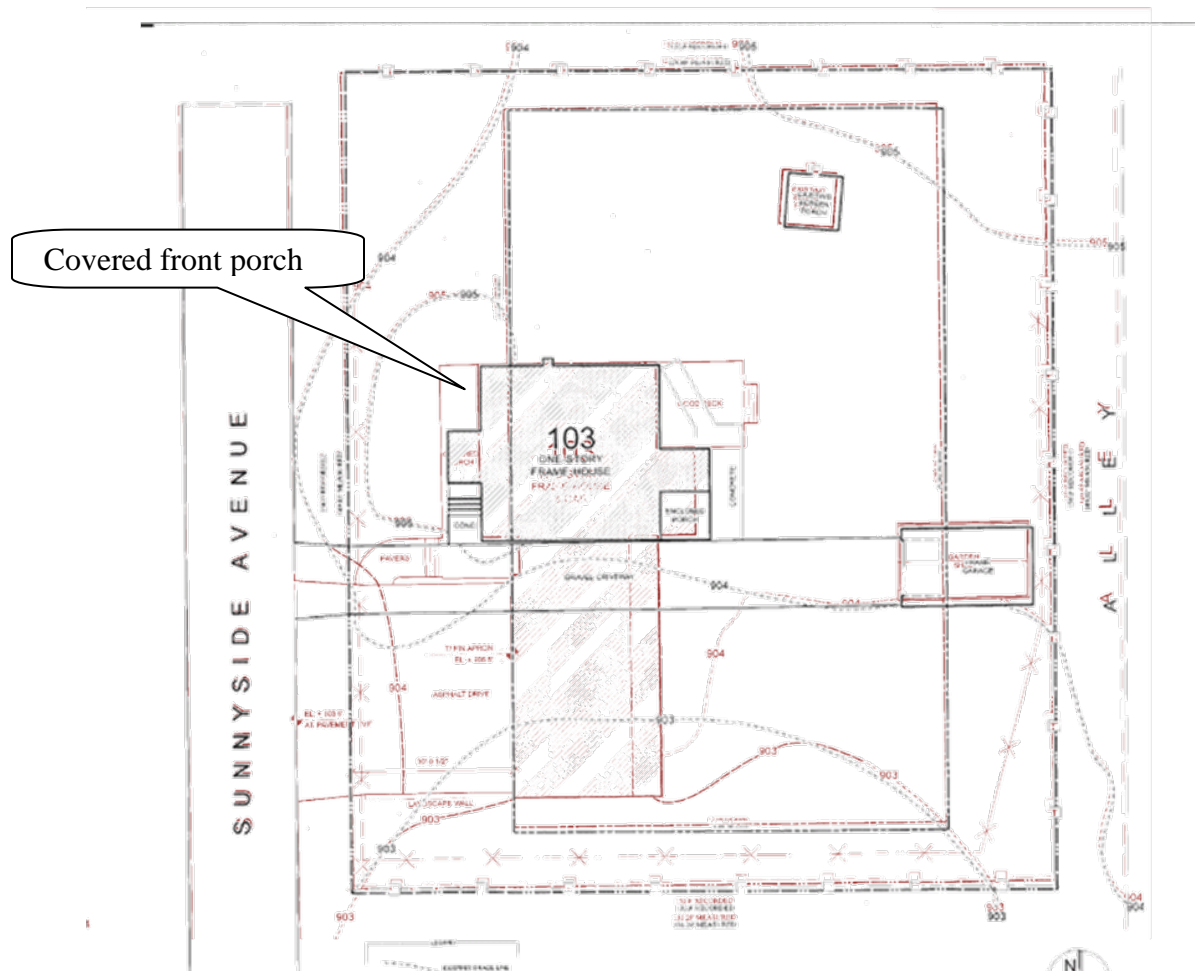
General

- **Request:** The addition of a covered front porch to the existing principal structure will encroach on the front yard setback requirement. The existing principal structure is currently within the 57-foot required front yard setback. The principal structure currently has an encroachment of 39 feet and the porch addition will add 1-foot to the existing encroachment, creating a 40-foot encroachment. A variation is required to increase the nonconformity use and increase the encroachment of the front yard setback to 40 feet.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- **Zoning:** The site is zoned R-2 Single Family. This property is used as single-family home.

Site Layout

- The existing principal structure has a front yard setback of 18 feet.
- The required front yard setback is 57 feet.
- The covered front porch will run the length of the existing structure and will increase the front yard encroachment by 1-foot.

Current and Proposed Site Layout Overlay
(Existing in black and proposed in red)



Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3-200, 7-200B (iii) and 7-300B 4 to allow an encroachment of 40 feet into the required front yard setback. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Dimopoulos, received 09/05/14)
 - B. Survey (Luco Construction Company, dated 09/27/13, received 09/05/14)
 - C. Building Renovation and Addition (Reece Architects, dated 08/22/14, received 09/12/14)
1. The variation from Article 3-200, 7-200B (iii) and 7-300B 4 from the minimum front yard setback requirement to allow a 40-foot encroachment of a new covered front porch is hereby granted.
2. The addition to the property may not increase the encroachment of the front yard setback by more than 1-foot, totaling in a maximum encroachment of 40 feet.
3. Style, colors and materials shall be complementary to the principal structure.
4. The petitioner shall address all of the review comments and requirements of the Community Development Department, Public Works Department, and Fire Rescue Department.

2014 41

RECEIVED
SEP 05 2014
BY:

Application for Simplified Residential Variation

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

I. Applicant

Corbie Dimopoulos
Name

103 Sunnyside Ave
Street

Crystal Lake IL 60014
City State Zip Code

(815)970-2515 cabgrrr@gmail.com
Telephone Number Fax Number E-mail address

II. Owner of Property (if different)

Name

Address Telephone Number

III. Project Data

1. a. Location/Address: 103 Sunnyside Ave.

b. PIN #: 18-01-203-001/002/003

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

We would like to extend front porch of our house during our remodel to run the length of the house. The new porch is estimated to be 1' deeper than existing porch, drawing it closer to the street.

IS THE HARDSHIP SELF-CREATED? yes

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION? yes

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

yes

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY? no

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUBSTANTIALLY INCREASE THE DANGER OF FIRE; OR ENDANGER PUBLIC SAFETY? no

3. List any previous variations that are approved for this property: _____

IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Cecilia A. Ojeda

09/05/14

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION OF
THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS**

**IN THE MATTER OF THE APPLICA-
TION OF Corbie Dimopoulos**

LEGAL NOTICE

Notice is hereby given in compli-
ance with the Unified Development
Ordinance (UDO) of the City of
Crystal Lake, Illinois, that a public
hearing will be held before the
Planning and Zoning Commission
of the City of Crystal Lake upon the
application of Corbie Dimopoulos
for variations relating to the follow-
ing described real estate commonly
known as 103 Sunnyside Avenue,
Crystal Lake, Illinois 60014, PIN:
18-01-203-001, 18-01-203-
002, 18-01-203-003

This application is filed for the
purpose of seeking zoning varia-
tions pursuant to Articles 3-200, 7-
200B (ii), and 7-300B 4 of the
UDO, from the minimum front yard
setback requirements for a principle
structure, to allow the addition of a
covered front porch to the principal
structure, as well as any other vari-
ations that may be necessary to
complete the project as proposed.
Plans for this project can be viewed
at the City of Crystal Lake Commu-
nity Development Department at
City Hall.

A public hearing before the Plan-
ning and Zoning Commission for
this request will be held at 7:30
p.m. on Wednesday, October 1,
2014, at the Crystal Lake City Hall,
100 West Woodstock Street, at
which time and place any person
determining to be heard may be
present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
September 16, 2014. #5146)

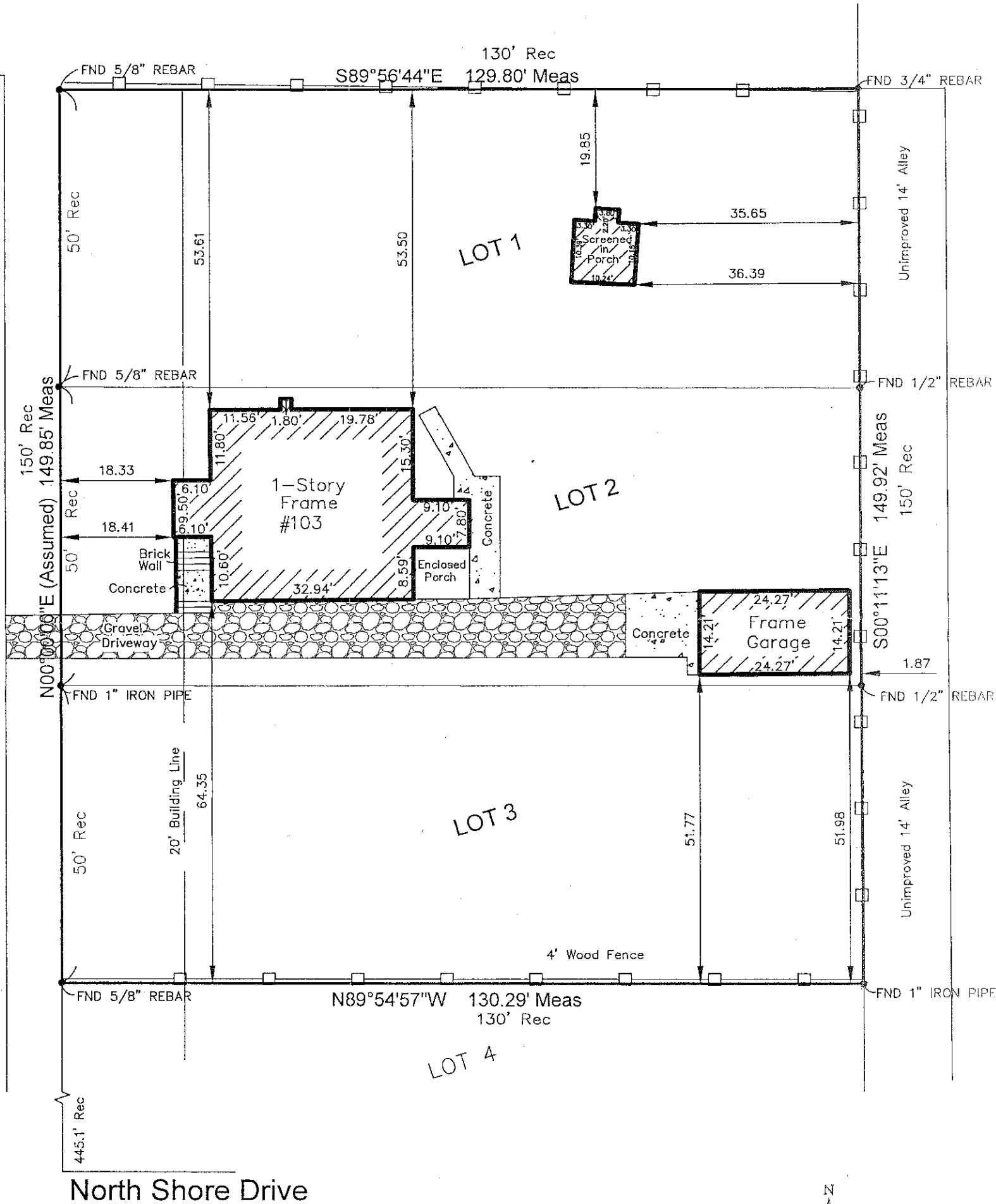
Plat of Survey

RECORDED
SEP 05 2014
BY: [Signature]

LEGAL DESCRIPTION: LOTS 1, 2 AND 3 IN BLOCK 4 IN NORTH CRYSTAL LAKE PARK BEACH SUBDIVISION, A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 26, 1925 IN BOOK 5 PLATS, PAGE 32, IN MCHENRY COUNTY, ILLINOIS.

End of Street

Sunnyside Avenue
40' Right of Way



North Shore Drive

LEGEND	
○	Set IP
●	Fnd Ip
x	Fnd "X"
□	Wood Fence
×	CL Fence
▨	Concrete
▩	Wood Deck
▧	Brick

STATE OF ILLINOIS
COUNTY OF MCHENRY

I HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREON HAS BEEN SURVEYED, UNDER MY SUPERVISION, ACCORDING TO THE OFFICIAL RECORD AND THAT THE PLAT HEREON CORRECTLY REPRESENTS SAID SURVEY.

ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

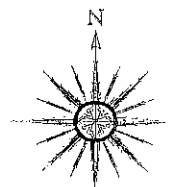
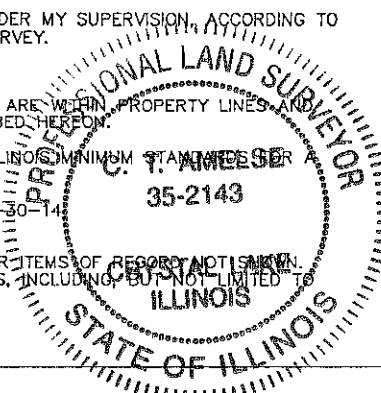
I FURTHER CERTIFY THAT UNLESS OTHERWISE SHOWN, THE BUILDINGS ON THE PARCEL ARE WITHIN PROPERTY LINES AND THE ADJOINING VISIBLE IMPROVEMENTS DO NOT ENCRANCH ON THE PROPERTY DESCRIBED HEREON.

I FURTHER CERTIFY THAT THE PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEY.

C.T. Amelse
C.T. AMELSE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2143
MY LICENSE EXPIRES: 11-30-14

COMPARE THE DESCRIPTION OF THE PLAT WITH DEED. REFER TO THE TITLE POLICY FOR ITEMS OF RECORD NOT SHOWN. NOTED UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO CONDUITS AND CABLES (IF ANY) HAVE NOT BEEN SHOWN HEREON.

VOID WITHOUT RAISED SEAL OR RED STAMP.



LUCO CONSTRUCTION CO.			
PROFESSIONAL DESIGN FIRM NO. 184.004829			
CLIENT NAME:	1145 S. Route 31 Unit I - #253		
COWLIN	Crystal Lake, IL 60014		
CLIENT REFERENCE:	815-526-3974		
RYDQUIST TRUST	815-526-3984 Fax		
FIELD WORK COMPLETED:	SURVEY COMPLETED:	DRAWN BY:	PROJECT NO.
9-26-13	9-27-13	JJp	13-32404

All work to comply with the applicable laws, codes, ordinances of the State of Illinois and the City of Crystal Lake, Illinois. These drawings and specifications shall not be changed, altered or modified without the express written permission from Reece Architects, Inc. Failure to receive permission shall invalidate the certification of the plans.

The Contractor shall be responsible for the work outlined in the drawings for demolition and new work as described in these drawings for a single-family residence at 103 Sunnyside Avenue, Crystal Lake, IL. GORN AND CORBIE DIMOPOULOS; Owners.

The Contractor shall be responsible for all means and methods of construction, safe and lawful completion of the work, including the incorporation into the structure all of the materials necessary to complete the work.

The Contractor shall be responsible to deliver to the Owners a complete and functioning building in all respects, and to accomplish this in accordance with all governing requirements. Contractor to comply with testing, mandatory and prescriptive requirements.

Workmanship shall be neat and skillful, and performed by a sufficient force of mechanics proficient in their own trade.

The Contractor shall have sole responsibility for jobsite safety is not the responsibility of the Architect or Owner. The Contractor shall confine all building operations, storage of material, etc. to jobsite property lines and in areas as allowed by Owner and by law.

The Contractor shall install and maintain a full and continuous weather-tight building envelope against all weather for the duration of the Work. Contractor to review protection plan with Owner on a regular basis during the construction period.

The Contractor, including all of the Contractor's agents, employees, sub-contractors, sub-sub-contractors, suppliers and their heirs agree to hold harmless and fully indemnify the Architects and Owners from any all and all losses arising out of the use of these drawings. The Contractor shall provide separate insurance certificates showing Reece Architects, Inc., and Gorn & Corbie Dimopoulos as additionally insured.

Contractor to provide shoring and bracing to existing structures and new structures, and as required to complete new work.

Contractor to provide sealed shop-drawings, stamped with certification by Illinois State Licensed Structural Engineer, for pre-engineered/pre-fabricated floor and roof trusses.

The Contractor shall prevent damage by workmen, vehicle and operations to the Owners property, neighboring and public properties and shall make whole any such damage.

The Contractor shall keep the premises clean at all times. The Contractor shall broom-clean the jobsite at the end of each workday.

The Contractor shall arrange for timely removal of any spoil and waste from the jobsite as required to maintain a clean and workmanlike jobsite and/or as required by ordinance.

The Contractor shall take good care and effort in recycling of construction spoils. Remove spoil from site and dispose of in a legal manner.

The Contractor shall provide all labor, materials, tools, scaffolding, temporary protection, temporary fencing, and other requirements necessary to complete the work.

The Contractor shall lay-out the work and set and maintain required benchmarks, lines, and the levels for the guidance of all trades and work.

All materials shall be industry standard. Framing lumber to be delivered to the jobsite in good condition and clean. Lumber must bear the official grade and trademark of the association under which it is graded.

Framing lumber shall have sufficient strength and rigidity to support design loads. Provide all bridging, blocking, fastening and anchoring as required.

Framing standards to comply with NFPA 'Manual for House Framing'. All materials must be free of warp.

All headers to be double-2x12's unless otherwise noted. All structural lumber, unless otherwise noted. For light framing, provide 'stud' No.3 or 'standard' grade. Sill plates to be pressure-treated lumber.

Install diagonal bridging to floor framing where nominal depth-to-thickness ratio exceeds 6, at intervals of 8 feet or as instructed by framing-member manufacturer.

All work to comply with the 2012 International Energy Conservation Code.

Joists, attic access openings, penetrations, and all other such openings in the building envelope that are sources of air leakage are to be sealed with caulk, gasketed, weather-stripped or otherwise sealed with an air barrier material, suitable film or solid material.

Air barriers and thermal barrier to be installed on outside of air-permeable insulation and breaks or joints in the air barrier are filled or repaired.

A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.

The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.

Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.

The space between window/door jambs and framing and skylights and framing shall be sealed.

Rim joists shall be insulated and include the air barrier.

Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.

Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with overlapping joints taped.

Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.

Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.

Air sealing shall be provided between the garage and conditioned spaces.

WINDOW Max. U-.32, SHGC .40, SKYLIGHT Max. U-.54, SHGC .40.

Insulations in above-grade walls to be installed in substantial contact with, and continuous alignment with, the building air barrier. Air barrier is to be installed at any exposed edge of floor insulation. Insulation is to be installed in substantial contact with the surface being insulated and in a manner that achieves the rated R-value.

Insulation to be placed between outside and electrical and plumbing pipes. Spray foam insulation is to fill around wiring and plumbing. Corners, headers, narrow framing cavities and rim joists are to be insulated.

Vapor retarder is to be installed on the warm-in-winter side of all non-vented framed ceilings, walls and exposed floors.

Supply ducts in unconditioned attic to be insulated to a minimum of R-8. Duct-tightness to be tested for compliance with IECC 2012.

Circulating service hot-water pipes are to be insulated to R-3.

Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.

Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.

Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.

The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.

HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.

An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.

Heating and cooling equipment shall be sized in accordance with ACCA Manual S, based on building loads calculated in accordance with ACCA Manual J, or other approved standard.

All electrical work to be completed by licensed electricians in compliance with national, state and city ordinances and codes. Provide wires, cables, conduits and fittings, wiring devices, panel boards, circuit breakers, switches, lighting fixtures and lamps, receptacles and other fittings and equipment necessary for a complete installation.

Provide new 200 amp electrical service.

All parts and equipment to be new-in-box. Smoke detectors and Carbon Monoxide detectors to be 'hard-wired'. Switch, receptacle and faceplate selection and colors by Owner.

All smoke detectors and carbon monoxide detectors to be hardwired with battery back-up.

All new light fixtures to be lamped with compact fluorescent type luminaire.

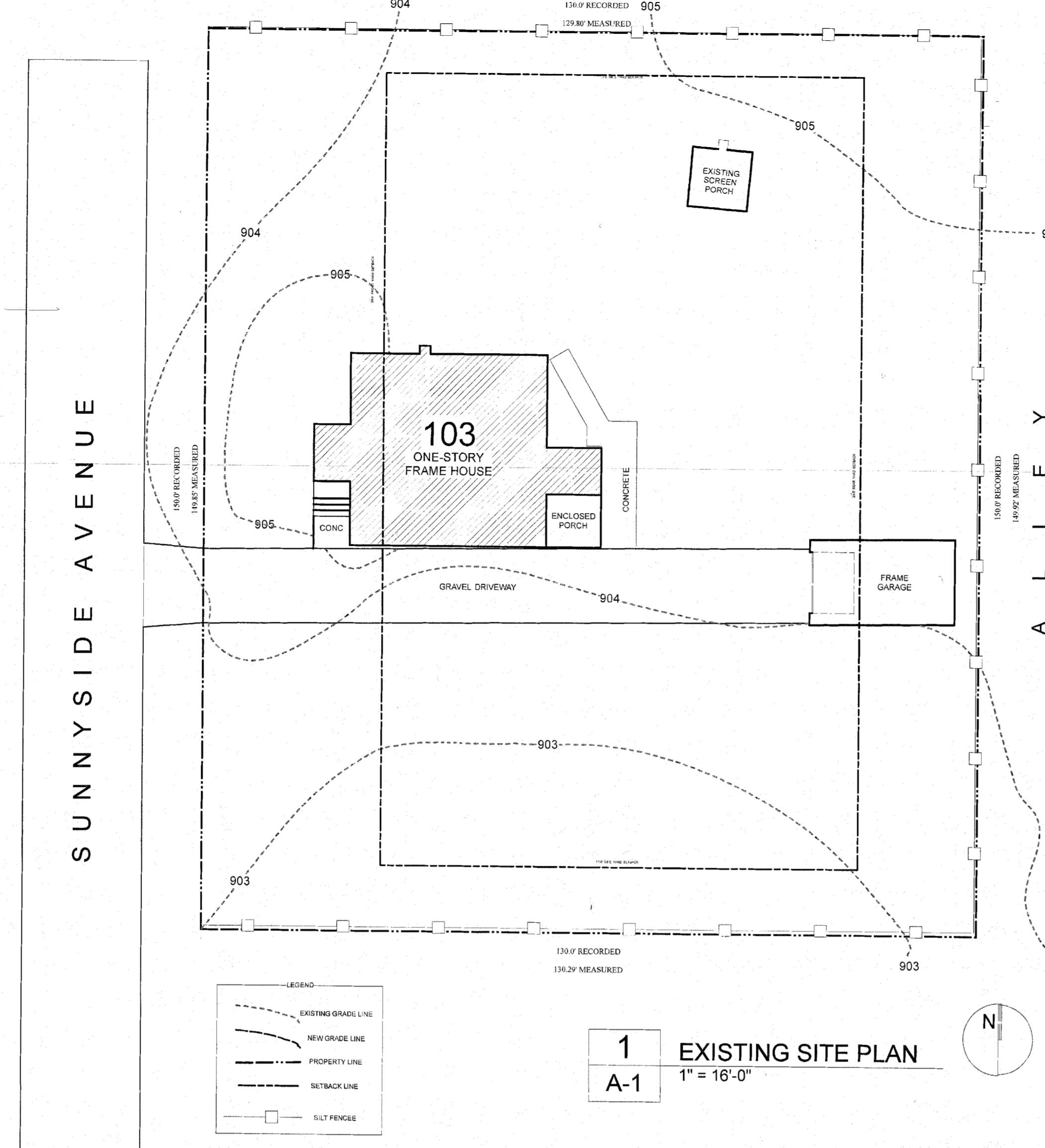
Recessed lights in the building thermal envelope are 1) type IC rated and ASTM E283 labeled and 2) sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

New electrical receptacles in habitable spaces to be arc-fault protected and tamper resistant.

Provide a permanent certificate on or in electrical distribution panel listing the predominant insulation R-values, window U-factors, type and efficiency of space conditioning and water heating equipment.

All plumbing to work to comply with the 2004 Illinois Plumbing Code, and the City of Crystal Lake amendments.

All showers to have auto-safety water mixing devices allowing maximum temperature of 115° F.



DESIGN DATA

CODES AND STANDARDS

- "INTERNATIONAL RESIDENTIAL CODE", 2006 EDITION
- "ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION, AMERICAN CONCRETE INSTITUTE
- "ACI 308, SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS", LATEST EDITION, AMERICAN CONCRETE INSTITUTE
- "ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", LATEST EDITION, AMERICAN SOCIETY OF CIVIL ENGINEERS
- "MANUAL OF STEEL CONSTRUCTION", 13th EDITION AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION, BY ANS/A/F&A

DESIGN LOADS

GROUND SNOW LOAD 30 PSF

FLOOR LIVE LOAD

TYPICAL FLOORS 40 PSF

WOOD ROOF TRUSS LOADS

TOP CHORD LIVE LOAD 30 PSF
TOP CHORD DEAD LOAD 10 PSF
BOTTOM CHORD LIVE LOAD (NO STORAGE) 10 PSF
BOTTOM CHORD DEAD LOAD 10 PSF

WOOD FLOOR TRUSS LOADS

TOP CHORD LIVE LOAD 40 PSF
TOP CHORD DEAD LOAD 12 PSF
BOTTOM CHORD DEAD LOAD 8 PSF

MATERIALS

CONCRETE

ALL CONCRETE SHALL BE AIR-ENTRAINED 5% ± 1% BY VOLUME. AIR-ENTRAINING ADMIXTURE ASTM C240. CEMENT ASTM C150.

NORMAL WEIGHT CONCRETE (145 PCT) 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:

APPLICATION

FOOTINGS 3000 PSI
WALLS 3000 PSI
SLAB-ON-GRADE 4000 PSI

REINFORCING STEEL

DEFORMED REINFORCING BARS WELDED WIRE FABRIC ASTM A615, 60 KSI
ASTM A185

STRUCTURAL STEEL

STRUCTURAL SHAPES & PLATES ASTM A992 GR. 50
MISCELLANEOUS SHAPES & PLATES ASTM A36
STRUCTURAL TUBE (HSS) ASTM A500 GR. B
STRUCTURAL PIPE ASTM A53
ANCHOR BOLTS ASTM A307
STRUCTURAL BOLTS ASTM A325 N
WELDING ELECTRODES E-70XX

WOOD

MOISTURE CONTENT SHALL NOT EXCEED 19% FOR SAWN LUMBER.
DOUGLAS FIR-LARCH MICRO-LAM LV1. F_b = 900 PSI, E = 1600 PSI
F_v = 2400 PSI, E = 1900 PSI

FOUNDATIONS

AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF HAS BEEN ASSUMED FOR DESIGN PURPOSES. THE OWNER SHALL VERIFY THE ALLOWABLE BEARING CAPACITY PRIOR TO CONSTRUCTION AND NOTIFY HIGHLAND ENGINEERING IMMEDIATELY OF ANY DISCREPANCIES.

HIGHLAND ENGINEERING, P.C. IS NOT RESPONSIBLE FOR SUPERVISING, DIRECTING, OR HAVING CONTROL OVER THE CONSTRUCTION WORK. HIGHLAND ENGINEERING, P.C. DOES NOT HAVE THE AUTHORITY OR RESPONSIBILITY FOR THE CONTRACTORS CHOSEN MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION.

THE CONTRACTOR(S) IS RESPONSIBLE FOR MEETING THE SAFETY REQUIREMENTS OF ALL GOVERNING AUTHORITIES.

THE CONTRACTOR SHALL PROTECT CONCRETE BEARING ELEVATIONS FROM FROST AT ALL TIMES. FROZEN SOIL BELOW CONCRETE BEARING ELEVATIONS MUST BE REMOVED.

ALL EXTERIOR FOUNDATIONS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADE.

CONCRETE FOR THE FOUNDATIONS SHALL BE POURED THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.

PROOFROLLING OPERATIONS SHALL BE PERFORMED UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. ANY SOFT SPOTS OR AREAS DETERMINED BY THE GEOTECHNICAL ENGINEER SHALL BE IMPROVED OR REPLACED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

NEW FOUNDATIONS ADJACENT TO EXISTING FOUNDATIONS SHALL BE CONSTRUCTED IN A MANNER NOT TO DISTURB OR UNDERMINE THE EXISTING FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY BRACING AND/OR SHORING REQUIRED TO CONSTRUCT THE NEW FOUNDATIONS.

STRUCTURAL FILL UNDERNEATH FOOTINGS & SLAB-ON-GRADE

APPROVED MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS. MOISTURE CONDITIONED AS REQUIRED TO ACHIEVE COMPACTION TO A MINIMUM OF 93% MODIFIED PROCTOR UNDER FOOTINGS. COMPACTION OF FILL SOILS USED FOR SLAB-ON-GRADE SUBGRADE CONSTRUCTION SHALL BE SIMILARLY COMPACTION TO 95% OF STANDARD PROCTOR.

SUPERVISION OF THE PLACEMENT OF COMPACTED STRUCTURAL FILL SHALL BE BY A QUALIFIED GEOTECHNICAL ENGINEER.

BACKFILL

ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIALS CONSISTING OF BANK RUN GRAVEL, CRUSHED STONE AND/OR MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER WITH OPTIMUM MOISTURE CONTENT TO COMPACTING AND SHALL BE FREE FROM DEBRIS.

BACKFILL SHALL BE PLACED EQUALLY ON BOTH SIDES OF FOUNDATION WALLS AND GRADE BEAMS. NO BACKFILL SHALL BE PLACED AGAINST BASEMENT WALLS UNTIL THE UPPER BRACING FLOORS ARE IN PLACE OR UNTIL ADEQUATE BRACING IS INSTALLED.

CONCRETE

THE COMPRESSIVE STRENGTH OF GROUT USED TO CONSTRUCT LEVEL COLUMN BEARING PLATES SHALL MATCH THE COMPRESSIVE STRENGTH OF THE SUPPORTING CONCRETE.

CONCRETE CONTAINING CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED IN ANY CONCRETE.

CONCRETE SHALL BE ADEQUATELY CONSOLIDATED DURING PLACEMENT. NEITHER OVERCONSOLIDATING NOR TRANSPORTING CONCRETE WITH VIBRATORS SHALL BE PERMITTED.

COLD WEATHER CONCRETE SHALL BE IN ACCORDANCE WITH ACI-306. HOT WEATHER CONCRETE SHALL BE IN ACCORDANCE WITH ACI-305.

ALL REINFORCING BARS AND ACCESSORIES SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI STANDARDS 315 AND 318.

SLABS-ON-GRADE

SLABS-ON-GRADE SHALL HAVE CONTROL JOINTS IN A SQUARE OR RECTANGULAR PATTERN. THE JOINT SPACING SHALL BE LIMITED TO 12 FEET.

VAPOR BARRIER SHALL BE A MINIMUM OF 6 MIL. VAPOR BARRIER SHALL BE INSTALLED IN MAXIMUM SHEET SIZE AND A MINIMUM OF JOINTS. JOINTS SHALL BE LAPPED A MINIMUM OF 6" AND TAPED. LOCATION OF VAPOR BARRIER BELOW SLAB SHALL BE BASED ON OWNERS USE AND SELECTED ARCHITECTURAL FINISH TREATMENTS. CONTRACTOR SHALL REFER TO THE LATEST EDITION OF ACI 302 FOR RECOMMENDED LOCATION. CONTRACTOR SHALL ALSO CONSULT PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION. CARE SHALL BE TAKEN TO PREVENT RUPTURE OF VAPOR BARRIER.

STRUCTURAL STEEL

STRUCTURAL STEEL SHALL COMPLY WITH THE REFERENCED CODES AND STANDARDS NOTED ABOVE.

HORIZONTAL ELEMENTS SHALL BE DETAILED, MANUFACTURED AND INSTALLED WITH THE NATURAL CAMBER UP.

TYPICAL BEAM CONNECTIONS SHALL BE DESIGNED FOR 50% OF THE ALLOWABLE UNIFORM LOAD IN KIPS' AS FOUND IN THE MANUAL OF STEEL CONSTRUCTION, UNLESS NOTED OTHERWISE ON DRAWINGS. THE STEEL CONTRACTOR HAS THE OPTION OF BOLTED OR WELDED CONNECTIONS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

STRUCTURAL STEEL SHALL RECEIVE ONE COAT OF APPROVED SHOP PAINT UNLESS NOTED OTHERWISE IN DRAWINGS OR ARCHITECTURAL SPECIFICATIONS. REFER TO ARCHITECTURAL SPECIFICATIONS FOR ADDITIONAL PAINTING REQUIREMENTS FOR EXPOSED STRUCTURAL STEEL.

A HEAVY COATING OF ASPHALTIC PAINT SHALL BE APPLIED TO PORTIONS OF STRUCTURAL STEEL EXPOSED TO THE EARTH. SEE ARCHITECTURAL SPECIFICATIONS FOR REQUIREMENTS.

WOOD

WOOD (1" x 4") OR METAL CROSS BRIDGING SHALL BE PROVIDED AT NOT OVER 8 FEET ON CENTER FOR ALL WOOD JOISTS. SOLID WOOD BLOCKING OF THE SAME DIMENSIONS SHALL BE PROVIDED AT JOIST SUPPORTS.

PLYWOOD FLOOR DECKS SHALL BE GLUED AND NAILED.

ALL EXTERIOR EXPOSED WOOD SHALL BE TREATED PER THE ARCHITECTURAL SPECIFICATIONS.

GALVANIZED OR COATED CONNECTORS SHALL BE USED FOR ALL OUTDOOR WOOD CONNECTIONS. CONNECTOR TYPE SHALL BE CAPABLE WITH WOOD TREATMENT AND FASTENERS.

MINIMUM NAILED CONNECTIONS SHALL BE IN ACCORDANCE WITH IBC 2006.

WOOD TRUSSES

WOOD TRUSSES AND WALL STUDS SHALL ALIGN. PROVIDE ADDITIONAL STUDS AT TRUSS BEARING AS REQUIRED.

TEMPORARY BRACING SHALL BE REQUIRED TO INSURE ALIGNMENT AND STABILITY OF TRUSSES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL INSURE THE TEMPORARY BRACING COMPLIES WITH THE CODES AND STANDARDS ABOVE AND THE LOCAL GOVERNING AUTHORITIES.

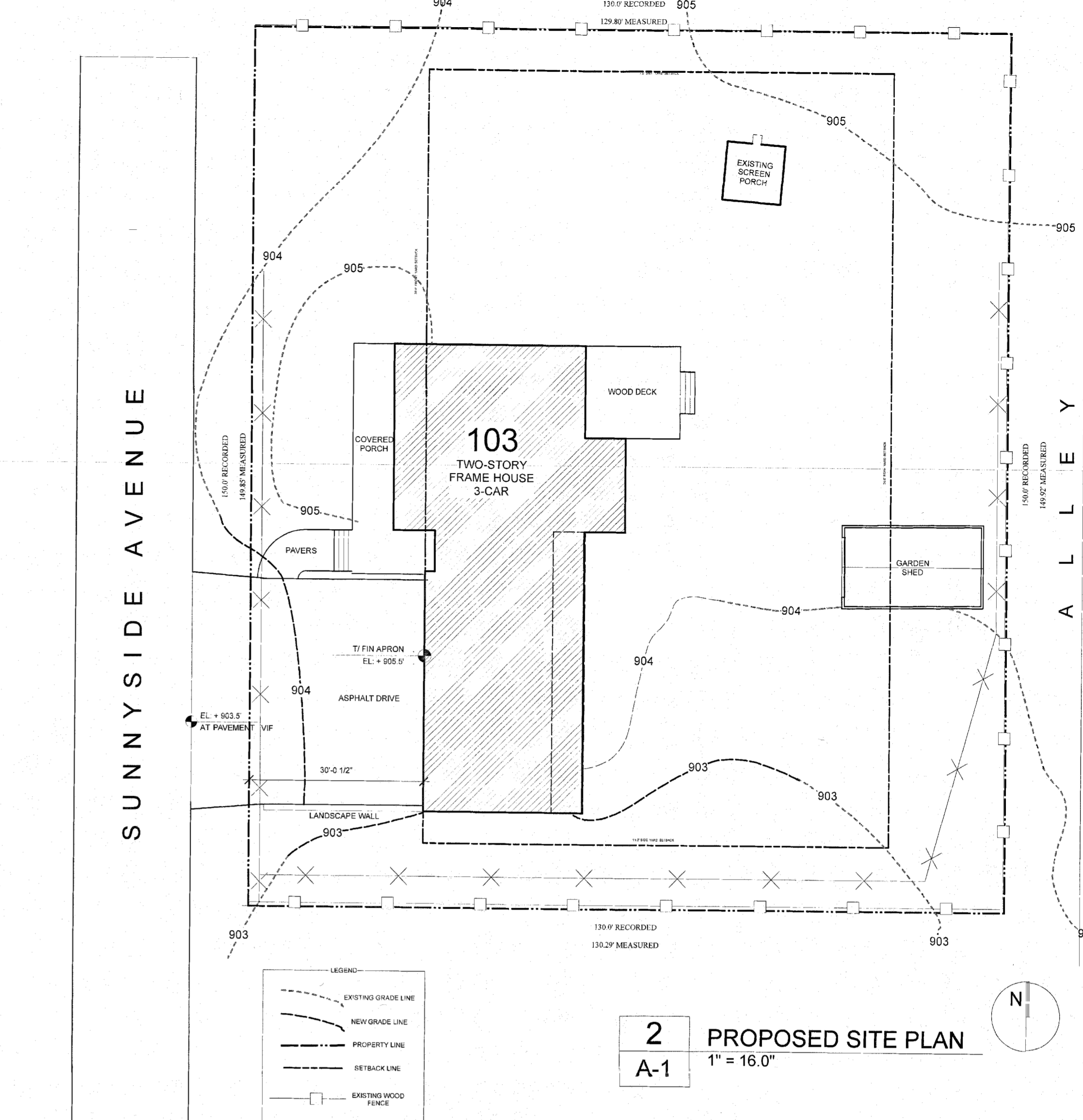
ROOF TRUSSES SHALL BE DESIGNED FOR LIVE LOAD DEFLECTIONS OF L/360 AND TOTAL LOAD DEFLECTION OF L/240.

FLOOR TRUSSES SHALL BE DESIGNED FOR LIVE LOAD DEFLECTIONS OF L/480 AND TOTAL LOAD DEFLECTION OF L/240.

SHOP DRAWINGS AND CALCULATIONS, SEALED BY A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF ILLINOIS, SHALL BE SUBMITTED FOR EACH WOOD TRUSS. THE SHOP DRAWINGS AND CALCULATIONS SHALL INCLUDE: TRUSS DIMENSIONS, LOADING CONDITIONS WITH MEMBER FORCES, MEMBER SIZES AND MEMBER SPECIES WITH WORKING STRESS, AND CONNECTION LOCATION AND SIZES.

ALL EXTERIOR EXPOSED WOOD SHALL BE TREATED PER THE ARCHITECTURAL SPECIFICATIONS.

GALVANIZED OR COATED CONNECTORS SHALL BE USED FOR ALL OUTDOOR WOOD CONNECTIONS. CONNECTOR TYPE SHALL BE CAPABLE WITH WOOD TREATMENT AND FASTENERS.



1 EXISTING SITE PLAN
1" = 16'-0"

2 PROPOSED SITE PLAN
1" = 16'-0"

R-2 ZONING LOT

FLOOR AREA RATIO - FAR 0.8 / LOT AREA	
LOT AREA PER PLAT	19,500 SQ FT
ALLOWABLE FLOOR AREA (80%)	15,600 SQ FT
PROPOSED TOTAL BUILDING AREA	4,942 SQ FT
FIRST FLOOR LIVING	1,349 SQ FT
FIRST FLOOR GARAGE	1,122 SQ FT
SECOND FLOOR LIVING	2,471 SQ FT
IMPERVIOUS MAX AREA - 0.5 / LOT AREA	
LOT AREA PER PLAT	19,500 SQ FT
MAX ALLOWABLE COVERAGE	9,750 SQ FT
PROPOSED IMPERVIOUS AREA	5,710 SQ FT
BUILDING FOOTPRINT	3,369 SQ FT
PAVED DRIVEWAY	1,155 SQ FT
FRONT PORCH	300 SQ FT
REAR DECK	201 SQ FT
WALKS	260 SQ FT
EXIST SCREEN PORCH (SEE PLAT)	101 SQ FT
EXIST GARAGE (REFURB TO SHED)	344 SQ FT

DRAWING LIST

A1 SITE PLAN & INFORMATION

A2 FOUNDATION PLAN

A3 BASEMENT PLAN

A4 FIRST FLOOR PLAN

A5 SECOND FLOOR PLAN

A6 NORTH, WEST ELEVATIONS

A7 SOUTH, EAST ELEVATIONS

A8 BUILDING SECTIONS

ISSUED FOR REVIEW

05-18-14
07-17-14
07-28-14
08-21-14

ISSUED FOR PERMIT

08-21-14

APPLICABLE CODES

- 2006 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL RESIDENTIAL CODE
- 2006 INTERNATIONAL FIRE CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2004 ILLINOIS PLUMBING CODE
- 2005 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 1997 ILLINOIS ACCESSIBILITY CODE
- 2000 NFPA LIFE SAFETY CODE

RECEIVED

2014 41 SEP 05 2014

A1

RECE ARCHITECTS
ARCHITECT OF RECORD
INCORPORATED
2304 WEST LUNT AVENUE
CHICAGO, ILLINOIS 60645

WILLIAM E. REECE, ARCHITECT
ILLINOIS LICENSE NO. 001005850

I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, CONFORM TO THE REQUIREMENTS OF THE STATE OF ILLINOIS

DIMOPOULOS RESIDENCE
BUILDING RENOVATION AND ADDITION TO THE
103 SUNNYSIDE AVENUE
CRYSTAL LAKE, IL 60014

ISSUED FOR PERMIT

THESE DRAWINGS HAVE BEEN PREPARED BY A REGISTERED ARCHITECT OR ARCHITECTURAL ENGINEER IN THE STATE OF ILLINOIS.

SITE PLAN & INFO SHEET