



#2014-42
153 N. Greenfield Avenue (Karr-Shoevlin) – Variation
Project Review for Planning and Zoning Commission

Meeting Date: October 1, 2014

Request: Variation from Article 3-200, 7-200B (iii) and 7-300B 4 from the minimum front yard setback requirements to allow a 12-foot encroachment of a new front porch that will be added to the existing nonconforming principal structure.

Location: 153 N. Greenfield Avenue

Acreage: 6,500 square feet

Existing Zoning: R-2 Single Family

Surrounding Properties: North: R-2 Single Family
South: R-2 Single Family
East: R-2 Single Family
West: R-2 Single Family

Staff Contact: Kathryn Cowlin (815.356.3798)

Background:

- **Existing Use:** The property is improved with a single family home. The principal structure has a front yard setback of 38 feet (measured by city staff from roadway to foundation) and the required front yard setback for the property is 42 feet.
- **Background:** The property is nonconforming due to the property not meeting the lot width requirement or the front yard setback requirement as outlined in the UDO for R-2 zoning. The petitioner is requesting a variation for the front yard setback. The proposed front porch is 8 feet by 18 feet and would create a 12-foot encroachment of the front yard setback.

Development Analysis:

General

- **Request:** The addition of a front porch will increase the front yard setback encroachment and will require a variation. The existing principal structure is currently within the 42-foot required front yard setback. The principal structure has a 38-foot front yard setback and the addition of a porch will decrease the setback to 30 feet, creating a front yard encroachment of 12 feet.

- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- **Zoning:** The site is zoned R-2 Single Family. This property is used as single-family home.

Site Layout

- The principal structure has a front yard setback of 38 feet.
- The required front yard setback is 42 feet for the property.
- The driveway is to the south of the principal structure.
- There are no accessory structures on the property.



Aerial View



Street View

Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Article 3-200, 7-200B (iii) and 7-300B 4 to allow an encroachment of 12 feet into the required front yard setback. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the

Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Karr-Shoevlin, received 09/12/14)
 - B. Survey (Shoevlin, received 09/12/14)
 - C. Proposed deck plan (Shoevlin, received 09/12/14)
 - D. Setback measurements drawing (City staff, received 09/12/14)
2. The variation from the minimum front yard setback requirement to allow a 12-foot encroachment of a new front porch is hereby granted.
3. The size of the front porch cannot be expanded in the future, thereby limiting further encroachment of the front yard setback.
4. Style, colors and materials shall be complementary to the principal structure.
5. The petitioner shall address all of the review comments and requirements of the Community Development Department, Public Works Department, and Fire Rescue Department.

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Application for Simplified Residential Variation

| | |
|---------------------------|---------------------|
| Application Number: _____ | FOR OFFICE USE ONLY |
| Project Name: _____ | |
| Date of Submission: _____ | |

I. Applicant

Tim Shoerlin (Quality Touch Services)
Name

153 N Greenfield Ave
Street

Crystal Lake IL 60014
City State Zip Code

815-566-6488 N/A handytime1@comcast.net
Telephone Number Fax Number E-mail address

II. Owner of Property (if different)

John KARR
Name

153 N Greenfield Ave 815-455-2888
Address Telephone Number

III. Project Data

1. a. Location/Address: 153 N Greenfield Ave.

b. PIN #: 18-01-227-014

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY: The house is set 3 to 5 feet closer to the road than adjoining houses

IS THE HARDSHIP SELF-CREATED? It would be more cohesive to the neighborhood and blend in with the neighboring houses, It will help the property owner to gain easier access to the driveway from the house.

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION? Yes All surrounding houses have existing decks

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY? No, All surrounding houses have front decks

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY? No

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUBSTANTIALLY INCREASE THE DANGER OF FIRE; OR ENDANGER PUBLIC SAFETY? No

3. List any previous variations that are approved for this property: NONE

IV. Signatures

Timothy D Sheridan T.D. Sheridan 9/12/14
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

John Karr John Karr 9/12/14
OWNER: Print and Sign name Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Tim Shoevlin of Quality Touch Services on behalf of John Karr for variations relating to the following described real estate commonly known as 153 North Greenfield Avenue, Crystal Lake, Illinois 60014, PIN: 18-01-227-014.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday October 1, 2014, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
September 16, 2014. #5143)

PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION OF THE
CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS**

IN THE MATTER OF THE APPLICATION OF Tim Shoevlin (Quality Touch Services) on behalf of John Karr

This application is filed for the purpose of seeking zoning variations pursuant to Articles 3-200, 7-200B (ii), and 7-300B 4 of the UDO, from the minimum front yard setback requirements to allow a 12-foot encroachment of a front porch that will be added to the existing nonconforming principal structure, as well as any other variations that may be necessary to complete the project as proposed. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall.

LEGAL NOTICE

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153

GREENFIELD

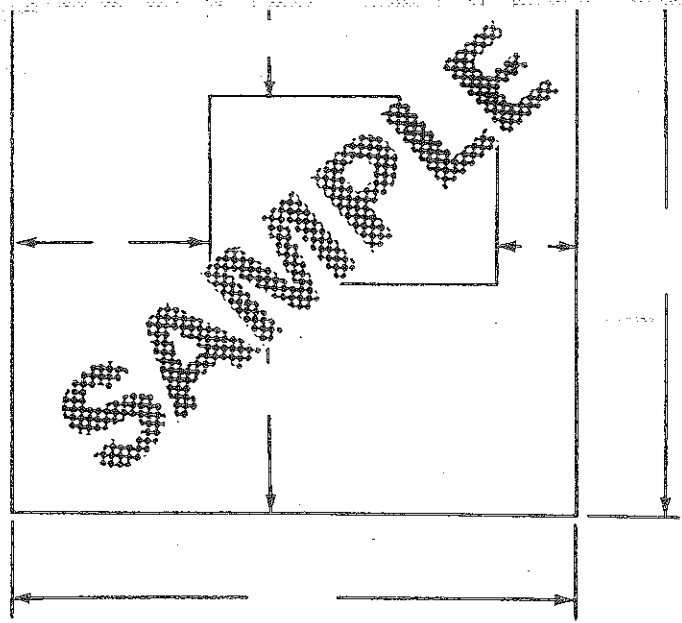
2014 42

Measured by City Staff. Field verified.

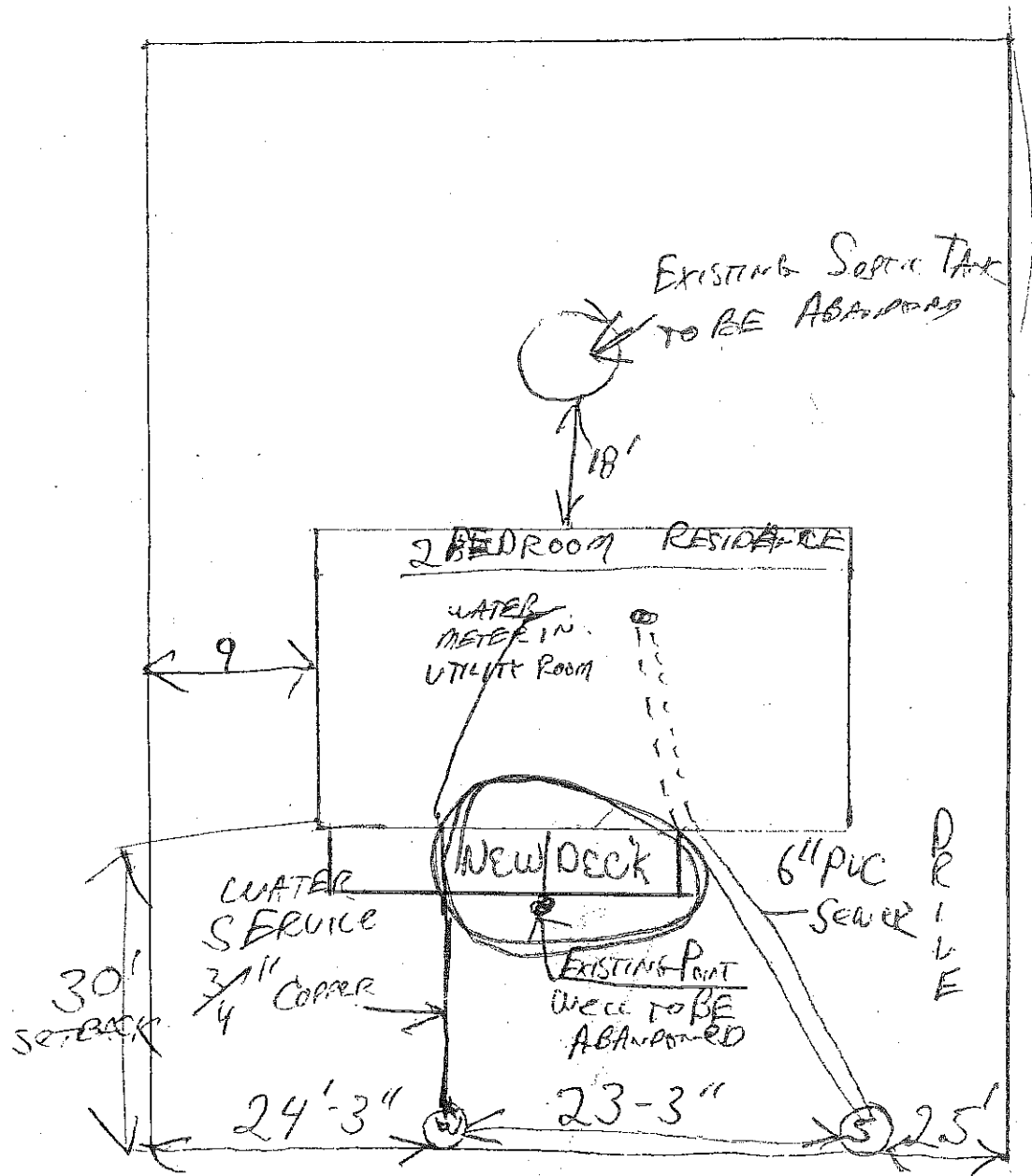


ALL DIMENSION FROM
ROAD TO FOUNDATION.

- B. All Buildings or Structures existing and size on the lot at the present time.
- C. All proposed Buildings or Structures and size.
- D. Lot size and location of all Buildings or Structures to all lot lines.
- E. Location of street and address and indicate NORTH direction.
- F. Size of Driveways, Sidewalks, Fences, and location to all lot lines.
- G. All existing grades, proposed grades, and proposed drainage.

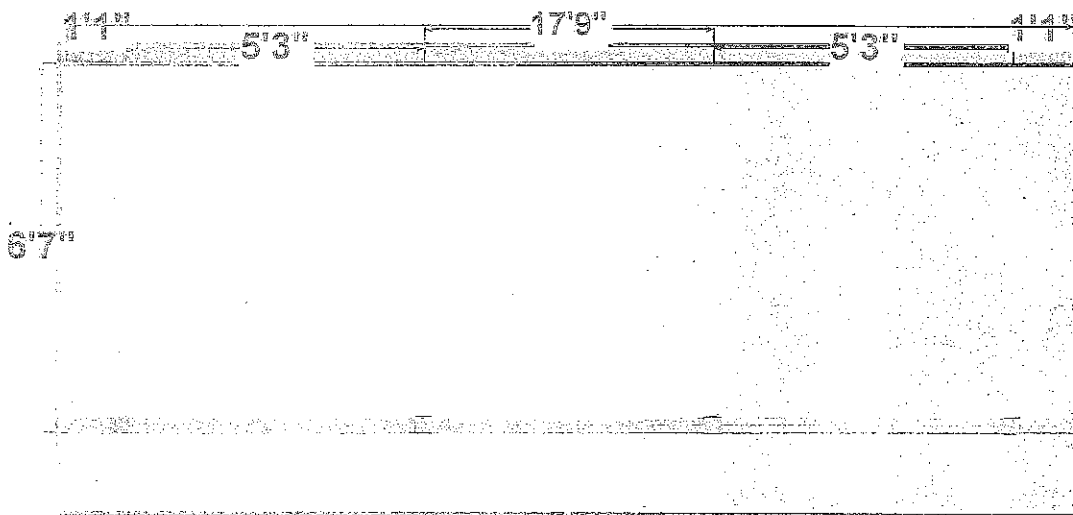


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OWNER COPY

153 GREENFIELD



Pier placement

8" x 48" DEEP

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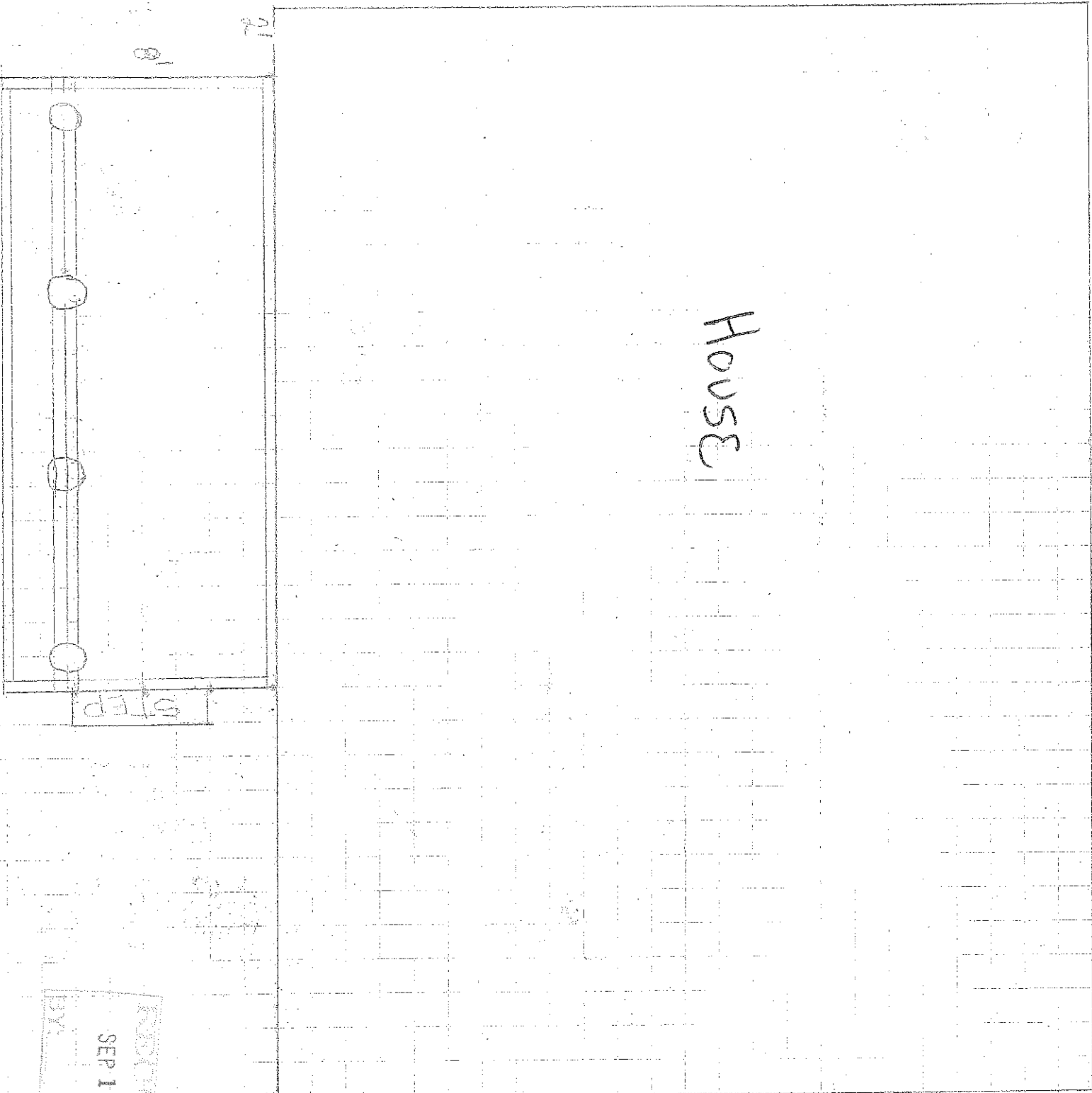
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John KARR
153 Greenfield

24'

HOUSE

32'



PIERS TO BE 8" ROUND X 48" DEEP
DECK TO BE 18" OFF GROUND LEVEL
ALL MATERIALS TO BE 2X8 ACQ 1/8" E
DECKING TO RUN LENGTH 5/4" X 6" X 18"
HARDWARE TO BE GALVANIZED HANGERS NAILS/SCREWS 1/4" AG BOLTS

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