

ARTICLE 3

Density and Dimensional Standards**SECTION 3-100. Purpose.**

The purpose of this article is to:

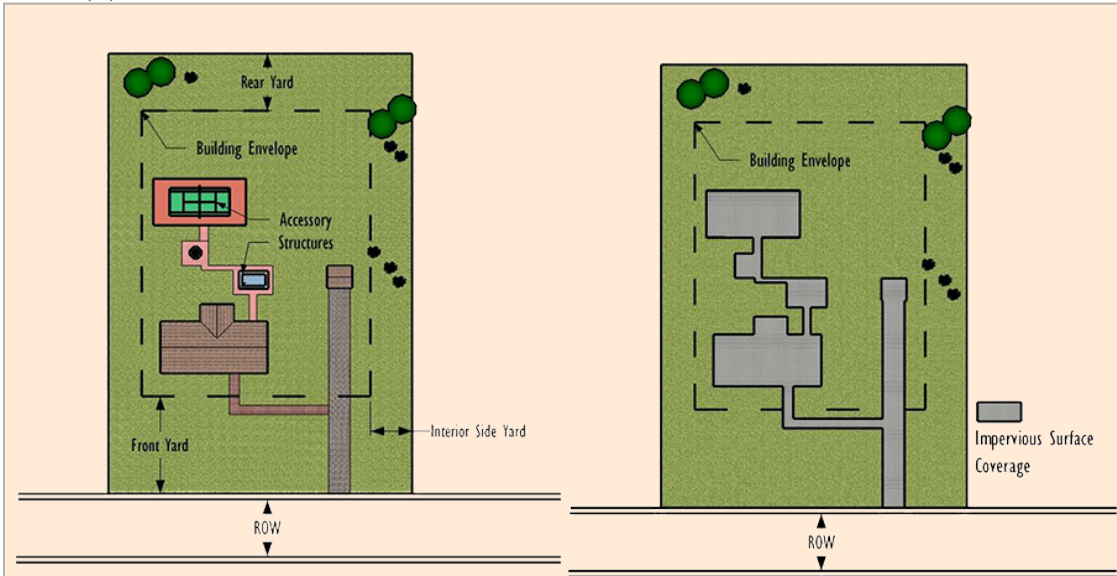
- A. Provide the density and dimensional standards for all principal and accessory uses allowed in all zoning and overlay districts through this Ordinance;
- B. Establish reasonable standards to which buildings, structures, and their uses must conform and to prevent illegal additions or alterations of existing building and structures.

These standards may be further modified by other applicable sections of this Ordinance. To the extent that any other provision of this Ordinance which is more restrictive than the restrictions set forth in this article, the more restrictive restriction shall apply.

SECTION 3-200. Dimensional standards. [Amended 12-11-2017 by Ord. No. 7419]

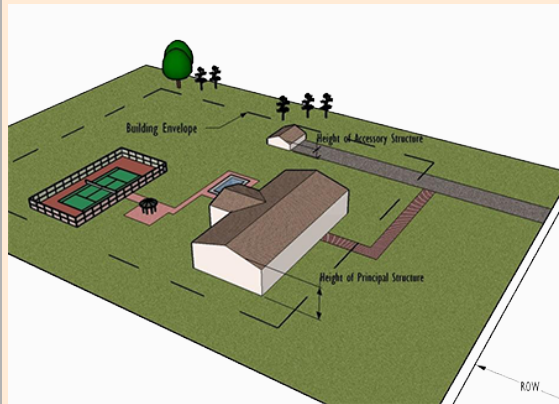
- A. Dimensional standards in residential districts. All principal and accessory structures in residential zoning districts are subject to the dimensional standards in Section 3-200A (residential uses) and Table 3-200A (all other uses). All rules of measurements and exceptions to the rules of measurement are set forth in Section 3-300.

1. Estate (E) Residential District.



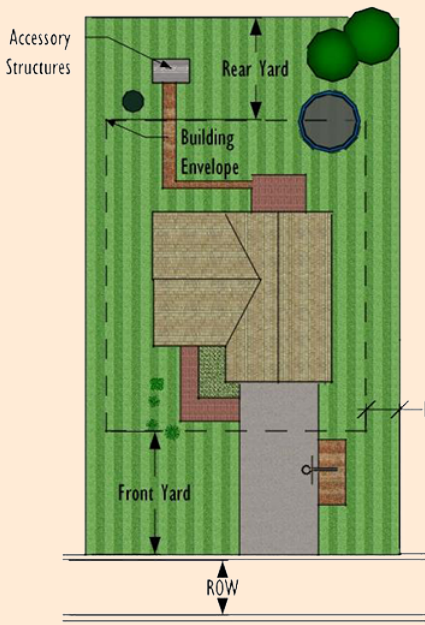
Minimum Lot Area: 130,680 square feet (3 acres)
 Minimum Lot Width: 250 feet
 Minimum Front Setback: 50 feet
 Minimum Interior Side Setback: 20 feet
 Combined Interior Side Setback: 40 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 50 feet
 Yard Abutting Residential Districts: 0 feet

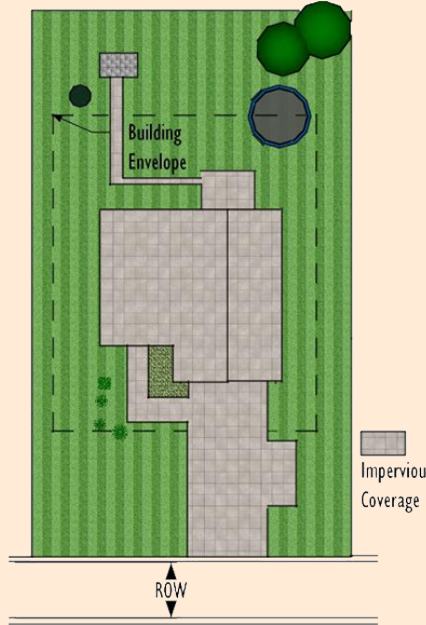
Side Setback for Detached Accessory Structure: 5 feet
 Rear Setback for Detached Accessory Structure: 5 feet
 Maximum Building Coverage: 15%
 Maximum Impervious Surface Coverage: 25%
 Maximum Floor Area Ratio: 0.30
 Maximum Height, Principal Structure: 30 feet and 2 stories
 Maximum Height, Accessory Structure: 25 feet and 2 stories
 Maximum Net Density (DU/Acre): 0.25



Additional Development Standards that may apply:
 Accessory Structures: Land Uses: Article 2
 Section 4-600 Outdoor Storage: Article 2
 Clear Sight Triangle: Parking: Section 4-200
 Section 4-100 Setbacks: Article 3
 Design Standards: Section Signs: Section 4-1000
 4-900 Temporary Uses: Article 2
 Exterior Lighting: Section RV parking: Section 4-200
 4-800 Height: Article 10
 Fences: Section 4-700 Home Occupation: Article 2 (Definitions)
 Landscaping: Section 4-400
 Tree Preservation: Section 4-300

2. Residential Estate (RE) District.





Minimum Lot Area: 20,000 square feet

Minimum Lot Width: 100 feet

Minimum Front Setback: 50 feet

Minimum Interior Side Setback: 10 feet

Combined Interior Side Setback: 30 feet

Minimum Rear Setback: 20 feet

Minimum Yard Abutting a Street Setback: 50 feet

Yard Abutting Residential Districts: 0 feet

Side Setback for Detached Accessory Structure: 5 feet

Rear Setback for Detached Accessory Structure: 5 feet

Maximum Building Coverage: 25%

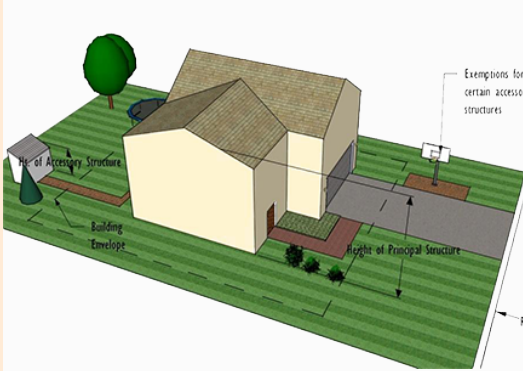
Maximum Impervious Surface Coverage: 45%

Maximum Floor Area Ratio: 0.50

Maximum Height, Principal Structure: 28 feet and 2 stories

Maximum Height, Accessory Structure: 15 feet and 1 story

Maximum Net Density (DU/Acre): 1.75



Additional Development Standards that may apply:

Accessory Structures: Section 4-600	Land Uses: Article 2
Clear Sight Triangle: Section 4-100	Outdoor Storage: Article 2
Design Standards: Section 4-900	Parking: Section 4-200
Exterior Lighting: Section 4-800	Setbacks: Article 3
Fences: Section 4-700	Signs: Section 4-1000
Home Occupation: Article 2 (Definitions)	Temporary Uses: Article 2
Landscaping: Section 4-400	RV parking: Section 4-200
Tree Preservation: Section 4-300	Height: Article 10

3. Single-Family Residential (R-1) District.

Minimum Lot Area: 10,000 square feet
 Minimum Lot Width: 80 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 8 feet
 Combined Interior Side Setback: 20 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 0 feet

Side Setback for Detached Accessory Structure: 5 feet
 Rear Setback for Detached Accessory Structure: 5 feet
 Maximum Building Coverage: 40%
 Maximum Impervious Surface Coverage: 50%
 Maximum Floor Area Ratio: 0.80
 Maximum Height, Principal Structure: 28 feet and 2 stories
 Maximum Height, Accessory Structure: 15 feet and 1 story
 Maximum Net Density (DU/Acre): 3.50

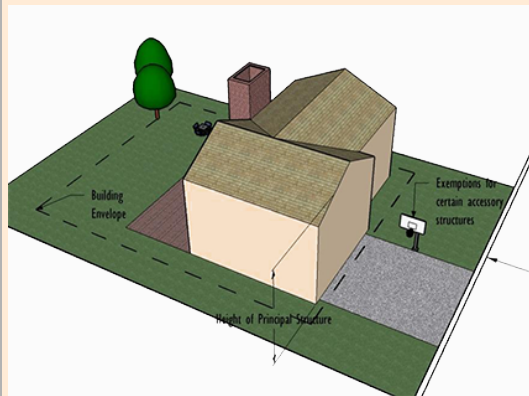
Additional Development Standards that may apply:
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 Section 4-600 Outdoor Storage: Article 2
 Clear Sight Triangle: Parking: Section 4-200
 Section 4-100 Setbacks: Article 3
 Design Standards: Section Signs: Section 4-1000
 4-900 Temporary Uses: Article 2
 Exterior Lighting: Section 4-800 RV parking: Section 4-200
 Fences: Section 4-700 Height: Article 10
 Home Occupation: Article 2 (Definitions)
 Landscaping: Section 4-400
 Tree Preservation: Section 4-300

4. Single-Family Residential (R-2) District.



Minimum Lot Area: 8,400 square feet
 Minimum Lot Width: 70 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 7 feet
 Combined Interior Side Setback: 18 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 0 feet

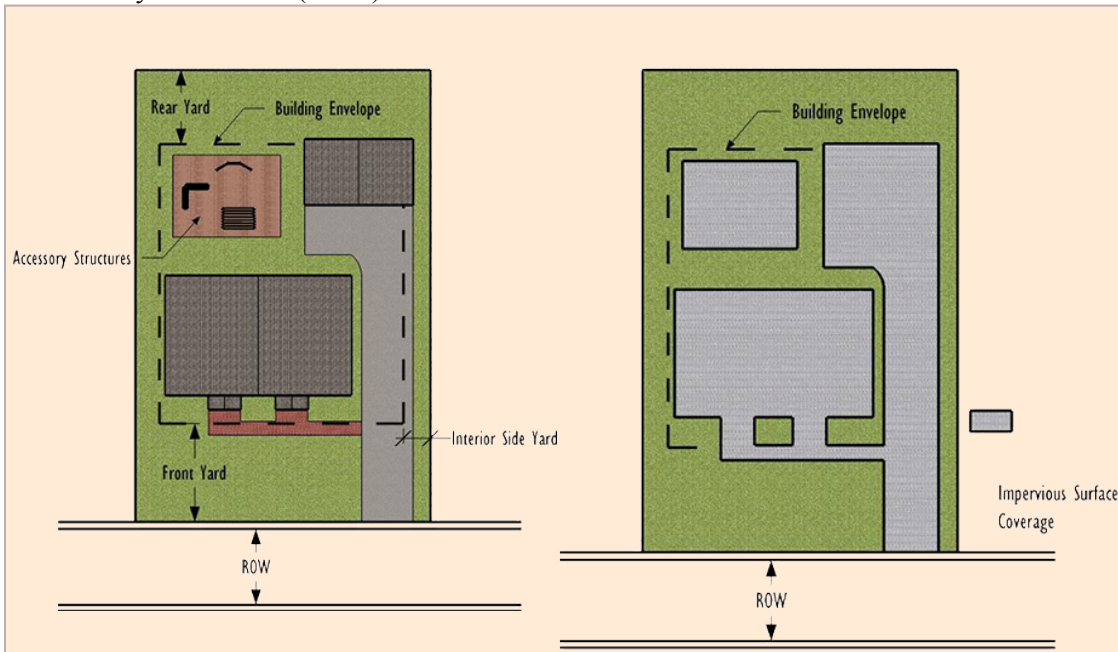
Side Setback for Detached Accessory Structure: 5 feet
 Rear Setback for Detached Accessory Structure: 5 feet
 Maximum Building Coverage: 40%
 Maximum Impervious Surface Coverage: 50%
 Maximum Floor Area Ratio: 0.80
 Maximum Height, Principal Structure: 28 feet and 2 stories
 Maximum Height, Accessory Structure: 15 feet and 1 story
 Maximum Net Density (DU/Acre): 4.15



Additional Development Standards that may apply:

Accessory Structures: Section 4-600	Land Uses: Article 2
Clear Sight Triangle: Section 4-100	Outdoor Storage: Article 2
Design Standards: Section 4-900	Parking: Section 4-200
Exterior Lighting: Section 4-800	Setbacks: Article 3
Fences: Section 4-700	Signs: Section 4-1000
Home Occupation: Article 2 (Definitions)	Temporary Uses: Article 2
Landscaping: Section 4-400	RV parking: Section 4-200
Tree Preservation: Section 4-300	Height: Article 10

5. Two-Family Residential (R-3A) District.



Minimum Lot Area: 7,200 square feet for single-family (SFR); 11,000 square feet for two-family (TWO)

Minimum Lot Width: 65 feet SFR, 75 feet TWO

Minimum Front Setback: 30 feet

Minimum Interior Side Setback: 7 feet

Combined Interior Side Setback: 18 feet

Minimum Rear Setback: 20 feet

Minimum Yard Abutting a Street Setback: 30 feet

Yard Abutting Residential Districts: 0 feet

Side Setback for Detached Accessory Structure: 5 feet

Rear Setback for Detached Accessory Structure: 5 feet

Maximum Building Coverage: 40%

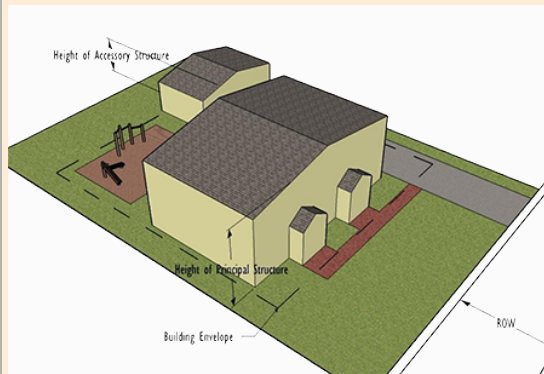
Maximum Impervious Surface Coverage: 50% SFR, 60% TWO

Maximum Floor Area Ratio: 0.80

Maximum Height, Principal Structure: 28 feet and 2 stories

Maximum Height, Accessory Structure: 15 feet and 1 story

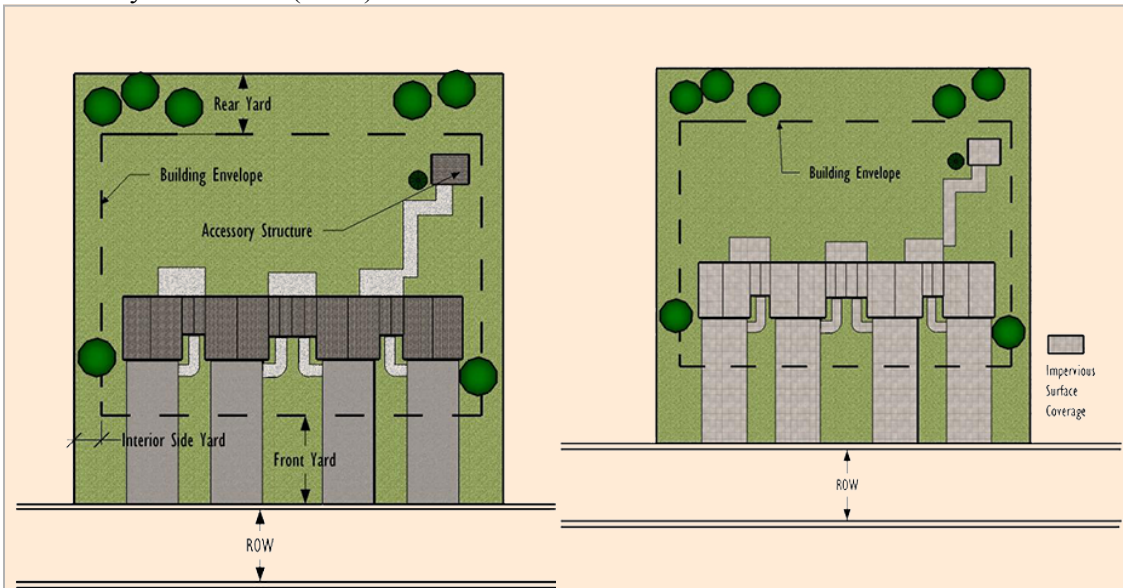
Maximum Net Density (DU/Acre): 6.35



Additional Development Standards that may apply:

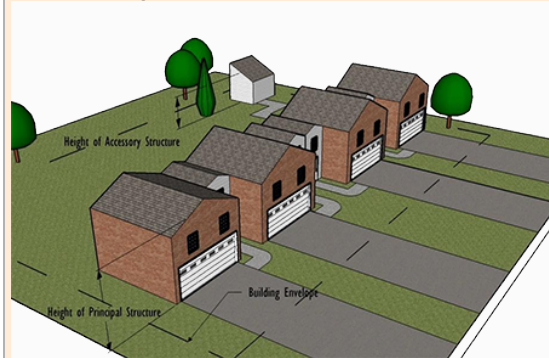
- Accessory Structures: Land Uses: Article 2
- Section 4-600 Outdoor Storage: Article 2
- Clear Sight Triangle: Parking: Section 4-200
- Section 4-100 Setbacks: Article 3
- Design Standards: Section 4-900 Signs: Section 4-1000
- Exterior Lighting: Section 4-800 Temporary Uses: Article 2
- Fences: Section 4-700 RV parking: Section 4-200
- Home Occupation: Article 2 (Definitions) Height: Article 10
- Landscaping: Section 4-400
- Tree Preservation: Section 4-300

6. Multifamily Residential (R-3B) District.



Minimum Lot Area: 7,200 square feet for single-family (SFR); 5,400 square feet (1st unit) + 4,000 square feet (each additional unit) for multifamily (MULTI)
 Minimum Lot Width: 60 feet SFR, 60 feet (1st unit) + 10 feet (each additional unit) MULTI
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 7 feet SFR, 8 feet MULTI
 Combined Interior Side Setback: 18 feet SFR, 30 feet MULTI
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 50 feet MULTI

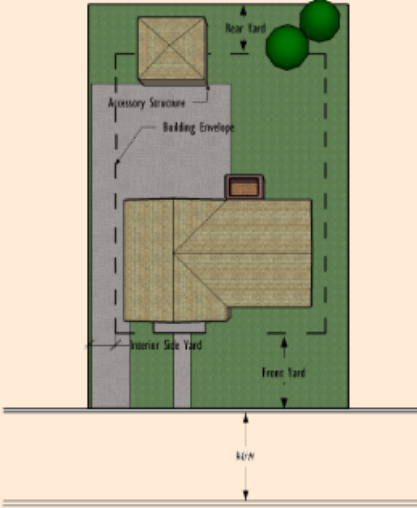
Side Setback for Detached Accessory Structure: 5 feet
 Rear Setback for Detached Accessory Structure: 5 feet
 Maximum Building Coverage: 40% SFR, 30% MULTI
 Maximum Impervious Surface Coverage: 50% SFR, 65% MULTI
 Maximum Floor Area Ratio: 0.80 SFR, 0.60 MULTI
 Maximum Height, Principal Structure: 28 feet and 2 stories SFR; 36 feet MULTI
 Maximum Height, Accessory Structure: 15 feet and 1 story
 Maximum Net Density (DU/Acre): 9.00

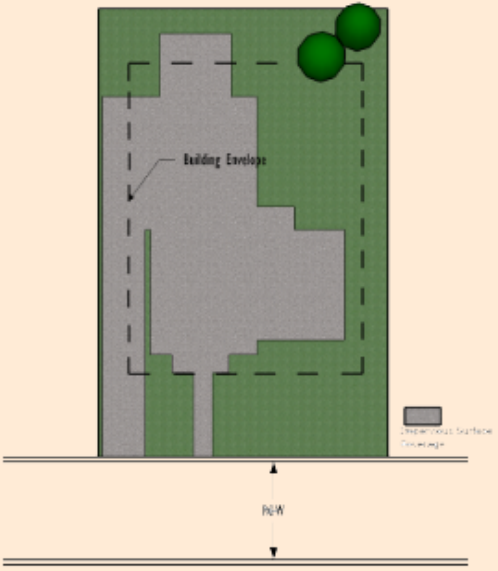


Additional Development Standards that may apply:

- Accessory Structures: Section 4-600
- Clear Sight Triangle: Section 4-100
- Design Standards: Section 4-900
- Exterior Lighting: Section 4-800
- Fences: Section 4-700
- Home Occupation: Article 2 (Definitions)
- Landscaping: Section 4-400
- Tree Preservation: Section 4-300
- Land Uses: Article 2
- Outdoor Storage: Article 2
- Parking: Section 4-200
- Setbacks: Article 3
- Signs: Section 4-1000
- Temporary Uses: Article 2
- RV parking: Section 4-200
- Height: Article 10

7. Residential Office (R-O) District. [Added 12-11-2017 by Ord. No. 7419]





Minimum Lot Area: 7,800 square feet

Minimum Lot Width: 60 feet

Minimum Front Setback: 30 feet

Minimum Interior Side Setback: 7 feet

Combined Interior Side Setback: 18 feet

Minimum Rear Setback: 20 feet

Minimum Yard Abutting a Street Setback: 20 feet

Yard Abutting Residential Districts: 0 feet

Side Setback for Detached Accessory Structure: 5 feet

Rear Setback for Detached Accessory Structure: 5 feet

Maximum Building Coverage: 40%


Maximum Impervious Surface Coverage: 60%

Maximum Floor Area Ratio: 1.0

Maximum Height, Principal Structure: 28 feet and 2 stories

Maximum Height, Accessory Structure: 15 feet and 1 story

Maximum Net Density (DU/Acre): 6



Additional Development Standards that may apply:

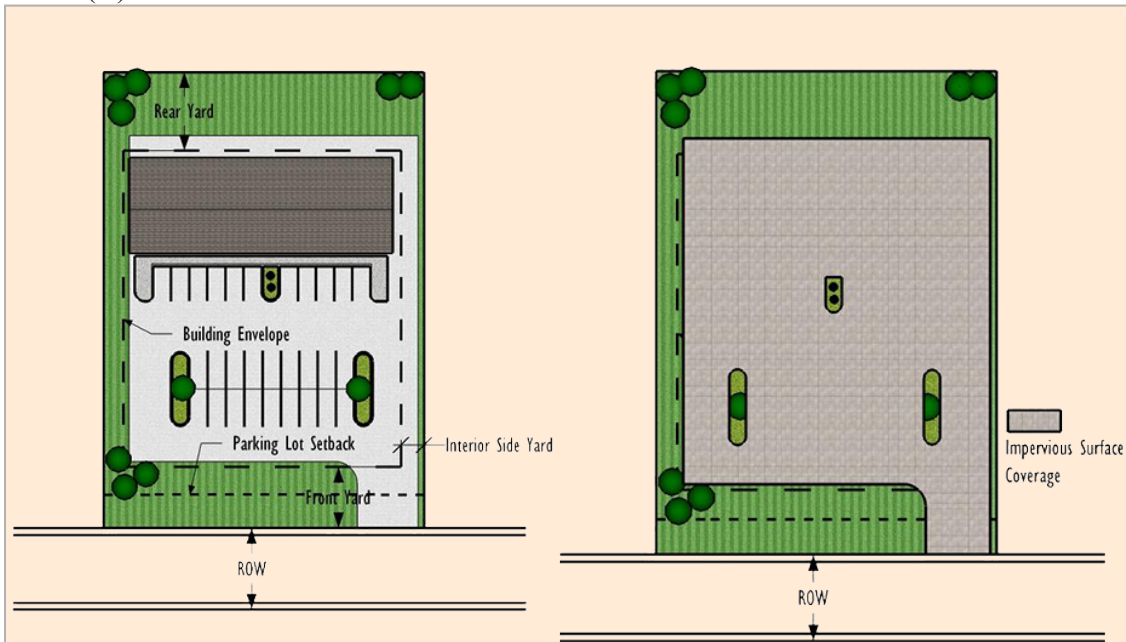
<p>Accessory Structures: Section 4-600</p> <p>Clear Sight Triangle: Section 4-100</p> <p>Design Standards: Section 4-900</p> <p>Exterior Lighting: Section 4-800</p> <p>Fences: Section 4-700</p> <p>Home Occupation: Article 2 (Definitions)</p> <p>Landscaping: Section 4-400</p> <p>Tree Preservation: Section 4-300</p>	<p>Land Uses: Article 2</p> <p>Outdoor Storage: Article 2</p> <p>Parking: Section 4-200</p> <p>Setbacks: Article 3</p> <p>Signs: Section 4-1000</p> <p>Temporary Uses: Article 2</p> <p>RV parking: Section 4-200</p> <p>Height: Article 10</p>
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TABLE 3-200A - DIMENSIONAL STANDARDS FOR OTHER USES IN RESIDENTIAL DISTRICTS

Use	Minimum Lot Area	Minimum Lot Width Feet	Required Setbacks							Maximum Building Coverage	Maximum Impervious Coverage	FAR	Height of Principal Structure	Height of Accessory Structures
	Sq. Ft.		Front Yard	Interior Side Yard	Combined Interior Side Yard	Rear	Yard Abutting a Street	Abutting Residential Districts	Side/Rear for Accessory Structures				Feet/ Stories	Feet/ Stories
Estate (E) District														
Other Uses	130,680	250	50	20	40	40	50	50	20/ 40	15%	25%	0.30	40/3	15/1
Residential Estate (RE) District														
Other Uses	80,000	200	50	20	50	40	50	50	20/ 40	20%	40%	0.40	40/3	15/1
Single-Family (R-1) Residential District														
Other Uses	40,000	150	30	10	30	20	30	50	10/ 20	20%	40%	0.40	40/3	15/1
Single-Family (R-2) Residential District														
Other Uses	40,000	150	30	10	30	20	30	50	10/ 20	20%	40%	0.40	40/3	15/1
Two-Family (R-3A) Residential District														
Other Uses	40,000	150	30	10	30	20	30	50	10/ 20	20%	40%	0.40	40/3	15/1
Multifamily (R-3B) Residential District														
Other Uses	40,000	150	30	10	30	20	30	50	10/ 20	20%	45%	0.40	40/3	15/1

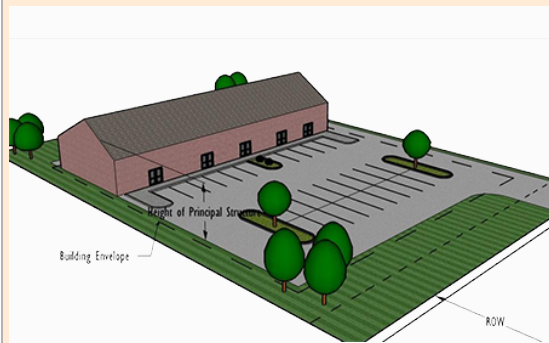
- B. Dimensional standards in nonresidential districts. All principal and accessory structures in nonresidential zoning districts are subject to the dimensional standards in Section 3-200B. All rules of measurements and exceptions to the rules of measurement are set forth in Section 3-300.

1. Office (O) District.



Minimum Lot Area: 20,000 square feet
 Minimum Lot Width: 80 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 10 feet
 Combined Interior Side Setback: 20 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 50 feet

Side Setback for Detached Accessory Structure: 10 feet
 Rear Setback for Detached Accessory Structure: 20 feet
 Maximum Building Coverage: 50%
 Maximum Impervious Surface Coverage: 65%
 Maximum Floor Area Ratio: 1.0
 Maximum Height, Principal Structure: 28 feet and 2 stories
 Maximum Height, Accessory Structure: 15 feet and 1 story



Additional Development Standards that may apply:

- | | |
|-------------------------------------|----------------------------------|
| Accessory Structures: Section 4-600 | Land Uses: Article 2 |
| Clear Sight Triangle: Section 4-100 | Outdoor Storage: Article 2 |
| Design Standards: Section 4-900 | Overlay Districts: Section 3-400 |
| Exterior Lighting: Section 4-800 | Parking: Section 4-200 |
| Fences: Section 4-700 | Setbacks: Article 3 |
| Height: Article 10 (Definitions) | Signs: Section 4-1000 |
| Increased Setbacks: Section 3-300 | Temporary Uses: Article 2 |
| Landscaping: Section 4-400 | Tree Preservation: Section 4-300 |

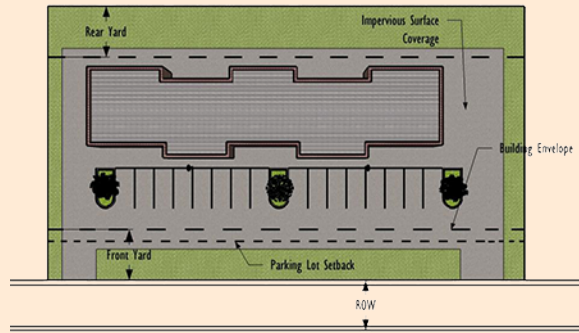
2. Neighborhood Commercial (B-1) District.

Minimum Lot Area: 10,000 square feet
 Minimum Lot Width: 50 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 0 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 50 feet

Side Setback for Detached Accessory Structure: 5 feet
 Rear Setback for Detached Accessory Structure: 20 feet
 Maximum Building Coverage: 50%
 Maximum Impervious Surface Coverage: 65%
 Maximum Floor Area Ratio: 1.0
 Maximum Height, Principal Structure: 28 feet and 2 stories
 Maximum Height, Accessory Structure: 15 feet and 1 story

Additional Development Standards that may apply:
 Accessory Structures: Section 4-600
 Clear Sight Triangle: Section 4-100
 Design Standards: Section 4-900
 Exterior Lighting: Section 4-800
 Fences: Section 4-700
 Height: Article 10 (Definitions)
 Increased Setbacks: Section 3-300
 Landscaping: Section 4-400
 Land Uses: Article 2
 Outdoor Storage: Article 2
 Overlay Districts: Section 3-400
 Parking: Section 4-200
 Setbacks: Article 3
 Signs: Section 4-1000
 Temporary Uses: Article 2
 Tree Preservation: Section 4-300

3. General Commercial (B-2) District.



Minimum Lot Area: 20,000 square feet
 Minimum Lot Width: 100 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 0 feet
 Minimum Rear Setback: 20 feet
 Minimum Corner Side Setback: 30 feet
 Yard Abutting Residential Districts: 50 feet

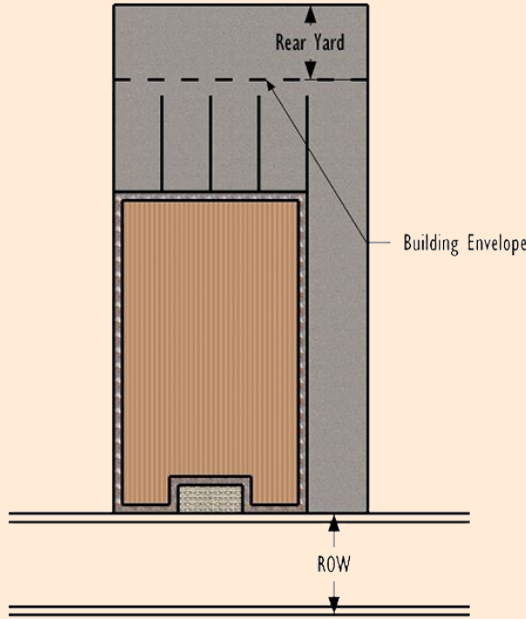
Side Setback for Detached Accessory Structure: 5 feet
 Rear Setback for Detached Accessory Structure: 20 feet
 Maximum Building Coverage: 50%
 Maximum Impervious Surface Coverage: 65%
 Maximum Floor Area Ratio: 1.5
 Maximum Height, Principal Structure: 28 feet and 2 stories
 Maximum Height, Accessory Structure: 25 feet and 2 stories



Additional Development Standards that may apply:

Accessory Structures: Section 4-600	Land Uses: Article 2
Clear Sight Triangle: Section 4-100	Outdoor Storage: Article 2
Design Standards: Section 4-900	Overlay Districts: Section 3-400
Exterior Lighting: Section 4-800	Parking: Section 4-200
Fences: Section 4-700	Setbacks: Article 3
Height: Article 10 (Definitions)	Signs: Section 4-1000
Increased Setbacks: Section 3-300	Temporary Uses: Article 2
Landscaping: Section 4-400	Tree Preservation: Section 4-300

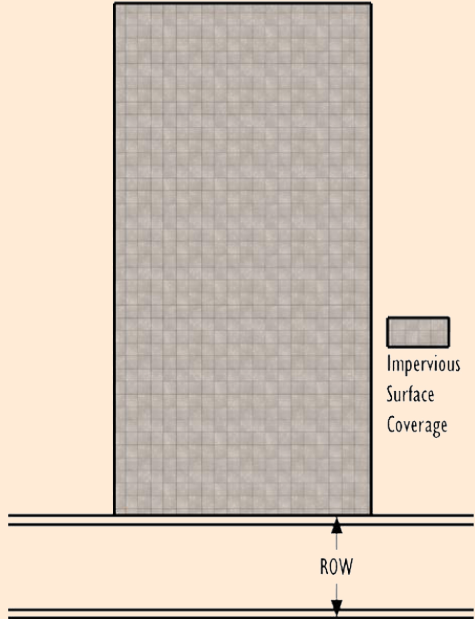
4. Mixed-Use Business (B-4) District.



Rear Yard

Building Envelope

ROW



ROW

Impervious Surface Coverage

Minimum Lot Area: 5,000 square feet

Minimum Lot Width: 50 feet

Minimum Front Setback: 0 feet

Minimum Interior Side Setback: 0 feet

Minimum Rear Setback: 20 feet

Minimum Yard Abutting a Street Setback: 0 feet

Yard Abutting Residential Districts: 10 feet

Side Setback for Detached Accessory Structure: 0 feet

Rear Setback for Detached Accessory Structure: 20 feet

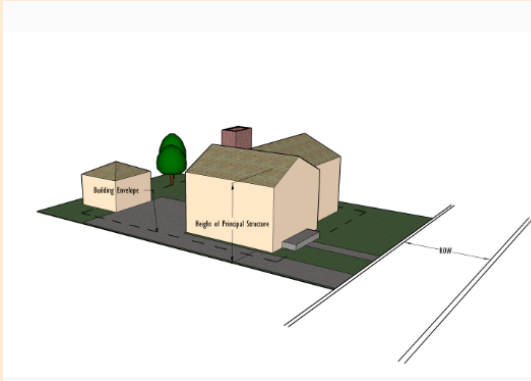
Maximum Building Coverage: 70%

Maximum Impervious Surface Coverage: 95%

Maximum Floor Area Ratio: 1.5

Maximum Height, Principal Structure: 36 feet and 3 stories

Maximum Height, Accessory Structure: 25 feet and 2 stories



Building Coverage

Right of Way

ROW

Additional Development Standards that may apply:

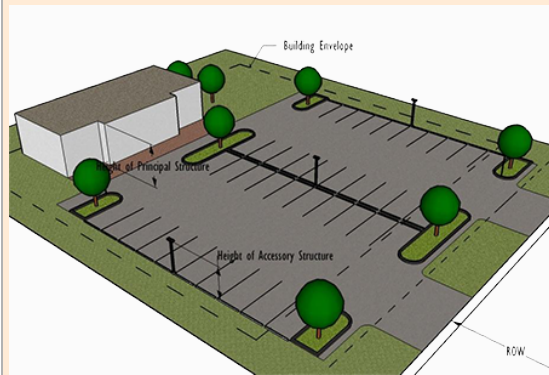
Accessory Structures: Section 4-600	Land Uses: Article 2
Clear Sight Triangle: Section 4-100	Outdoor Storage: Article 2
Design Standards: Section 4-900	Overlay Districts: Section 3-400
Exterior Lighting: Section 4-800	Parking: Section 4-200
Fences: Section 4-700	Setbacks: Article 3
Height: Article 10 (Definitions)	Signs: Section 4-1000
Increased Setbacks: Section 3-300	Temporary Uses: Article 2
Landscaping: Section 4-400	Tree Preservation: Section 4-300

5. Manufacturing Limited (M-L) District.



Minimum Lot Area: 15,000 square feet
 Minimum Lot Width: 80 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 12 feet
 Combined Interior Side Setback: 24 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 50 feet

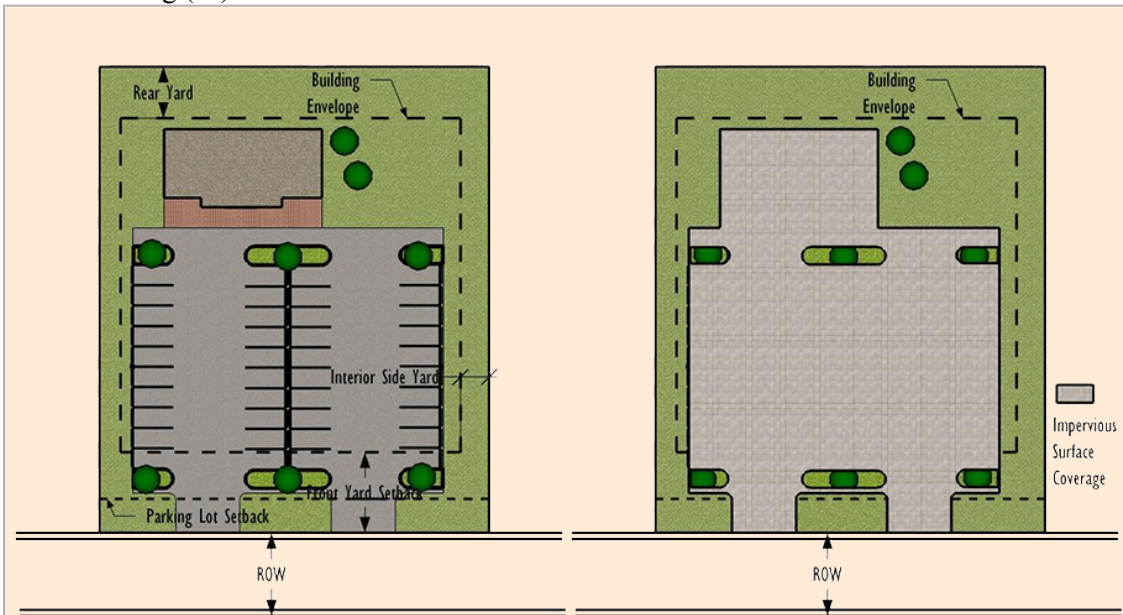
Side Setback for Detached Accessory Structure: 12 feet
 Rear Setback for Detached Accessory Structure: 20 feet
 Maximum Building Coverage: 50%
 Maximum Impervious Surface Coverage: 65%
 Maximum Floor Area Ratio: 1.0
 Maximum Height, Principal Structure: 28 feet and 2 stories
 Maximum Height, Accessory Structure: 25 feet and 2 stories



Additional Development Standards that may apply:

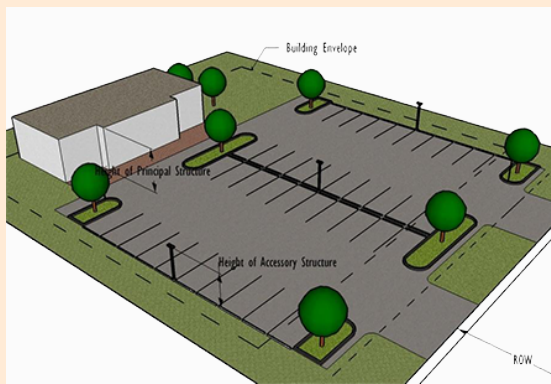
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| Accessory Structures: Section 4-600 | Land Uses: Article 2 |
| Clear Sight Triangle: Section 4-100 | Outdoor Storage: Article 2 |
| Design Standards: Section 4-900 | Overlay Districts: Section 3-400 |
| Exterior Lighting: Section 4-800 | Parking: Section 4-200 |
| Fences: Section 4-700 | Setbacks: Article 3 |
| Height: Article 10 (Definitions) | Signs: Section 4-1000 |
| Increased Setbacks: Section 3-300 | Temporary Uses: Article 2 |
| Landscaping: Section 4-400 | Tree Preservation: Section 4-300 |

6. Manufacturing (M) District.



Minimum Lot Area: 30,000 square feet
 Minimum Lot Width: 150 feet
 Minimum Front Setback: 30 feet
 Minimum Interior Side Setback: 15 feet
 Combined Interior Side Setback: 30 feet
 Minimum Rear Setback: 20 feet
 Minimum Yard Abutting a Street Setback: 30 feet
 Yard Abutting Residential Districts: 50 feet

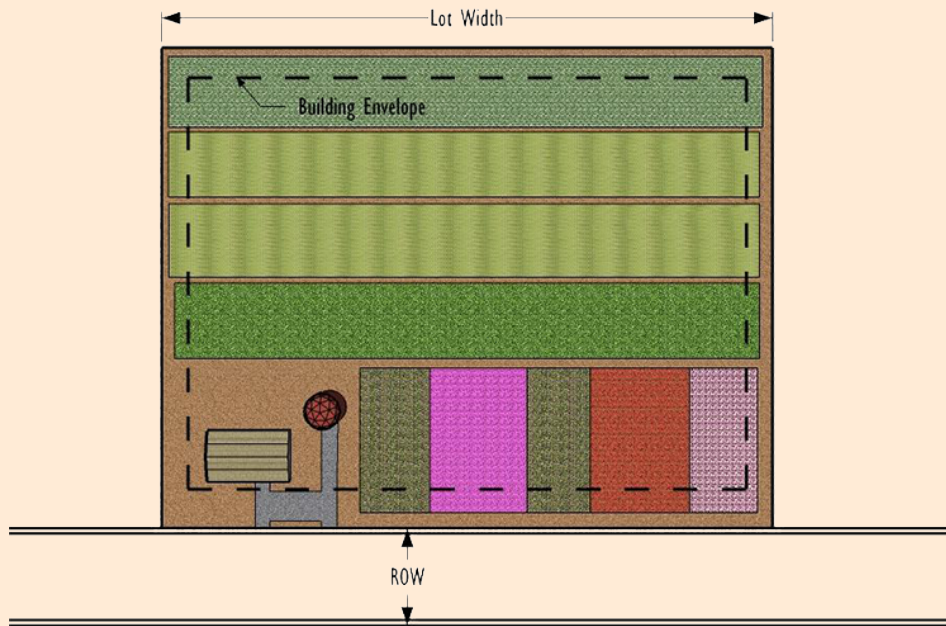
Side Setback for Detached Accessory Structure: 15 feet
 Rear Setback for Detached Accessory Structure: 20 feet
 Maximum Building Coverage: 50%
 Maximum Impervious Surface Coverage: 70%
 Maximum Floor Area Ratio: 0.75
 Maximum Height, Principal Structure: 45 feet and 3 stories
 Maximum Height, Accessory Structure: 25 feet and 2 stories



Additional Development Standards that may apply:

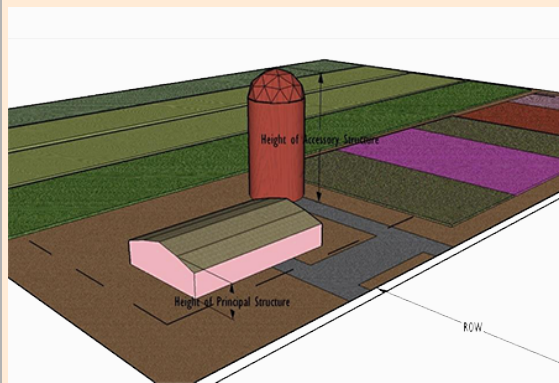
Accessory Structures: Section 4-600	Land Uses: Article 2
Clear Sight Triangle: Section 4-100	Outdoor Storage: Article 2
Design Standards: Section 4-900	Overlay Districts: Section 3-400
Exterior Lighting: Section 4-800	Parking: Section 4-200
Fences: Section 4-700	Setbacks: Article 3
Height: Article 10 (Definitions)	Signs: Section 4-1000
Increased Setbacks: Section 3-300	Temporary Uses: Article 2
Landscaping: Section 4-400	Tree Preservation: Section 4-300

7. Farming (F) District.



- Minimum Lot Area: 25 acres
- Minimum Lot Width: 100 feet
- Minimum Front Setback: 30 feet
- Minimum Interior Side Setback: 12 feet
- Combined Interior Side Setback: 24 feet
- Minimum Rear Setback: 30 feet
- Minimum Yard Abutting a Street Setback: 30 feet
- Yard Abutting Residential Districts: 50 feet

- Side Setback for Detached Accessory Structure: 12 feet
- Rear Setback for Detached Accessory Structure: 30 feet
- Maximum Building Coverage: 5%
- Maximum Impervious Surface Coverage: N.A.
- Maximum Floor Area Ratio: 0.10
- Maximum Height, Principal Structure: 25 feet and 3 stories
- Maximum Height, Accessory Structure: 60 feet and 3 stories



Additional Development Standards that may apply:

- Accessory Structures: Section 4-600
- Clear Sight Triangle: Section 4-100
- Design Standards: Section 4-900
- Exterior Lighting: Section 4-800
- Fences: Section 4-700
- Height: Article 10 (Definitions)
- Increased Setbacks: Section 3-300
- Landscaping: Section 4-400
- Land Uses: Article 2
- Outdoor Storage: Article 2
- Overlay Districts: Section 3-400
- Parking: Section 4-200
- Setbacks: Article 3
- Signs: Section 4-1000
- Temporary Uses: Article 2
- Tree Preservation: Section 4-300

8. Watershed (W) District.

Minimum Lot Area: Site Specific
 Minimum Lot Width: Site Specific
 Minimum Front Setback: Site Specific
 Minimum Interior Side Setback: Site Specific
 Combined Interior Side Setback: Site Specific
 Minimum Rear Setback: Site Specific
 Minimum Yard Abutting a Street Setback: Site Specific
 Yard Abutting Residential Districts: Site Specific
 Side Setback for Detached Accessory Structure: Site Specific
 Rear Setback for Detached Accessory Structure: Site Specific
 Maximum Building Coverage: Site Specific
 Maximum Impervious Surface Coverage: Site Specific
 Maximum Floor Area Ratio: Site Specific
 Maximum Height, Principal Structure: Site Specific
 Maximum Height, Accessory Structure: Site Specific
 Maximum Number of Principal Structures: Site Specific

Additional Development Standards that may apply:

Accessory Structures: Section 4-600	Land Uses: Article 2 Outdoor Storage: Article 2
Clear Sight Triangle: Section 4-100	Overlay Districts: Section 3-400
Design Standards: Section 4-900	Parking: Section 4-200
Exterior Lighting: Section 4-800	Setbacks: Article 3 Signs: Section 4-1000
Fences: Section 4-700	Temporary Uses: Article 2
Height: Article 10 (Definitions)	Tree Preservation: Section 4-300
Increased Setbacks: Section 3-300	
Landscaping: Section 4-400	

SECTION 3-300. Measurements and exceptions.

- A. Purpose. The purpose for this section is to clarify the rules of measurement and exceptions to the rules of measurement for all principal and accessory uses.
- B. Measurements.
1. Lot area.

Lot area means the amount of land area, included within the lines of a lot. Lands located within any private easements is included within the lot area measurement.

Any principal use together with all accessory uses shall be established on a lot having a minimum area as indicated in this article. When subdividing property, corner lots shall have 15% more area than the minimum required area as indicated in this article.

The minimum lot area for two family, multiple-family, townhouse and any other attached dwellings shall be the sum of the lot area required for the first dwelling unit, plus the lot area required for each additional dwelling unit as indicated in this article.

2. Lot width.

Lot width is measured as the horizontal distance between the side lot lines measured at right angles to the lot depth at the established front building setback line. The minimum lot width requirement does not apply to individual townhouses.



Commentary

In established neighborhoods where the front building setback line is determined as an average setback of the two closest dwellings, the lot width is measured not at the calculated front setback line, but at the front building setback line for each zoning district as established in this article. For lots along an inside curve (for a cul-de-sac or curved streets), lot width is measured along the chord of the setback arc where it intersects the side lot line. For lots on the outside curve, lot width is measured along a line tangent to the midpoint of the setback projected to the side lot line.

Any principal use together with all accessory uses shall be established on a lot having a minimum width as indicated in this article.

The minimum lot width for two family, multiple-family, townhouse, and any other attached dwellings shall be the sum of the width required for the first dwelling unit, plus the width required for each additional dwelling unit as indicated in this article.

3. Front setback. **[Amended 1-18-2011 by Ord. No. 6641; 3-1-2016 by Ord. No. 7200]**

Front setback is the minimum distance required between a proposed building and the front lot line.

Each lot shall have a minimum front setback as indicated in this article, except as provided below. For properties along the Crystal Lake waterfront, the front yard shall be on the water side. For a corner lot, the front is the narrowest side edge of the lot fronting on a street, irrespective of the orientation of the building toward either street. For a double-frontage lot, the front shall be along the street where a majority of the residences on the block are oriented.

Along principal highways, greater front setbacks* are required in all districts:

- a. On Route 176, the setback shall be 40 feet, except that such setback shall be increased to 80 feet west of Route 14 and east of the Union Pacific McHenry Line;
- b. On Route 14, the setback shall be 40 feet, except that such setback shall be increased to 80 feet north of Route 176 or east of Main Street; and
- c. On Route 31 and Randall Road, the setback shall be 80 feet.

For residential properties only:

- a. Where the established dwellings on the same side of a block, or measuring a total distance of 400 feet from the lot in question, whichever is less, have an average setback that is 10 feet greater or less than the required setback, the setback for the lot in question shall be the average of the established dwellings.
- b. For lots abutting Crystal Lake, the front yard setback shall be calculated by measuring the setback of the established dwellings for a total distance of 400 feet from the lot in question and shall be the average of the established dwellings.

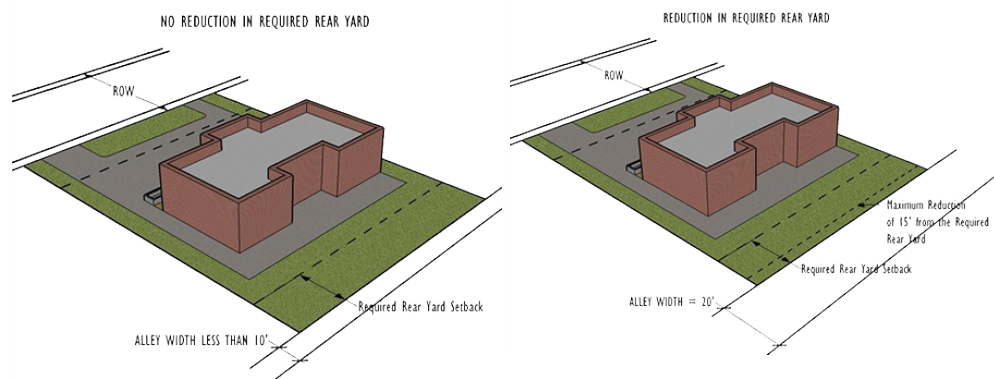
* Greater setbacks along principal highways are also required for yard abutting a street setbacks.

4. Interior side setback.

Interior side setback is the minimum distance required between a proposed building and the interior side lot line.

Each lot shall have an interior side setback extending along each side lot line, the combined and minimum width of which shall not be less than indicated in this article.

5. Rear setback.



Rear setback is the minimum distance required between a proposed building and the rear lot line. For properties along the Crystal Lake waterfront, the rear yard shall be on the street side and meet the requirements for a corner side.

Each lot shall have a minimum rear yard as indicated in this article.

In nonresidential districts, where the rear of a lot adjoins an alley that has a width of not less than 10 feet, a rear yard adjustment to allow a deduction in the required rear yard, equal to the width of the alley is permitted. This reduction shall not exceed 15 feet.

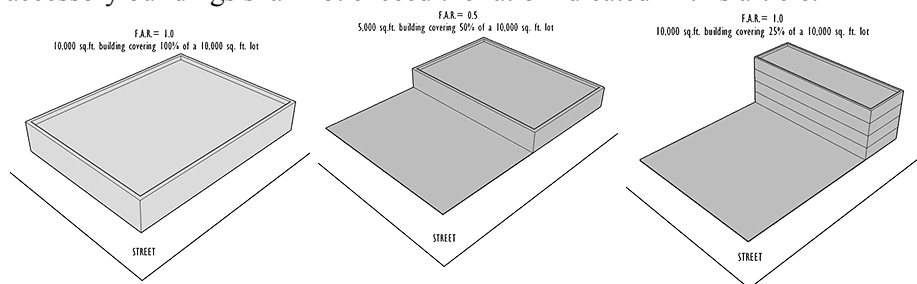
6. Corner side setback. Corner side setback is the minimum distance required between a proposed building and the corner side lot line. Any corner side yard shall have a minimum width of not less than indicated in this article. Where a corner side setback is along a principal highway, greater setbacks as outlined in Section 3-300B-3 are required. **[Amended 1-18-2011 by Ord. No. 6641]**
7. Yard abutting residential zone. Any side or rear yard in a multifamily residential, office, business, manufacturing, farming or watershed district, which abuts a residential district shall have a minimum width of not less than indicated in this article. All nonresidential uses in residential districts, abutting residential uses will also provide a side or rear yard as indicated in this article.
8. Side and rear setbacks for accessory structures. All accessory structures in all zoning districts shall provide a minimum interior side and rear yard setback as indicated in this article. **[Amended 1-18-2011 by Ord. No. 6641]**
9. Building coverage.

Building coverage is the area of a lot or parcel occupied by the principal building together with all accessory buildings.

The total building coverage shall not exceed the percent of the total lot area as indicated in this article. Building coverage may be limited by the requirement to provide adequate parking, stormwater management and other required facilities.

10. Impervious coverage. Impervious coverage is the area of a lot or parcel occupied by all impervious surfaces on the lot or parcel, including, but not limited to, principal and accessory buildings, driveways, pavement, sidewalks, structures, patios, walkways, etc. The maximum impervious surface coverage shall not exceed the percent of the total lot area as indicated in this article.
11. Floor area ratio (F.A.R.). Floor area ratio is the ratio of the floor area (total square footage) of the principal building and all accessory buildings on a lot or parcel to the area of the lot or parcel on which the buildings are located.

The combined floor area ratio (F.A.R.) for any principal building along with all accessory buildings shall not exceed the ratio indicated in this article.



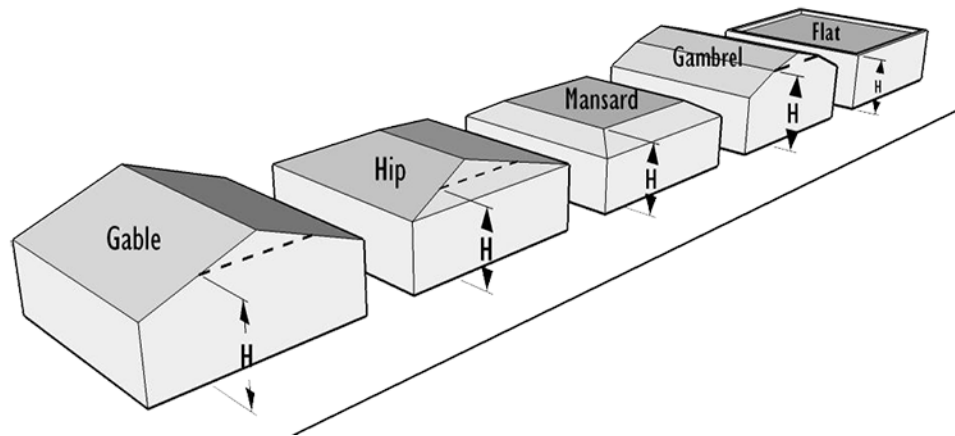
12. Height of principal structure and accessory structure. The height of any building is measured as the vertical distance measured from the curb level, or its equivalent

established grade, opposite the middle of the front of the building to the highest point of the roof in the case of a flat roof; to the deck line of a mansard roof; and to the mean height level between eaves and ridge for a gable, hip, or gambrel roof; excluding elevator or mechanical equipment rooms.

Where buildings are set back from the street line, the height of the building may be measured from the average elevation of the finished lot grade at the front of the building.

For all nonresidential structures, where the overall vertical grade of the area occupied by the footprint of the building varies more than three feet, the height of the building shall be measured from the average of all grade elevations of the building.

All principal buildings, accessory buildings or other structure shall not exceed the height and story maximums as provided in this article, except as provided in Section 3-300C, Exceptions.



13. Maximum net density. The maximum number of residential dwelling units allowable per acre of land within a development or other area shall not exceed the maximums indicated in Section 3-200A(1) through (6). Net density shall not include public or private street rights-of-way or unbuildable areas such as wetlands, floodplains, etc.

C. Exceptions.

1. Height exceptions. The following buildings, structures or parts thereof are exempt from the height limitations set forth in the zoning districts except as limited by any height restriction imposed by the FAA, or as herein stated:
 - a. Buildings, bulk storage silos and towers for agriculture purposes not specified elsewhere in this Ordinance. Buildings, bulk storage silos and towers in the M Manufacturing District shall not exceed 10 feet above the maximum height allowed for the principal building.
 - b. Flagpoles not to exceed 10 feet above maximum height permitted for accessory uses.

- c. Public utility poles and wires, radio and television antennas and towers, except that a special use permit shall be obtained for any public transmitting tower, subject to the standards and procedures of this Ordinance. For residential uses, a television, citizen's band, or short-wave radio antenna, not exceeding 10 feet in height, and attached to the roof, shall be exempted from consideration when determining the maximum height for the principal building. For a separate television, citizen's band, or short-wave radio tower/antenna, not attached to the roof of the principal structure, the maximum height shall be the allowable maximum height requirement for a principal building of that zoning district plus 10 feet. Receive-only "dish" antennas with a diameter of 39 inches or more located in a residential district and 80 inches or more located in nonresidential districts are subject to the accessory use standards in this Ordinance. **[Amended 3-1-2016 by Ord. No. 7200]**
 - d. Small wind-powered electric systems (having rated capacities of 100 kilowatts and less) and solar energy systems for all uses, not to exceed 15 feet above the maximum height allowed for the principal building in that district. **[Amended by Ord. No. 6543]**
 - e. Rooftop appurtenances: For nonresidential uses, screening for all cooling towers, elevator or mechanical equipment, vents, intakes or stacks or other rooftop structures shall be exempt from the height limitations. For details on screening requirements for rooftop appurtenances, refer to Section 4-700, Fences, walls and screening. **[Amended 1-18-2011 by Ord. No. 6641]**
 - f. Above ground water storage facilities, public/private.
 - g. Architectural features, attached to the principal structure, including but not limited to spires, belfries, weather vanes, cupolas, parapet walls and chimneys and cooling towers, elevator or mechanical equipment rooms, fire towers and stacks, stage towers and scenery lofts, and rooftop mechanical screening. Any such structure or feature over 50 feet in height, as measured from the ground, shall require approval by the Zoning Administrator.
2. Yard and building setback exceptions. The following structures shall be allowed to project into or to be constructed in any required yard or beyond the building setback line, except that in no case shall such structure or component part thereof extend beyond the property line with the exception of mail boxes which may be beyond the property line.
 - a. Air conditioner: Window units provided that a hot air baffle, directed upward, be installed. Central air, provided it is not located closer than 15 feet to a neighboring residential dwelling and that the hot air is baffled in an upward direction. Central air units are not permitted in the required front yard.
 - b. Commercial building awnings and canopies, not to exceed three feet or as regulated by Section 4-1000, Signs, with the more restrictive regulation having effect. **[Amended 12-11-2017 by Ord. No. 7419]**
 - c. Bay or bow windows, not to exceed two feet.
 - d. Chimneys not to exceed two feet.

- e. Clothesline posts; however not permitted in required front setback or corner side setback.
- f. Driveways and curbs, no closer than 1.5 feet running roughly parallel to interior side and corner side yards.
- g. Fences, walls and hedges in accordance with Section 4-700, Fences, walls and screening.
- h. Flagpoles.
- i. Garbage disposal equipment shall not be permitted to be stored in the front and corner side yard. Trash containers serving nonresidential uses shall not be located abutting residential property. Refer to Section 4-700, Fences, walls and screening, for screening requirements. **[Amended 1-18-2011 by Ord. No. 6641]**
- j. Guardhouse or gatehouse for industrial uses. These will be permitted within a front yard.
- k. Islands and pumps for gasoline service stations, minimum setback of 20 feet is required. Gasoline service station canopies either attached or detached to the principal structure shall have a minimum setback of 10 feet.
- l. Landscape features, plant materials, such as trees, shrubs and flowers. Planter boxes attached to a building shall not exceed two feet.
- m. Overhanging roof, eave, gutter, cornice or other architectural features, not to exceed two feet.
- n. Parking spaces as regulated in Section 4-200, Off-street parking and loading.
- o. Recreational vehicles as regulated in Section 4-200, Off-street parking and loading.
- p. Sidewalks and handicapped ramps.
- q. Signs as regulated by Section 4-1000, Signs.
- r. Steps, stairs, porches, decks, terraces and patios attached to a principal building or to give access to a principal building are not to exceed four feet. In all cases, a minimum five feet setback from the interior side property shall be maintained. **[Amended by Ord. No. 6543]**



Commentary

Where a porch, patio or terrace is converted to a screened porch, patio or terrace, it is treated as part of the principal structure and must meet the setback requirements for a principal structure. Addition of a roof structure (no side enclosures) also renders an accessory patio or terrace to be treated as part of the principal structure. Decks and platforms, open to the sky, whether attached to the principal structure or within five feet, are considered as part of the principal structure and are subject to all regulations of this Ordinance applicable to the principal structure.

[Amended 8-2-2016 by Ord. No. 7247]

- s. Parking lot lighting poles and fixtures.
- D. Location of buildings. Every principal building or structure shall be constructed or erected upon a zoning lot or parcel of land which abuts a public street or an approved private street.
- E. Buildings on a zoning lot. Only one principal building shall be located on a zoning lot, except in the case of multifamily buildings for multifamily developments, where more than one principal structure can be located on a single lot.

SECTION 3-400. Overlay district standards.

- A. Conservation (C) Overlay District.
 - 1. District intent. The Conservation Overlay District is intended to:
 - a. Protect natural resources by incorporating techniques including, but not limited to, energy conservation, passive solar and shading design strategies, gray water systems, stormwater best management practices, bio-infiltration, pretreatment and the use of green building technologies and products into development design;
 - b. Encourage a more efficient form of development that preserves the area's natural environmental features in perpetuity;

- c. Allow greater flexibility and creativity in the design of developments.



Property developed as conventional subdivision (left) and conservation subdivision (right)

2. District boundaries. The Conservation Overlay District generally encompasses the Northwest Sub-Area (the boundary for the Northwest Sub-Area is established by the Northwest Sub-Area Plan, as adopted and amended) and the Crystal Lake Watershed, excluding the existing urbanized portions. The overlay district boundaries are delineated on the Crystal Lake Zoning Map, as adopted and amended.
3. Effect on uses. All uses permitted by right, permitted as limited uses and permitted as special uses in the underlying zoning districts are permitted uses in the Conservation Overlay District.
4. Existing development, redevelopment and expansions. All development located within the Conservation Overlay District, existing at the time of adoption of this Ordinance, is exempt from the requirements of this section. Redevelopment and expansions of more than 50% of the existing gross area of any existing nonresidential development will be subject to the requirements of this section. Administrative and minor residential subdivisions are exempt from the provisions of this section.
5. Uses exempted. Bona fide farms, including land held for forestry practices, are exempt from the provisions of this section, provided that farming constitutes the principal use of the property. Any use of farm property for non-farm purposes is subject to these regulations.
6. Effect on uses. All uses permitted by right in the underlying zoning districts are permitted in the Conservation Overlay District. Additionally, the following uses are permitted through a watershed planned unit development application:
 - a. Residential.
 - (i) Household living.
 - Single-Family Detached Dwelling
 - Two-Family Dwelling
 - Single-Family Attached Dwelling

- Multifamily Dwelling
- Upper Story Dwelling, above nonresidential use
- (ii) Congregate living.
 - Nursing Care Facilities
 - Continuing Care Retirement Community
 - Family Care
- b. Commercial.
 - (i) Retail uses.
 - Drive-through
 - Outdoor Sales, Service, Storage or Display
 - Automobile Dealers
 - Other Motor Vehicle Dealers
 - Passenger Car Rental and Leasing
 - Truck, Utility Trailer, and RV (Recreational Vehicle) Rental and Leasing
 - Furniture Stores
 - Window Treatment Stores
 - All Other Home Furnishings Stores
 - Household Appliance Stores
 - Radio, Television, and Other Electronics Stores
 - Computer and Software Stores
 - Camera and Photographic Supplies Stores
 - Postal Packaging
 - Home Centers
 - Paint and Wallpaper Stores
 - Hardware Stores
 - Other Building Material Dealer
 - Nursery, Garden Center, and Farm Supply Stores
 - Convenience Stores
 - Meat, Fish and Seafood Markets and Fruit and Vegetable Store

Baked Goods Stores

Confectionery and Nut Stores

All Other Specialty Food Stores

Beer, Wine, and Liquor Stores (off-premise consumption of liquor)⁴

Pharmacies and Drug Stores

Cosmetics, Beauty Supplies and Perfume Store

Optical Goods Stores

Food (Health) Supplement Stores

All Other Health and Personal Care Store

Clothing Stores

Shoe Stores

Jewelry Stores

Luggage and Leather Goods Stores

Sporting Goods Stores

Hobby, Toy, and Game Stores

Sewing, Needlework, and Piece Goods Stores

Musical Instrument and Supplies Stores

Book Stores

Prerecorded Tape, Compact Disc, and Record Stores

Department Stores (including Discount Department Stores)

Warehouse Clubs and Supercenters

All Other General Merchandise Stores

Florists

Office Supplies and Stationery Stores

Gift, Novelty, and Souvenir Stores

Pet and Pet Supplies Stores

Art Dealers

(ii) Service uses.

Appliance Repair and Maintenance

Reupholstery and Furniture Repair
Footwear and Leather Goods Repair
Other Personal and Household Goods Repair and Maintenance
Barber Shops
Beauty Salons
Nail Salons
Spa
Diet and Weight Reducing Centers
Massage (Therapeutic) parlors
Tailor and Dressmaking shop (including alterations and repair)
Other Personal Care Services
Funeral Homes
Pet Care (except Veterinary) Services
Photofinishing Laboratories (including 1-Hr)
Full-Service Restaurants
Limited-Service Restaurants
Cafeterias, Grill Buffets, and Buffets
Snack and Nonalcoholic Beverage Bars
Caterers
Drinking Places (Alcoholic Beverages)
Sidewalk or patio outdoor seating
Food Service Drive-through
Video Tape and Disc Rental
Nursery School, Pre-school
Elementary and Secondary Schools
Junior Colleges
Colleges, Universities and Professional Schools
Business and Secretarial Schools
Computer Training

Professional and Management Development Training

Technical and Trade Schools (including Cosmetology and Barber Schools, Flight Training, Apprenticeship Training and Other Technical and Trade Schools)

Fine Arts Schools

Language Schools

Exam Preparation and Tutoring

Other Business Service Centers (including Copy Shops)

Carpet and Upholstery Cleaning Services (on customer's premises only)

Photography Studios, Portrait

(iii) Commercial recreation.

Amusement and Theme Parks (including indoor/outdoor water parks)

Ball Rooms, Dance Hall, Banquet Hall

Batting Cages

Billiards Parlor/Billiards Room/Pool Hall/Pool Parlor

Bowling Centers

Convention Center

Golf Courses and Country Clubs

Golf Driving Range

Health Clubs

Ice skating/roller skating rinks

Internet Cafe

Large-scale Entertainment Venue

Lodge/Membership Club

Mini Golf/Pitch-n-putt Golf

Movie or other theater

Nonresidential (indoor or outdoor) Swimming pools, wave pools

Physical fitness facilities, weight training centers, strength development centers, weight loss center

Squash/Racquetball/Handball/Tennis Club Facility (as a principal use)

Commercial Stables, including riding arenas

- (iv) Overnight lodging.
 - Hotels (except Casino Hotels) and Motels
 - Resorts
 - Bed-and-breakfast Inn
- (v) Offices.
 - Professional Offices
 - Offices of Physicians, Offices of Dentists, Offices of Other Health Practitioners
 - Medical Laboratories and Diagnostic Imaging Centers
 - Standalone automatic teller machines
 - Government Offices
 - Drive-through
- (vi) Civic.
 - Radio Station
 - Television Broadcasting
 - Sound Recording Studios
 - Teleproduction and other Postproduction Services
 - Community Facilities
 - Arts, Performing Arts Center
 - Library and Archives
 - Museums
 - Zoos and Botanical Gardens
 - Day Care
 - Home Day Care, up to eight children
 - Commercial Child Day-care center
 - Medical Uses
 - Outpatient Care Centers (including Freestanding Ambulatory Surgical and Emergency Centers)
 - All Other Miscellaneous Ambulatory Health Care Services
 - Hospitals

Veterinary Services

Social Assistance

Temporary Shelters

Community Food Services

(vii) Religious establishments.

Religious Organizations

(viii) Parking and transportation.

Public Parking Lot

Public Parking Structure

Private Parking Lots

Private Parking Structure

Airport, Heliport

Bus Terminal

Railroad Passenger Terminal

(ix) Utilities.

City Utilities (including but not limited to sewer treatment plants, water supply related facilities, water treatment and purification facilities)

Radio Transmission Towers

Wireless Communication Towers

Residential Wind Energy systems as an accessory use

Wind Farms (Utility-scale Turbines) as principal use

c. Open.

(i) Agricultural uses.

Agricultural supplies and equipment sales

Animal Raising (Specialized Farms for breeding and raising of fish, pigeons, dogs, cats, horses and bees)

Outdoor Sales, Storage and Display

Packing house for fruits and vegetables

Silviculture

Specialized Horticulture Operations, including sod farms, flower and vegetable gardens, orchards, greenhouses and wholesale nurseries

- (ii) Parks and open space.

Campground

7. Development standards.

- a. All new residential subdivisions (excluding the exemptions listed in Section 3-400A-4 above) within the Conservation Overlay District shall be required to follow the Conservation Guidelines in Article 5, Subdivision Standards. **[Amended 1-18-2011 by Ord. No. 6641]**
- b. Any nonresidential development that is subject to the provisions of the Conservation Overlay District must meet the goals outlined in this section, by adopting at least one design strategy fulfilling the goals listed, including but not limited to those strategies outlined below:

- (i) Goal 1: Demonstrate efficiency in the use of energy and resources and minimize the impact on the natural environment.

- I. Install a vegetated roof covering at least 50% of the total roof area. The vegetated roof must meet the provisions in the LEED-NC Green Building Design Guidelines, Version 2.2, as amended.



Commentary



In the simplest terms, a vegetated or green roof is plants on top of a roof. Green roofs improve air quality, conserve energy, reduce stormwater runoff and help reduce the urban heat island effect. The City of Chicago’s green-topped City Hall is pictured above, which contains 20,000 plants in all, consisting of more than 100 varieties, including shrubs, vines and two trees.

- II. Incorporate non-polluting and/or renewable on-site energy sources, including, but not limited to, solar, wind, geothermal, bio-mass and bio-gas energy sources. The energy source must meet the provisions in the LEED-NC Green Building Design Guidelines, Version 2.2, as amended.





Commentary

Pictured here is an example of solar panels installed on the roof to generate solar energy.

- III. Recycle and/or salvage at least 50% of nonhazardous construction and demolition debris. This practice shall conform to the provisions in the LEED-NC Green Building Design Guidelines, Version 2.2, as amended.
 - IV. Achieve increasing levels of energy performance by demonstrating a percentage improvement in the proposed building performance rating compared to the baseline building performance rating. This practice shall conform to the provisions of LEED-NC Green Building Design Guidelines, Version 2.2, as amended.
- (ii) Goal 2: Incorporate landscaping and site design that makes an exceptional contribution to the quality of the natural environment.
- I. Use permeable pavement materials for at least 25% of all private driveways, pathways, and parking areas.



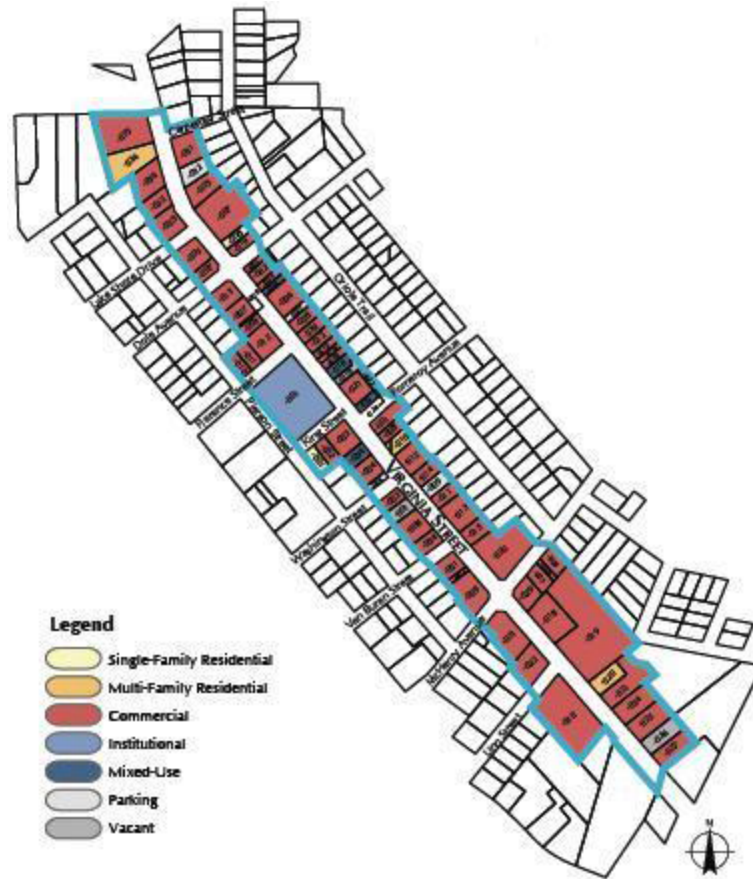
- II. Use native vegetation, permeable man-made materials, biofiltration swales, rain gardens and other conservation design techniques to convey and filter stormwater as outlined in the Crystal Lake Watershed Stormwater Management Design Manual.



- III. Use graywater and/or stormwater systems to capture and reuse at least 50% of graywater and stormwater for irrigation and secondary water usage.
 - IV. Place all slopes of 12% or greater within conservancy easements to ensure that they are not developed, nor disturbed during the development of remaining portions of the site.
 - V. Retain at least 50% of existing tree canopy cover on site.
- (iii) Goal 3: Demonstrate a commitment to providing pedestrian-friendly development and provide for both automobile and alternative modes of transportation that are planned in conjunction with development as well as conscientious of natural resources or other site features.
- I. Provide connections to existing and proposed (off-street and on-street) bike path systems.
 - II. Provide secure bicycle racks and/or storage areas within 600 feet of a building's entrance.
 - III. Where adjacent to a public park, school or other commercial area, provide a connector path that must be maintained in a pedestrian easement. Alternative surface material for the path may be approved by the City Engineer.

B. Virginia Street Corridor (VSC) Overlay District.

- 1. District intent. The Virginia Street Corridor Overlay District is intended to guide both new development and redevelopment activities as follows:



- a. Ensure that new development is respectful of the historical fabric and is compatible with and enhances the existing character of the corridor;
 - b. Explore the opportunities for increased pedestrian activities in the corridor by providing a diverse mix of small scale commercial retail uses at the street level;
 - c. Promote in-fill and redevelopment of sites by encouraging mixed-uses with second story residential or office above retail, food service or service uses.
2. District boundaries. The Virginia Street Overlay District encompasses the properties within the Virginia Street Corridor Tax Increment Financing District (the boundary for which is established through the ordinance designating the Virginia Street Redevelopment Project Area).
 3. Effect on uses.
 - a. Permitted uses. All uses permitted by right in the underlying zoning districts are permitted uses in the VSC Overlay District. Additionally, the following uses are permitted by right:
 - (i) Upper-story dwelling above nonresidential use, provided the required parking can be provided on-site.

- b. Limited uses. All uses permitted as limited uses in the underlying zoning districts are permitted limited uses in the Virginia Street Corridor Overlay District. Additionally, the following uses are permitted as limited uses:
 - (i) Home occupations, provided the standards in Section 2-400C-3 can be met.
 - c. Special uses.
 - (i) All uses permitted as special uses in the underlying zoning districts are permitted in the VSC Overlay District.
4. Lot area and width.
 - a. Minimum lot area: 5,000 square feet.
 - b. Minimum lot width: 50 feet.
5. Density and intensity standards.
 - a. Maximum building coverage: 70%.
 - b. Maximum impervious surface coverage: 95%.
6. Height standards.
 - a. Maximum height for principal structures: 25 feet and two stories.
 - b. Maximum height for accessory structures: 15 feet and one story.
7. Building setback standards.
 - a. Minimum front setback: five feet.
 - b. Minimum rear setback: 20 feet.
 - c. Minimum interior side setback: zero feet (additional setback may be required per Building or Life Safety Code).
 - d. Minimum corner side setback: five feet.
 - e. Yard abutting residential district: 20 feet.
8. Parking standards. Because of the availability of on-street parking spaces in the corridor, a reduced number of off-street parking spaces is justified in this overlay district. Therefore all uses located in the VSC Overlay District are allowed a reduction in the required number of parking spaces to provide 70% of the required number of spaces per Section 4-200 for a similar new building or use. More intense uses that cannot provide the required number of parking spaces are required to pay a fee-in-lieu.
9. Landscaping standards. Refer to Section 4-400, Landscaping and screening standards, for minimum landscaping standards in the corridor. Recommendations for preferred planting materials and locations are included in the Virginia Street Design Guidelines included in the Appendix.⁴

10. Architectural standards. Development within the VSC shall be consistent with the requirements of the Virginia Street Design Guidelines included in the Appendix. **[Amended 1-18-2011 by Ord. No. 6641]**
11. Lighting standards. All external lighting within the corridor shall meet the standards in Section 4-800, Exterior lighting standards. All external fixtures shall match the selected fixtures for the Virginia Street Corridor Streetscape Program.

C. Neighborhood Conservation (NC) Overlay District.

1. District intent. The Neighborhood Conservation Overlay District (NCOD) is intended to be a tool to conserve the distinctive character and unique features of a neighborhood by:
 - a. Outlining neighborhood-specific zoning standards that reflect the character of an area;
 - b. Encouraging development and/or redevelopment that is consistent with a neighborhood's form, scale and character;
 - c. Providing standards for exterior design for new construction and/or additions in an existing neighborhood to ensure compatibility.
2. Applicability. The NCOD standards apply to properties located within the boundaries of a designated NC Overlay. The district may be applied in areas where the majority of the parcels are used for residential purposes.
3. Relationship with other regulations. In case of a conflict between the regulations of a NCOD and requirements contained in other sections of this Ordinance, the regulations of the NCOD shall govern.
4. Uses, permitted, limited and special. All uses permitted by right, as limited uses and as special uses in the underlying zoning districts are permitted uses in the NCOD.
5. Establishing or expanding a NC Overlay District. **[Amended 6-3-2014 by Ord. No. 7034]**
 - a. Authority to initiate application: Applications for a NC Overlay District designation must be filed with the Department of Community Development. An application may be initiated either:
 - (i) By an application (provided by the Department of Community Development) signed by property owner(s) representing at least 51% of the lots within the proposed district;
 - (ii) Upon request by a property owner within the proposed district, pursuant to any adopted subarea plans that recommends a Neighborhood Conservation Overlay District;
 - (iii) By the City Council.

- b. Application requirements: When an application and proposed boundary map are filed to establish a NC Overlay District, the Director of Community Development must determine the eligibility of the area for NCOD Designation in accordance with this subsection. An area is determined as eligible for a NC overlay designation if it satisfies all of the following application criterion:
 - (i) Contains a minimum of one block face (all the lots on one side of a block);
 - (ii) At least 75% of the land area in the proposed district was developed at least 20 years prior to the application, and is presently developed;
 - (iii) Where one or more of the following features is shared by a majority of the properties, creating a cohesive and distinctive setting, character or association:
 - I. Scale, size, orientation, type of construction, or exterior building materials.
 - II. Spatial relationship between buildings;
 - III. Lot layouts, setbacks, street layouts, or alleys;
 - IV. Special natural or streetscape characteristics such as parks, gardens or street landscaping; and
 - V. Land use patterns, including mixed or unique uses or activities.
- c. Determination of eligibility for NCO designation.
 - (i) If, based on the criteria in Section 3-400C-5(b) above, the Director of Community Development determines that the area is not eligible for a NC Overlay District designation, the applicant(s) shall be notified of this fact in writing, including stated reasons for the decision. The decision of the Director of Community Development may be appealed to the City Council.
 - (ii) If the Director of Community Development determines that the area is eligible for designation as a NC Overlay District, the applicant(s) shall be notified of this decision and a public informational meeting will be scheduled.
- d. Public informational meeting required: If the area is determined to be eligible for a NCOD designation, the Director of Community Development shall schedule a public meeting for the purpose of informing property owners in the proposed district of the nature of the pending request. The Director of Community Development must send notice of the date, time and place of the meeting by first-class mail to all property owners with the proposed district. The City must initiate the preparation of a neighborhood conservation plan within 60 days of the public informational meeting.
- e. Neighborhood conservation plan: A neighborhood conservation plan shall be prepared by City staff with the assistance of the representatives of the proposed district. The plan shall identify the boundaries of the proposed district and

include a description of the existing and common characteristics of the area such as zoning, land use, distinguishing features of the proposed district. The conservation plan shall include design guidelines for the construction of any new building or structure or addition to an existing building or structure.

- (i) The guidelines shall include elements governing the common physical characteristics and features of the properties and may decrease or increase standards of this Ordinance. Elements of design established for the proposed district may include, but are not limited to:
 - I. Building height, massing and orientation;
 - II. Principal elevation features, pattern and number of openings, building materials, rooflines and pitch;
 - III. Dimensional requirements, setbacks, lot size, floor area ratio;
 - IV. Parking and loading requirements, garage location, driveways and sidewalks;
 - V. Landscaping, fences, walls, lighting and signage; and
 - VI. General site planning for both principal and accessory structures.
 - (ii) The guidelines shall only be applicable to the public facade of buildings, i.e. the exterior of buildings and portions of proposed structures that are visible from the public rights-of-way or streets. Therefore, any design guidelines shall not regulate the following:
 - I. Interior alterations;
 - II. Routine maintenance or repair of any structure or feature;
 - III. Demolition of any structure;
 - IV. Exterior paint colors;
 - V. Types of land uses permitted by the underlying zoning district.
 - (iii) Once the neighborhood conservation plan has been approved, proposed developments within the district shall be reviewed by City staff to determine if they meet the adopted guidelines set forth in the plan.
- f. Upon completion of the proposed neighborhood conservation plan, the Director of Community Development must schedule a public meeting for the purpose of informing property owners of the proposed draft. The Director of Community Development must send notice as indicated in Section 3-400C-5(d) above.
 - g. Map amendment and neighborhood conservation plan required.
 - (i) Adoption of a NC Overlay District requires an amendment to the Official Zoning Map. The requirements for an amendment to the Zoning Map shall be completed by City staff.

- (ii) A neighborhood conservation plan must be approved by the City Council at the same time that the map amendment is adopted.
- 6. Overlay district and plan approval.
 - a. The plan shall be forwarded, with recommendations from the Planning and Zoning Commission following a public hearing, to the City Council for approval.
- 7. Amendments to an adopted Neighborhood Conservation Overlay District. Any proposal to amend, modify or dissolve any district boundaries or design guidelines in an adopted NCOD is subject to the following:
 - a. Any proposal to add or subtract lots from an adopted NCOD or to dissolve a NCOD shall be the same as the application and adoption procedures set forth in Sections 3-400C-5 and 3-400C-6, except that a separate neighborhood conservation plan shall not be needed. The original neighborhood conservation plan for the district can be amended to incorporate the expansion.
- D. Three Oaks Recreation Area PUD Overlay District (Three Oaks PUD). **[Added 8-6-2019 by Ord. No. 7560]**
 - 1. District intent. The Three Oaks Recreation Area PUD Overlay District (Three Oaks PUD) is intended to be a tool to maintain and enhance the unique character of the Three Oaks Recreation Area and its immediate environs by encouraging orderly and well-planned development that is consistent with and complementary of the district's recreational activities and amenities, as further described in Section 1-700P.
 - 2. Applicability: The Three Oaks PUD standards apply to properties located within the boundaries of the Three Oaks PUD as designated on the Crystal Lake Zoning Map.
 - 3. Relationship with other regulations: In case of a conflict between the regulations of the Three Oaks PUD and requirements contained in other sections of this Ordinance or the City Code, the regulations of the Three Oaks PUD shall govern.
 - 4. Uses: The regulations of the underlying zoning districts, as applicable, shall govern the uses permitted by right, as limited uses, and as special uses within the Three Oaks PUD.
 - 5. Planned unit development review:
 - a. Planned unit development review and approval in accordance with Section 9-200E of this Ordinance shall be required for all development and redevelopment activities on properties located within the Three Oaks PUD, subject to the following exceptions:
 - (i) Interior alterations to existing buildings;
 - (ii) Minor exterior alterations to the facades of existing buildings; and
 - (iii) Signage alterations that comply with Section 4-1000 of this Ordinance.

- b. In addition to the procedures and standards set forth in Section 9-200E, applications for planned unit development approval within the Three Oaks PUD shall be subject to the following standards:
- (i) The proposed development conforms to and advances the goals and purposes of the Three Oaks PUD as set forth in Section 1-700P; and
 - (ii) Conditions on approval of any planned unit development shall be established to accommodate a balanced mix of uses in accordance with the underlying zoning designations, the UDO, and the Comprehensive Land Use Plan, and in a manner that is compatible with the area's character, taking into account site layout and design, building architecture, mix of uses, infrastructure and amenities, and other features that will serve to preserve or enhance the district's character.
- c. Denial of an application for planned unit development approval in the Three Oaks PUD pursuant to this Section 3-400D shall not preclude the petitioner from subsequently submitting a new application, including a substantially similar application, for development or redevelopment of the same property, notwithstanding Section 9-200K(2) or any other provision of this Ordinance or the City Code that would otherwise require rejection or deferral of such subsequent application.



Commentary

The City of Crystal Lake with assistance from the City Design Center at the University of Illinois at Chicago conducted an analysis of the visual characteristics of certain Crystal Lake neighborhoods. Using this analysis as a basis, a Pattern Book has been created, that provides general and specific principles to apply to new construction, additions and renovations in these neighborhoods. The Pattern Book is included in the Appendix, can be accessed on-line on the City's website and is available in print at City Hall.

