



#2014-44

Auto Tech – Special Use Permit

Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	November 5, 2014
<u>Request:</u>	Special Use Permit to allow Automotive Repair, Major for Auto Tech.
<u>Location:</u>	350 Virginia Street
<u>Acreage:</u>	1.1 acre site
<u>Existing Zoning:</u>	B-2 General Commercial
<u>Surrounding Properties:</u>	North: R-3A Multi-Family Residential South: B-2 General Commercial East: B-2 General Commercial West: B-2 General Commercial
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- **Existing Use:** This site is currently vacant. Previously, the Crystal Lake Home Furnishing building was on this site and was razed.

Development Analysis:

General

- **Request:** Special Use Permit to allow Automotive Repair, Major in the B-2 zoning district. Auto Tech does electrical, engine, transmission and total car maintenance and repair.
- **Land Use:** The land use map shows the area as Commerce. This land use designation is appropriate for retail and service providers. Auto Tech would be a service provider, completing major automobile servicing.
- **Overlay Zoning District:** This site is within the Virginia Street Corridor (VSC) Overlay District. District Intent: The VSC Overlay District is intended to guide both new development and redevelopment activities as follows:
 - a) Ensure that new development is respectful of the historical fabric and is compatible with and enhances the existing character of the corridor;

- b) Explore the opportunities for increased pedestrian activities in the corridor by providing a diverse mix of small scale commercial retail uses at the street level;
- c) Promote in-fill and redevelopment of sites by encouraging mixed-uses with second story residential or office above retail, food service or service uses.
- Zoning: The site is zoned B-2 General Commercial. Automotive Repair, Major is allowed within this zoning district with a Special Use Permit.

Site Plan

- The site currently has two access points, a full access on McHenry Avenue and a right-in/right-out/left-in on Virginia Street. The McHenry Avenue driveway has been moved to the north end of the site to line up, as much as possible, with the access road leading to Aldi.
- McHenry Avenue is required to be restriped to better accommodate the turning movements into and out of this location.
- The parking for this use is 3 parking spaces per each garage bay + 1 per employee on the largest shift. 37 total parking spaces have been provided. The garage bays require 24 parking spaces, which allows for a maximum of 13 employees on the largest shift.

Floor Plan

- The main portion of the building is for the service bays. Access to the service bays is from behind the building.
- The main street windows along Virginia Street show the tire storage area.
- The waiting room is located along the corner and McHenry Avenue sides of the building.
- A partial second story is proposed for tire storage along the South/Virginia Street elevation.

Landscape Plan

- No landscape plan has been provided, but is required as part of the building permit submittal and must meet the VSC Design Standards and UDO.

Signage

- No signage information has been provided and is required as part of an SUP submittal. Wall signs and free-standing signs must meet the VSC Design Standards and Article 4-1000 of the UDO.

Elevations

- The building is constructed of brick with a CMU block base.
- The North elevation faces the interior portion of the site and has 8 over-head garage doors for the repair bays. The main entrance is along this side from the parking lot.
- The West elevation is visible from Virginia Street. This is where they receive deliveries of tires or auto parts.

- The South elevation is along Virginia Street. There are 4 large window bays that look in on the tire storage area on the first and second floors. There is also a window bay at the corner of Virginia Street and McHenry Avenue that faces toward the intersection. Staff is suggesting a door be located here as well to invite pedestrians in from Virginia Street.
- The East elevation faces McHenry Avenue. This is where the waiting room is located. Window bays wrap around from Virginia Street along McHenry Avenue. A sidewalk has been provided from McHenry Avenue to the waiting room door.

Findings of fact:

SPECIAL USE PERMIT

The petitioner has requested a Special Use Permit to allow Major Auto Repair in the B-2 General Commercial zoning district. Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1. That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
 Meets *Does not meet*
2. That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
 Meets *Does not meet*
3. That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances.
 Meets *Does not meet*
4. That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
 Meets *Does not meet*
5. That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
 Meets *Does not meet*

6. That the proposed use will not impact negatively on the environment by creating air, noise, or water pollution; ground contamination; or unsightly views.
 Meets *Does not meet*

7. That the proposed use will maintain, where possible, existing mature vegetation; provide adequate screening to residential properties; provide landscaping in forms of ground covers, trees and shrubs; and provide architecture, which is aesthetically appealing, compatible or complementary to surrounding properties and acceptable by community standards, as further detailed in Article 4, Development and Design Standards.
 Meets *Does not meet*

8. That the proposed use will meet standards and requirements established by jurisdictions other than the City such as Federal, State or County statutes requiring licensing procedures or health/safety inspections, and submit written evidence thereof.
 Meets *Does not meet*

9. That the proposed use shall conform to any stipulations or conditions approved as part of a Special Use Permit issued for such use.
 Meets *Does not meet*

10. That the proposed use shall conform to the standards established for specific special uses as provided in this section.
 Meets *Does not meet*

In addition, there are specific criteria for Automotive Repair, Major.

1. Location of repair: All repairs shall be performed within a completely enclosed building.
 Meets *Does not meet*

2. Licensed vehicles: All vehicles parked or stored on-site shall display a current license plate with a current registration.
 Meets *Does not meet*

3. Odors and fumes: The use shall safely and appropriately vent all odors, gas and fumes and shall comply with all applicable federal, state and local regulation. Such vents shall be located a minimum of 10 feet above grade and shall be directed away from residential uses. All storage tanks shall be equipped with vapor-tight fittings to preclude the escape of gas vapors from the fill pipes.
 Meets *Does not meet*

4. Outdoor vehicle storage: Vehicles to be stored outdoors must be contained on-site on a paved area. The outside storage area shall be screened with a minimum six feet tall solid wooden fence. In selected cases, an eight feet tall solid wooden fence may be required.
 Meets *Does not meet*

5. Parts or junk vehicles storage: Outdoor storage of automotive parts or junk vehicles is prohibited.
 Meets *Does not meet*
6. Fuel dispensing: Unattended, automated dispensing of gasoline or other engine fuel is prohibited.
 Meets *Does not meet*
7. Fluid/oil collection mats: Fluid/oil collection mats are required by facilities in wellhead protection areas and within the Crystal Lake Watershed.
 Meets *Does not meet*

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Commerce, which allows for existing and future retail and service uses.

This project meets the following goal:

Land Use - Commerce

Goal: Maintain a dynamic and sustainable base of commercial uses that provides a solid tax base, goods, services and jobs to the city, as well as, the surrounding region through coordination in the Unified Development Ordinance, Comprehensive Land Use Plan and Economic Development Strategic Plan.

This can be accomplished with the following supporting action:

Supporting Action: Promote, retain and attract businesses that provide a diverse tax base.

Unique Areas – Virginia Street Corridor

Goal: To promote and enhance the corridor as a viable commercial district, through encouraging aesthetic improvements and appropriate land uses, while maintaining the unique character of the corridor.

This can be accomplished with the following supporting action:

Supporting Action: Ensure compliance with the VSC Design Standards.

This project does not meet the following Supporting Action and Success Indicator:

Supporting Action: Encourage livelier pedestrian environment through development and redevelopment.

Success Indicator: Approval of attractive urban design elements such as outdoor seating and attractive storefronts.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request to approve a Special Use Permit to allow Automotive Repair, Major is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Edward Miculinich, received 05/30/14)
 - B. Plan Set (Studio 222 Architects, dated 10/27/14, received 10/28/14)
 - C. Engineering Plan (Schmitt Engineering, dated 10/08/14, received 10/28/14)
2. Staff has provided recommended revisions to the plans attached as Exhibits 1, 2 and 3.
3. Site Improvements
 - A. Provide a Plat of Dedication for the 13 feet of additional right-of-way along McHenry Avenue including the corner for the future intersection improvements. The building shall maintain a 5-foot setback from the new property line.
 - B. The existing back-to-back left-turn lanes on McHenry Avenue should be modified to allow for a southbound left-turn lane (McHenry Avenue to US-14) with a minimum 125 feet of storage and a bi-directional left-turn lane to service the proposed development, as well as, the existing entrances to Aldi's, Coventry Motors and Oriole Trail, as illustrated in the engineering review comments.
 - C. All requirements of the Crystal Lake Watershed Design Manual must be met.
 - D. This project's stormwater drainage area is tributary to a known drainage problem area. Additional runoff cannot result in additional adverse drainage impacts to the downstream area.
 - E. All parking lot lights shall meet the VSC Design Standards and Exterior Lighting requirements in the UDO.
 - F. Signs shall be installed at the McHenry Avenue drive restricting left turns during peak p.m. times. The times shall be determined by staff.
 - G. The ground-mounted signage shall be located outside the dedicated right-of-way.
4. Elevations
 - A. Provide a full knee-wall and increase the bottom block course levels to be at the same height as the soldier course brick.
 - B. A public entrance shall be provided from Virginia Street at the corner of the building.
 - C. All windows shall be real see-through windows, as opposed to, faux windows.
 - D. Exterior metal doors shall be 6-panel decorative doors.
 - E. The exterior wall lights shall be a style similar to the VSC lighting standards. Provide wall lighting cut sheets for review.
 - F. The soldier course top brick band shall continue along all elevations.
 - G. All windows shall have an awning over them. The proposed metal awning over the back public entrance should be duplicated over each window bay.

- H. The large windows along the South elevation shall be broken into two distinct windows with a brick section in between.
 - I. Columns shall project a minimum of 2 feet from the face of the building.
 - J. The top of the building shall be finished with a top stone cap.
5. Landscape Plan
- A. Provide a complete landscape plan for staff review and approval which meets the requirements of Article 4-400.
 - B. Parkway trees are required along McHenry Avenue.
 - C. To better screen the overhead doors; a substantial amount of landscape should be added to the parking lot landscape areas.
 - D. It is recommended to use the VSC landscape materials.
 - E. An 8-foot landscape buffer is required between parking lots and interior side lot lines.
6. No signage information has been provided; all signs shall meet the requirements in the VSC Design Standards and then those of Article 4-1000 of the UDO.
7. The petitioner shall address all of the review comments and requirements of the Police, Fire Rescue, and Community Development Departments, as well as, those by our Stormwater Consultant.

EXHIBIT 1

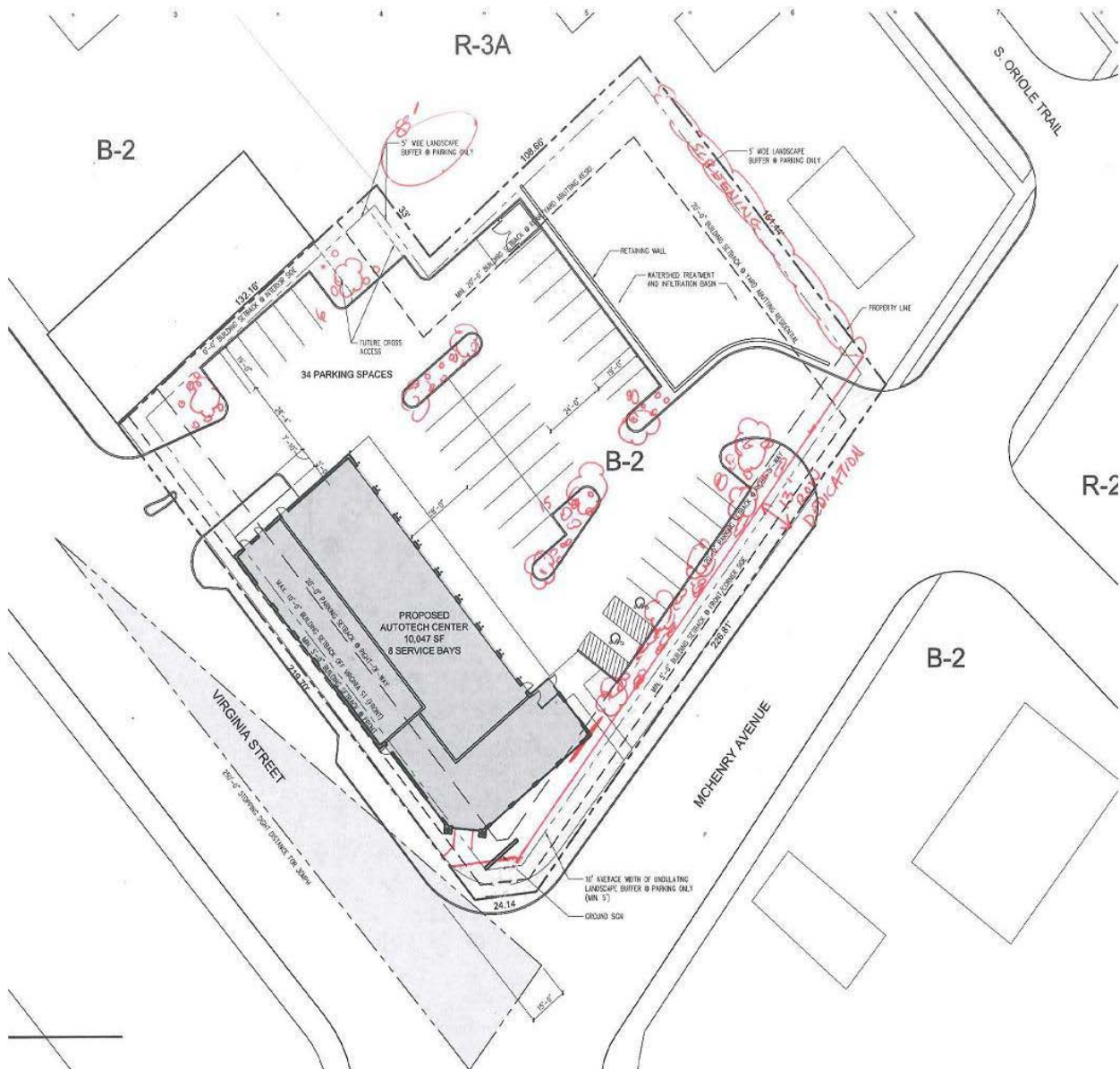


EXHIBIT 2

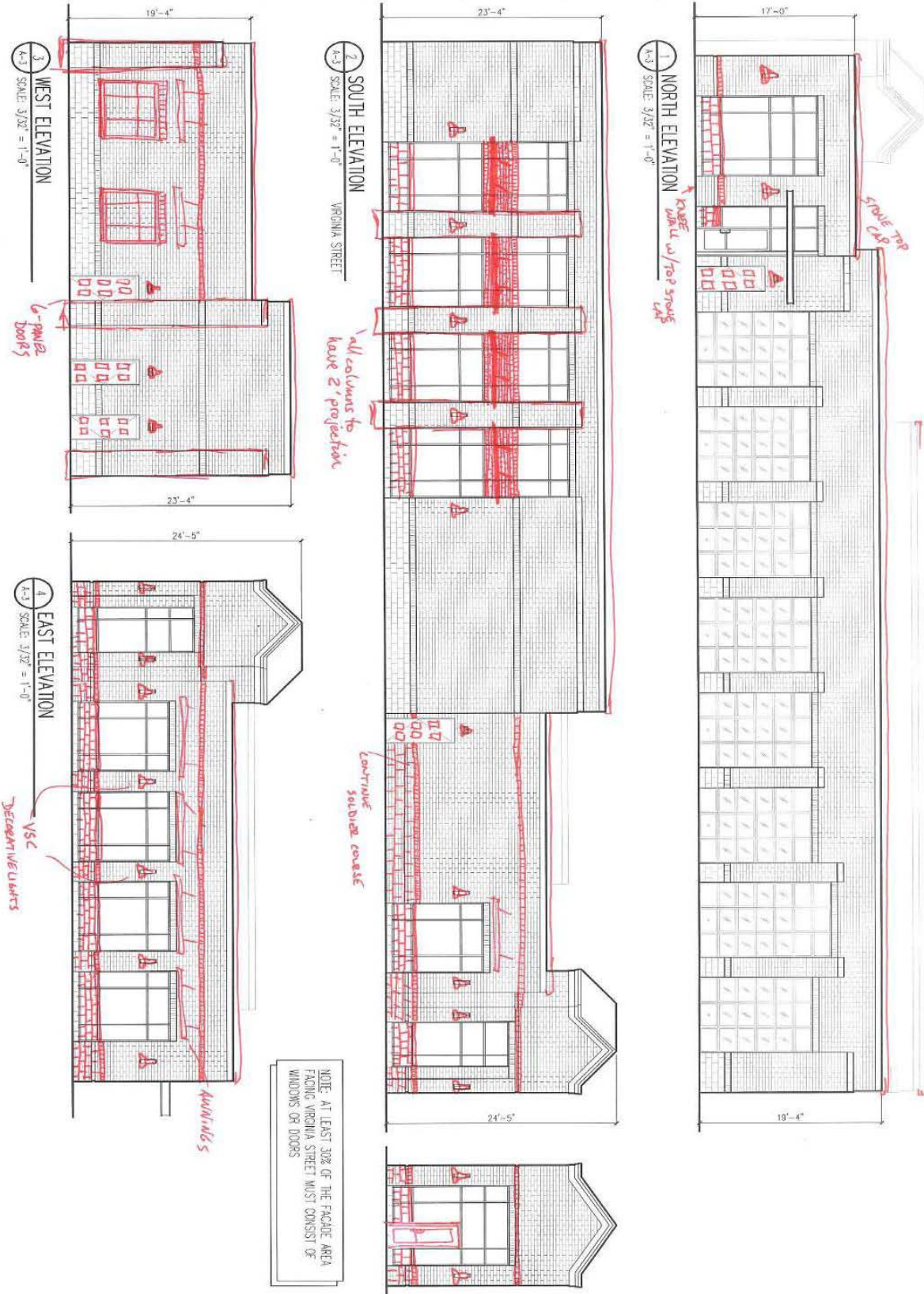
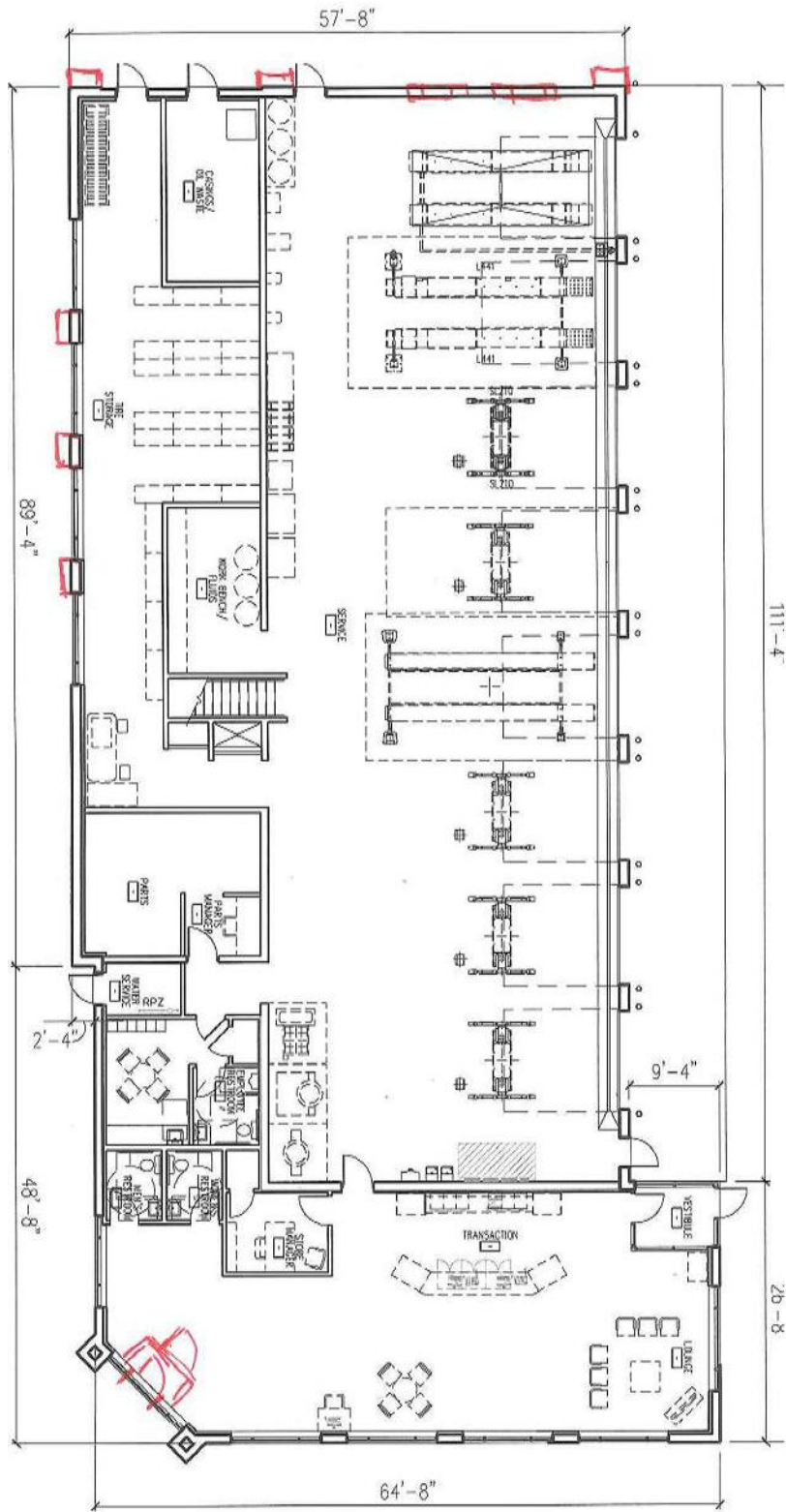
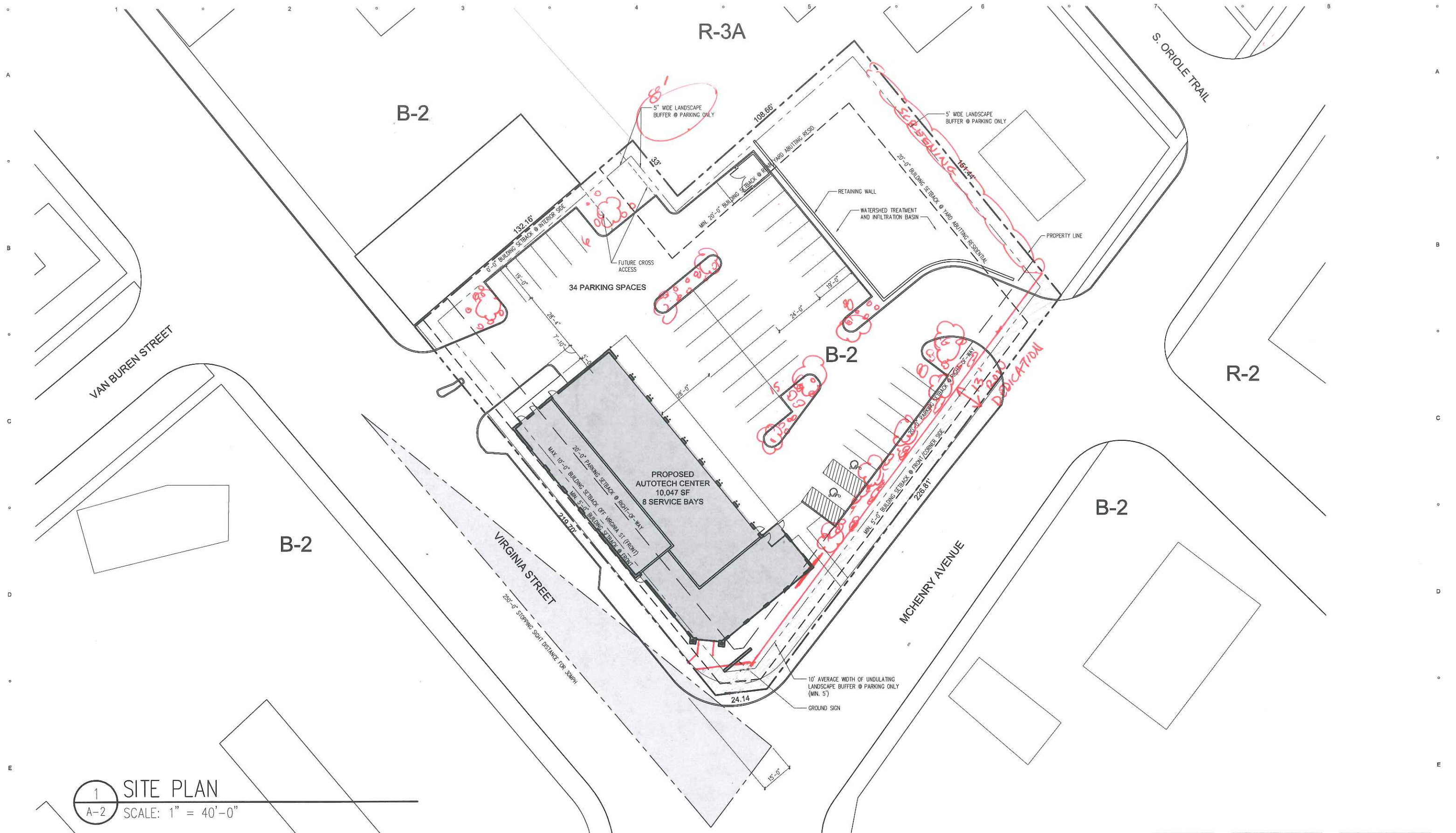


EXHIBIT 3





1 SITE PLAN
A-2 SCALE: 1" = 40'-0"

ARCHITECT

CRYSTAL LAKE AUTOTECH

PROJECT/CLIENT NAME

CRYSTAL LAKE, IL

SHEET INFORMATION

PROJECT DATA

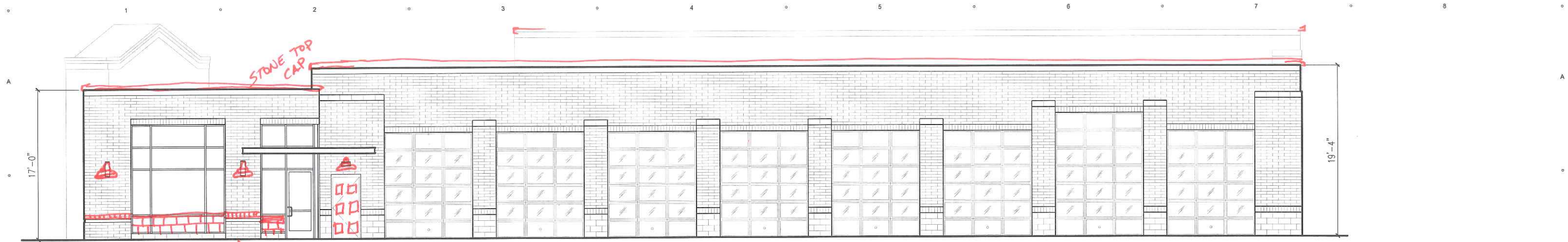
SHEET NO

STUDIO 222 ARCHITECTS
222 SOUTH MORGAN STREET, SUITE 4B, CHICAGO, ILLINOIS 60607
P. 312.850.4970 F. 312.850.4976 WWW.STUDIO222ARCHITECTS.COM

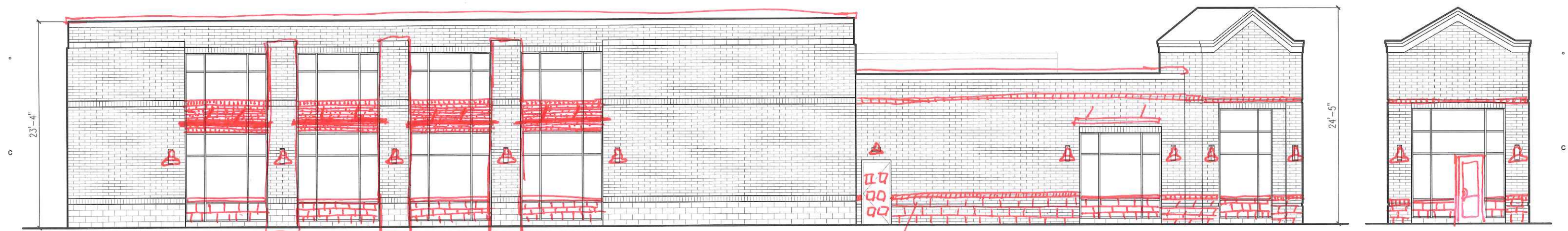
VIRGINIA ST. & MCHENRY AVE.
VIRGINIA STREET CORRIDOR

DATE: 10.27.14
PROJ. NO. 14024
DRAWN BY: TJS/KLO
SCALE: 1" = 40'-0"

A-2



1 NORTH ELEVATION
 A-3 SCALE: 3/32" = 1'-0"
 KNEE WALL W/ TOP STONE LAP

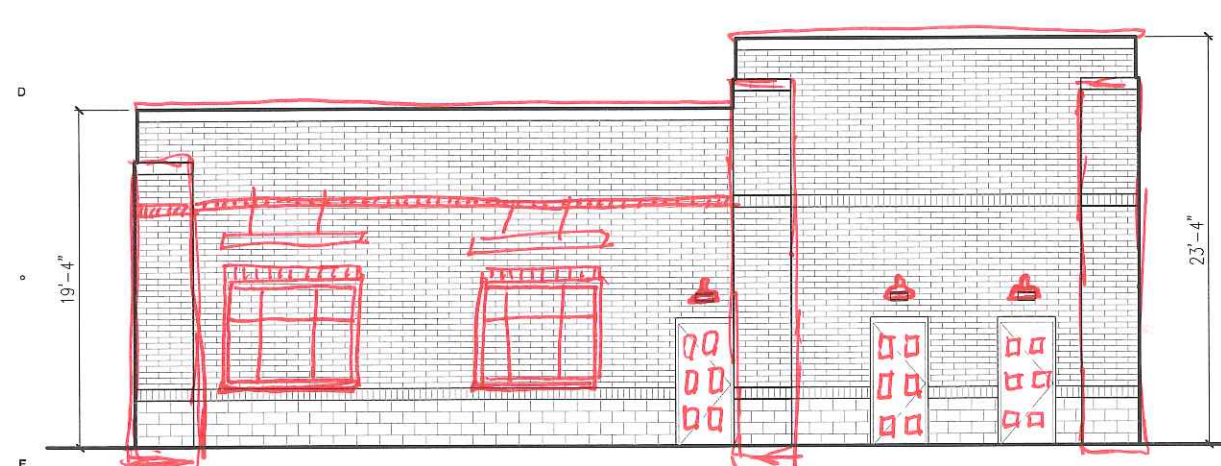


2 SOUTH ELEVATION
 A-3 SCALE: 3/32" = 1'-0"
 VIRGINIA STREET

all columns to have 2' projection

CONTINUE SOLDIER COURSE

NOTE: AT LEAST 30% OF THE FACADE AREA FACING VIRGINIA STREET MUST CONSIST OF WINDOWS OR DOORS



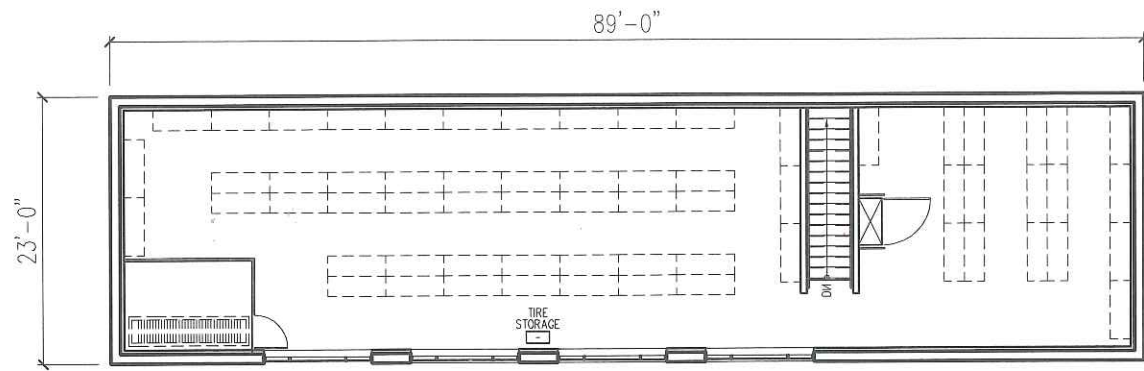
3 WEST ELEVATION
 A-3 SCALE: 3/32" = 1'-0"

6-PANEL DOORS



4 EAST ELEVATION
 A-3 SCALE: 3/32" = 1'-0"

VSC DECORATIVE LIGHTS

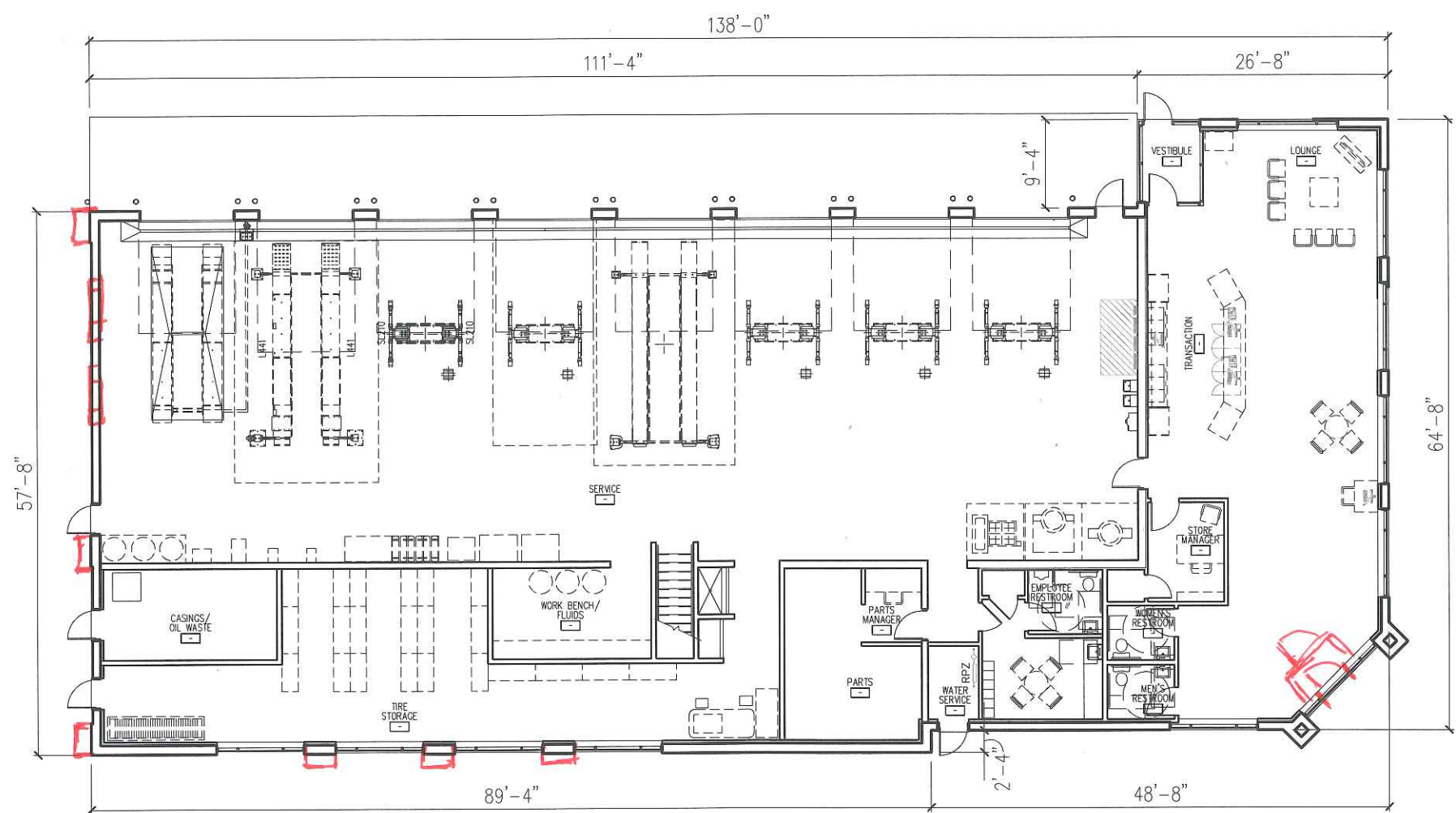


AREA SUMMARY:

1ST FLOOR	8,000 SF
2ND FLOOR	2,047 SF
TOTAL	10,047 SF

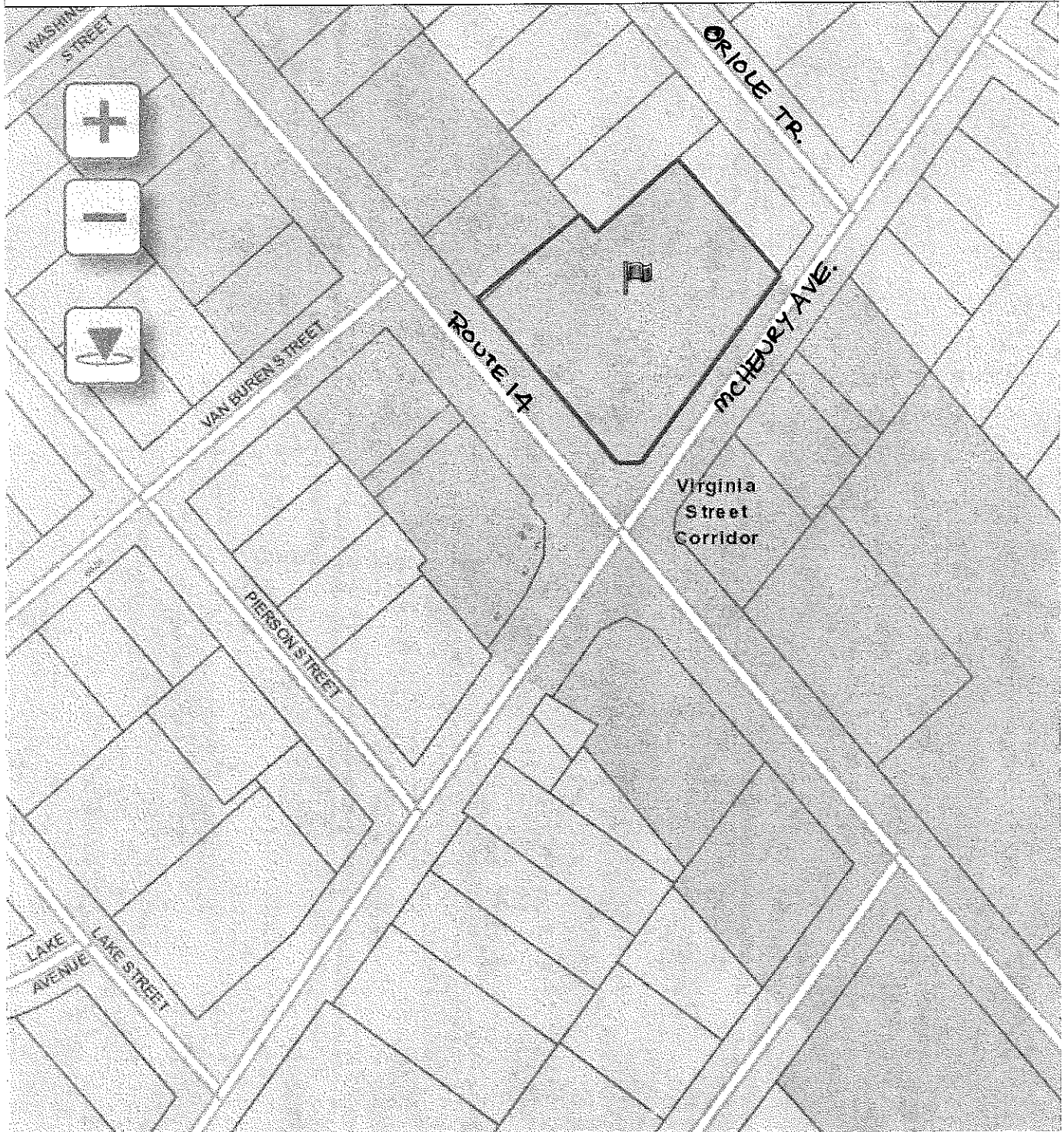
NOTE: AT LEAST 30% OF THE FACADE AREA FACING VIRGINIA STREET MUST CONSIST OF WINDOWS OR DOORS

2 2ND FLOOR PLAN
A-1 SCALE: 1/16" = 1'-0"



1 1ST FLOOR PLAN
A-1 SCALE: 1/16" = 1'-0"

CITY OF *Crystal Lake* Illinois



2014 44

City of Crystal Lake Development Application

Office Use Only

File # _____

Project Title: Auto Tech Crystal Lake

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OCT 16 2014
BY: _____

Action Requested

- | | |
|-------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: Edward Miculinich

Address: 2714 Lauderdale Court
McHenry, IL 60051

Phone: (815) 385-2171

Fax: (815) 363-1231

E-mail: atc4005@yahoo.com

Owner Information (if different)

Name: Westway, Inc.

Address: 860 W. Blackhawk, #201
Chicago, IL 60642

Phone: (847) 255-1606

Fax: (847) 255-1648

E-mail: royafellars@gmail.com

Property Information

Project Description: Northeast corner McHenry Avenue & West Virginia Street
Construct a Goodyear Auto Tech Center at the subject location and request
a special use permit for major auto repair.

Project Address/Location: 350 W. Virginia Street
Crystal Lake, IL 60014

PIN Number(s): 19-05-302-020

Development Team

Please include address, phone, fax and e-mail

Developer: Edward Miculinich, 2714 Lauderdale Ct., McHenry, IL 60051
atc4005@yahoo.com

Architect: Tim Schmitt

Attorney: Mark Saladin, 40 Brink Street, Crystal Lake, IL 60014

Engineer: Albert M. Schmitt, 215 W. Calhoun Street, Woodstock, IL 60098

Landscape Architect: N/A

Planner: N/A

Surveyor: N/A

Other: N/A

Signatures

Edward Miculinich Edward Miculinich 10.7.2014
PETITIONER: Print and Sign name (if different from owner) Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

Ray Sellers, President 10/07/14
OWNER: Print and Sign name Date
Westway, Inc

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

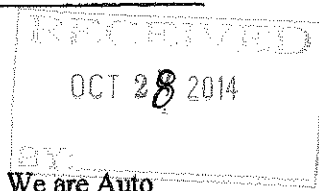


4005 W. Elm St
McHenry, IL 60050

7101 Virginia Rd
Crystal Lake, IL 60014

681 S. Eastwood Dr
Woodstock, IL 60098

10370 Route 47
Huntley, IL 60142



To whom it may concern,

We thought we should let you know who we are and what we are about. We are Auto Tech Centers, Inc. and we presently do business at 7101 Virginia Rd (Virginia & Rte 14, across from Walgreens). We started there in 1987, 27 years ago. Our lease is up at the end of this year and our building is set to be torn down with a CVS being put up in our place. My name is Edward Miculinich, along with my wife Joanne, we have established a large customer base in Crystal Lake and have been an asset to the community. Throughout the years, we have donated to local charities/fundraisers, sponsored little league teams and sponsored Lakeside Fest. We have employees still with us that were here when we opened in 1987.

For several years now my son Mike Miculinich and daughter Megan Miculinich have been involved in running our company. We are primarily a Goodyear tire distributor along with other tire brands. We do tire related work like flat repairs, tire rotations, mounting & dismounting. We also do automotive manufacturer required maintenance such as oil changes, replace filters, belts, hoses, and bulbs. We do front end alignments and replace broken or worn parts such as suspension, brakes, shocks and struts, etc. We do not do any major rebuilding jobs such as rebuilding motors or transmissions. That is just not in our scope of work.

We would appreciate the opportunity to continue serving the people of Crystal Lake in the future. We believe our business is a nice fit in the new location as we will be low impact on the neighborhood as compared to other possible businesses. Our car count is relatively low, 30-35 cars per day. We close Monday - Friday at 7pm, Saturday at 5pm and we are closed on Sunday. Our bay doors are closed 7 months of the year. We do not generate a lot of garbage or parking lot litter, and all tires and waste oil are recycled with certified recyclers. Traffic will be minimally impacted. We think our business is a win win for this location. We hope you agree.

Thanks for your consideration,

Edward Miculinich
Owner

Michael Miculinich
President

Joanne Miculinich
Owner

Megan Miculinich
Secretary/Treasurer

PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION OF
THE CITY OF CRYSTAL LAKE**

IN THE MATTER OF THE APPLICATION OF WESTWAY, INC. BENEFICIAL OWNER, AND EDWARD MICULINICH, APPLICANT, FOR ISSUANCE OF A SPECIAL USE PERMIT IN ACCORDANCE WITH THE CITY OF CRYSTAL LAKE UNIFIED DEVELOPMENT ORDINANCE

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Westway, Inc. as beneficial owner, and Edward Miculinich applicant, for property located at 350 W. Virginia Street, Crystal Lake, Illinois 60014. Parcel Index No. 19-05-302-020. The property is owned by the Cosmopolitan National Bank of Chicago as Trustee under the provisions of a Trust Agreement dated March 31, 1966 and known as Trust Number 15967.

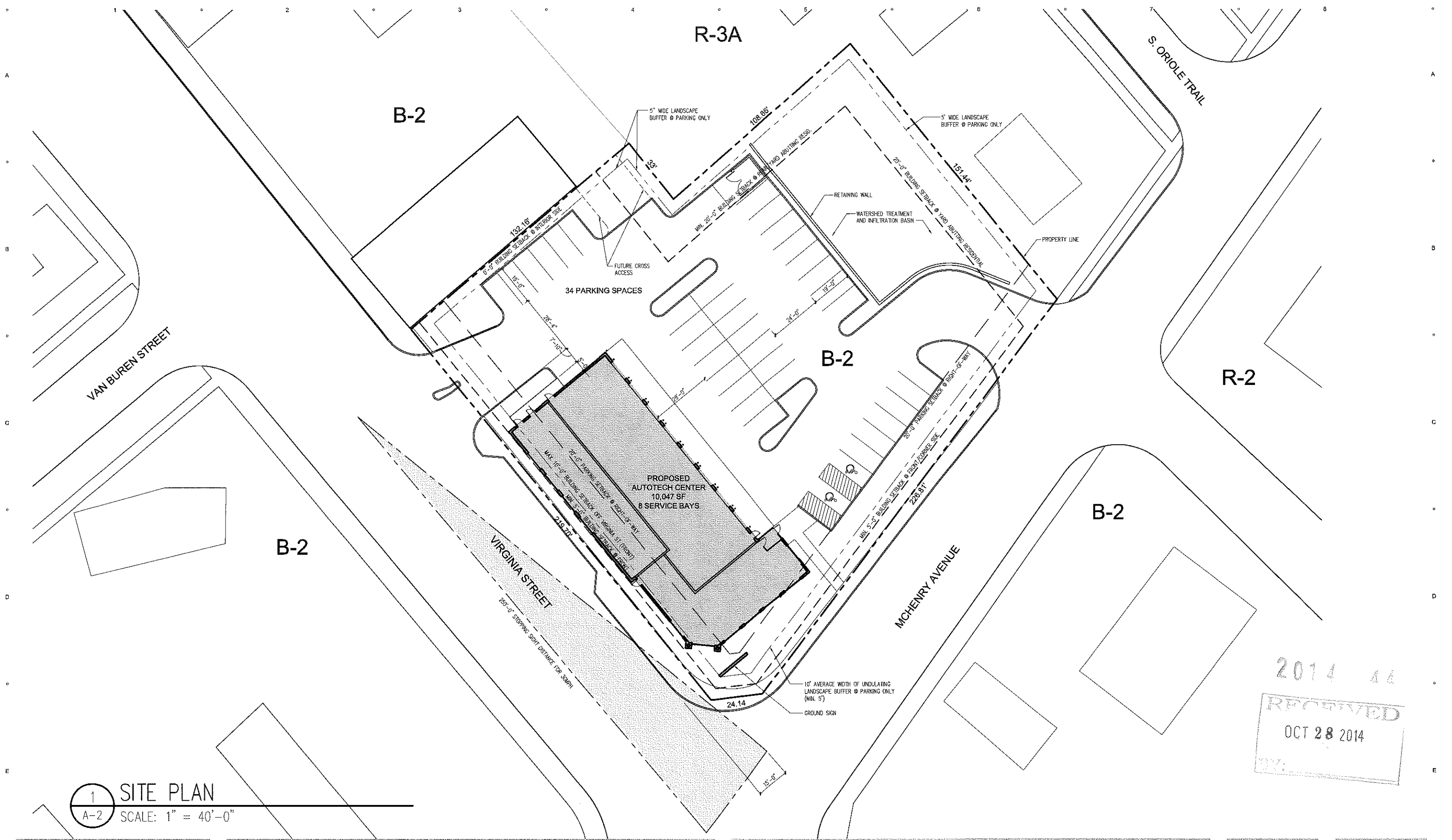
This application is filed for the purpose of issuance of a special use permit for major auto repair pursuant to the requirements of Section 2-400 and Section 9-200D of the Crystal Lake Unified Development Ordinance. The applicant desires to construct a Goodyear Auto Tech Center on the property.

A public hearing before the Planning and Zoning Commission on the request will be held at 7:30 p.m. on November 5, 2014, at the Crystal Lake City Hall, 100 West

Woodstock Street, at which time and place any person desiring to be heard may be present.

Thomas Hayden, Chair
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
October 19, 2014. #5337)

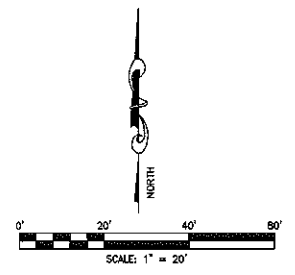
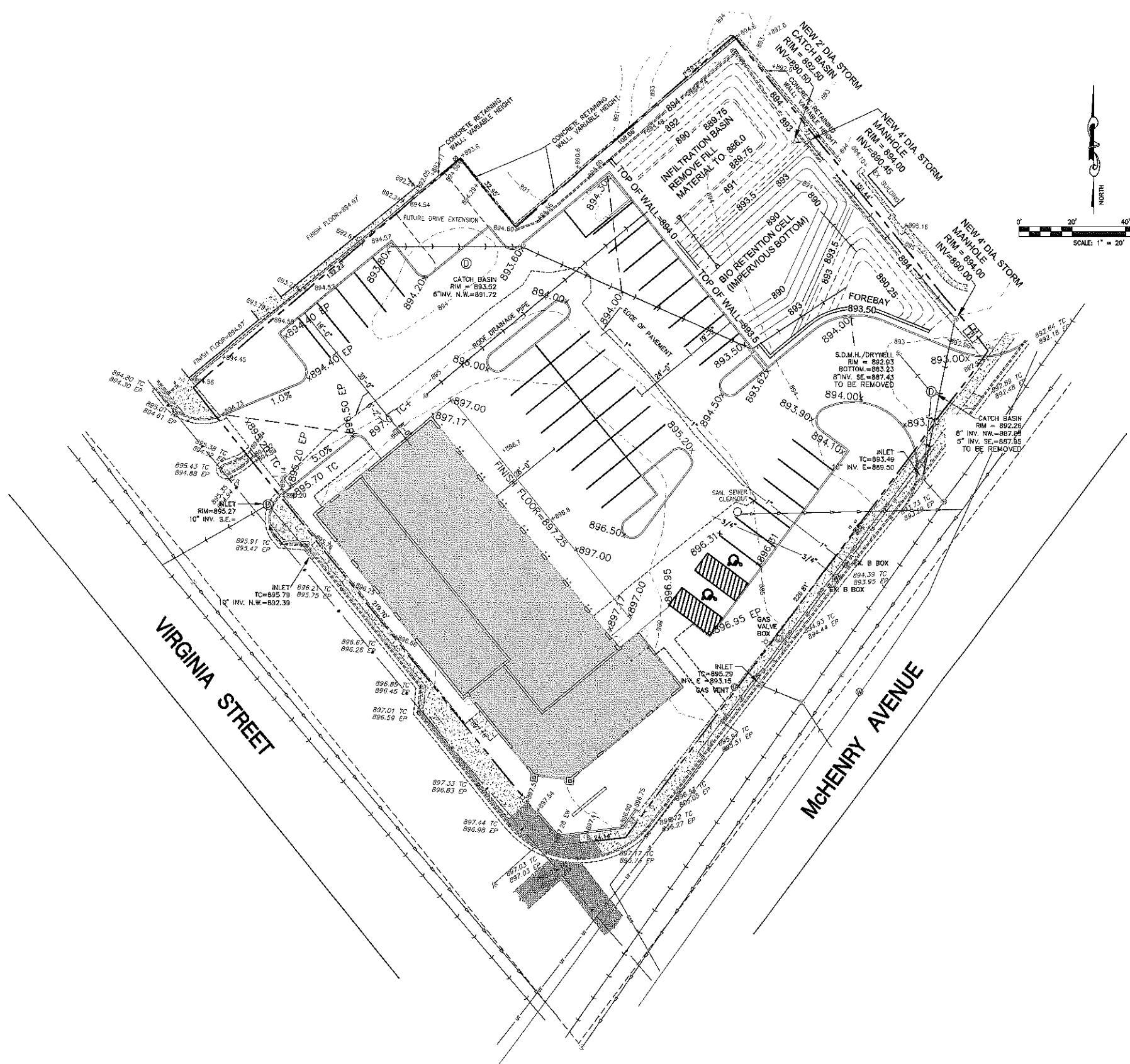


2014 44
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 OCT 28 2014

1 SITE PLAN
 A-2 SCALE: 1" = 40'-0"

ARCHITECT	PROJECT/CLIENT NAME	SHEET INFORMATION	PROJECT DATA	SHEET NO
 222 ARCHITECTS 222 SOUTH MORGAN STREET, SUITE 4B, CHICAGO, ILLINOIS 60607 P. 312.850.4970 F. 312.850.4978 WWW.STUDIO222ARCHITECTS.COM	CRYSTAL LAKE AUTOTECH VIRGINIA ST. & MCHENRY AVE. VIRGINIA STREET CORRIDOR CRYSTAL LAKE, IL		DATE: 10.27.14 PROJ. NO. 14024 DRAWN BY: TJS/KLO SCALE: 1" = 40'-0"	A-2

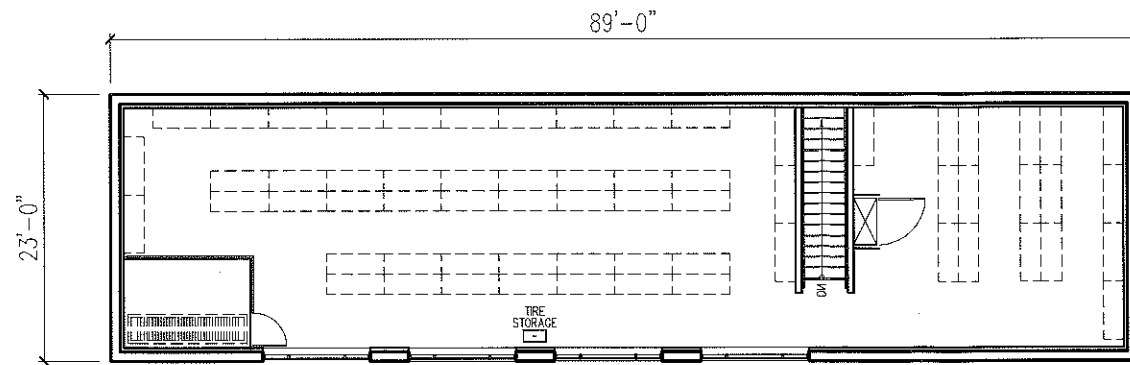
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LEGEND	
EXISTING	
	UTILITY POLE
	LIGHT POLE
	U.G. TELEPHONE LINE
	WATER VALVE
	STORM MANHOLE
	STORM INLET
	WATER MAIN STRUCTURE
	WATER MAIN OR SERVICE
	BOLLARD
	TELE RISER
	SPOT GRADE
	CATCH BASIN
	STORM SEWER
	SANITARY MANHOLE
	SANITARY LINE
	GAS LINE
	CONTOUR ELEVATION
	DRAINAGE DIVIDE

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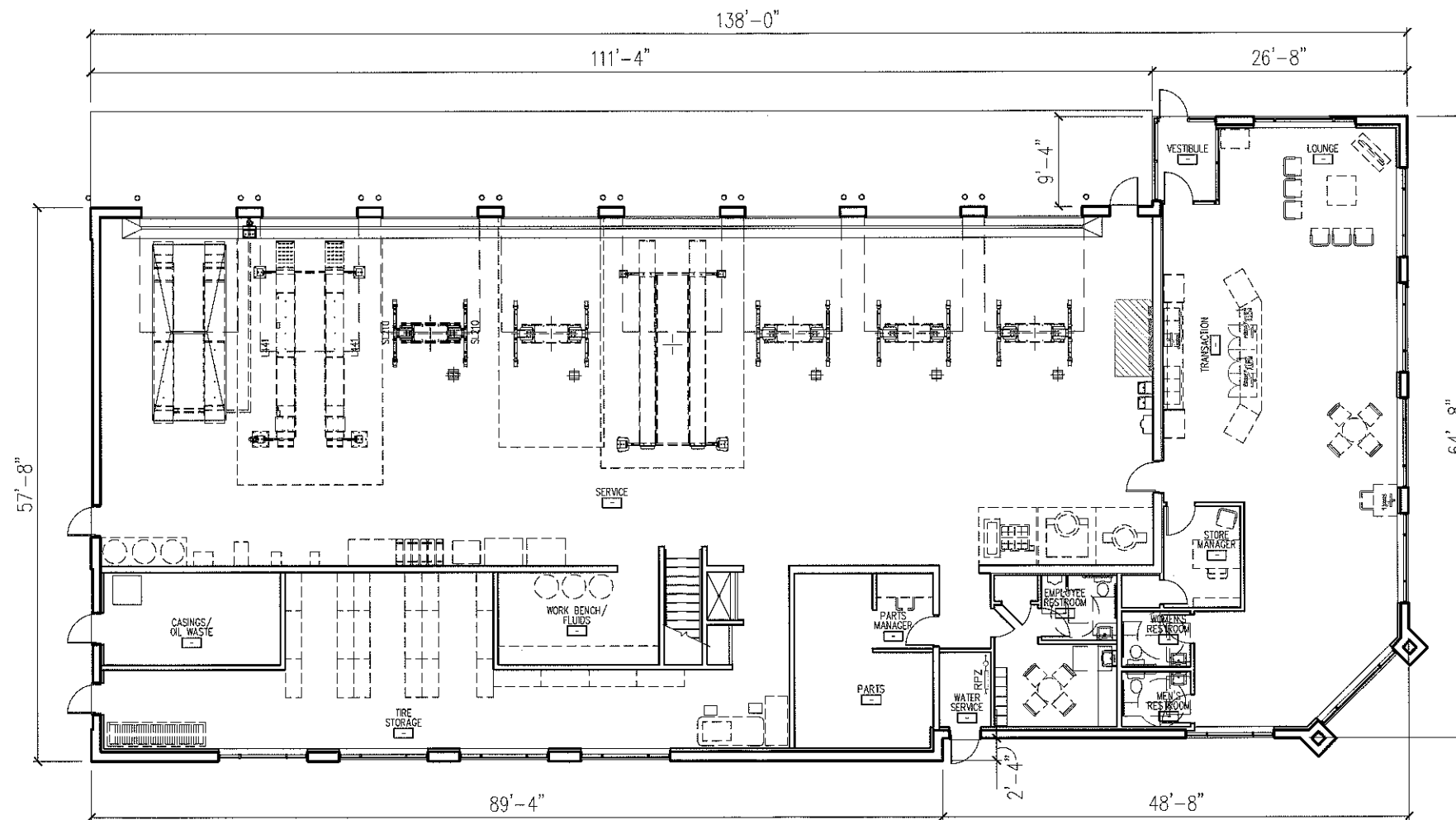
CLIENT: STUDIO 222 ARCHITECTS 222 S. MORGAN ST. CHICAGO, IL 60607 CONTACT: Tim Schmitt (312) 859-4970 EMAIL: tschmitt@studio222architects.com																																		
REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	DESCRIPTION																															EXPIRES 11-30-2015
NO.	DATE	DESCRIPTION																																
AUTO TECH CRYSTAL LAKE 350 VIRGINIA STREET CRYSTAL LAKE, ILLINOIS PRELIMINARY SITE PLAN																																		
 SCHMITT ENGINEERING 215 West Calhoun, Woodstock, IL 60090 Ph: (815) 336-4444 www.schmitt-engineering.com																																		
Designed By AMS Drawn By JJB Checked By AMS Date 10/08/2014 Job Number 140901 Sheet Number																																		
01 of 01																																		



AREA SUMMARY:
 1ST FLOOR 8,000 SF
 2ND FLOOR 2,047 SF
 TOTAL 10,047 SF

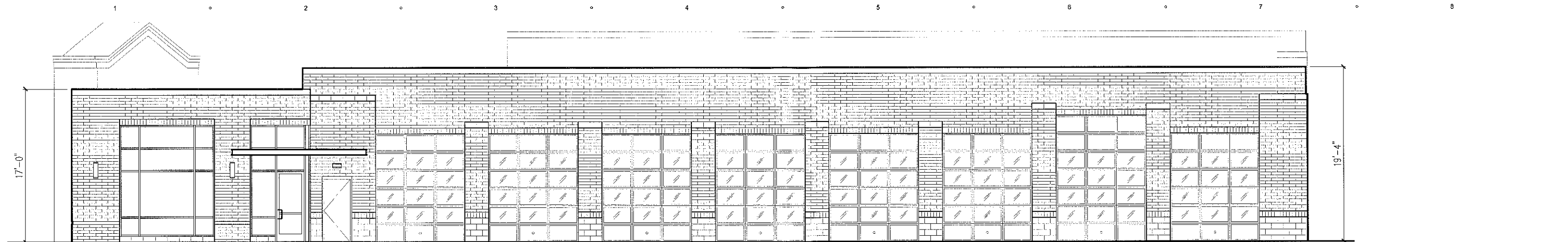
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2 2ND FLOOR PLAN
 A-1 SCALE: 1/16" = 1'-0"

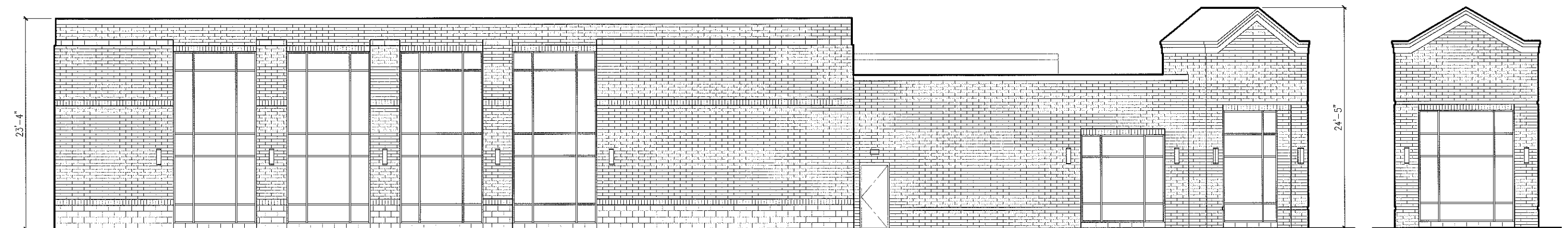


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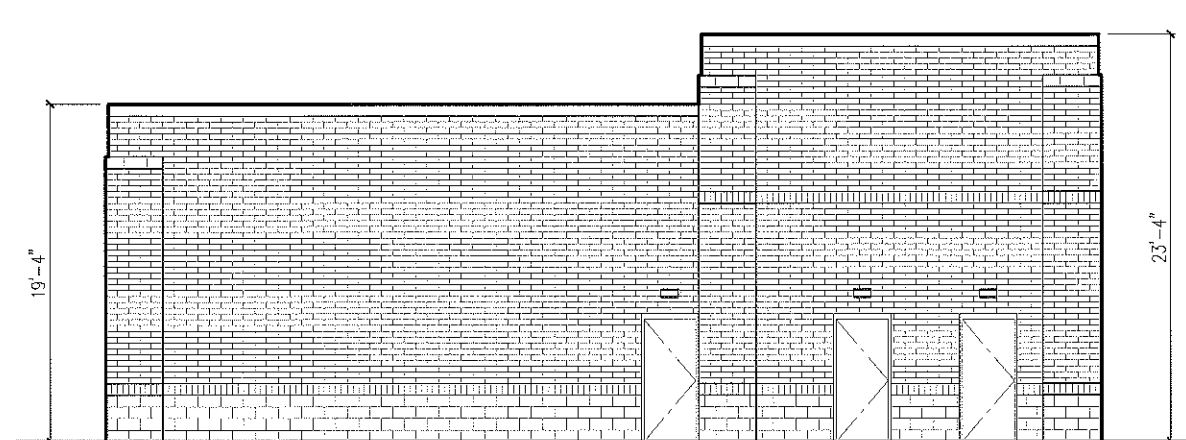


1 NORTH ELEVATION
A-3 SCALE: 3/32" = 1'-0"

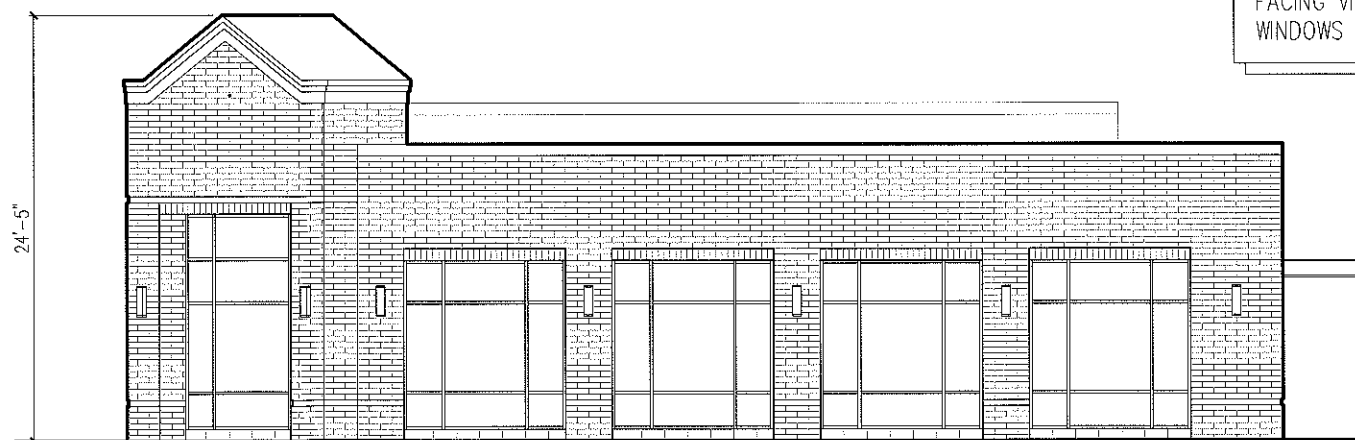


2 SOUTH ELEVATION
A-3 SCALE: 3/32" = 1'-0" VIRGINIA STREET

NOTE: AT LEAST 30% OF THE FACADE AREA FACING VIRGINIA STREET MUST CONSIST OF WINDOWS OR DOORS



3 WEST ELEVATION
A-3 SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
A-3 SCALE: 3/32" = 1'-0"

2014 44
RECEIVED
OCT 28 2014
BY: