

#2014-58 Crystal Lake South High School Project Review for Planning and Zoning Commission

Meeting Date: April 15, 2015

Requests: 1. Special Use Permit (Section 4-600D) for accessory structures

(modified bleachers) over 900 square feet.

2. Variations for:

a) Section 3-200 A/B from the maximum height requirement of 15 feet for an accessory structure to permit 38' 1" for the proposed west bleachers and 31' 7" for the

proposed east bleachers

b) Section 4-200D4 from the required parking standard of 1,318 parking spaces to allow the existing 733 parking

spaces.

Location: 1200 S. McHenry Avenue

Acreage: 59 acres

Existing Zoning: R-2 Single Family

Surrounding Properties: North: R-2, R-3B, B-2: single and multi-family residential,

inline retail center

South: R-2, R-3B: single and multi-family residential

East: RE: treatment plant

West: R-2: single family residential

Staff Contact: Michelle Rentzsch (815.356.3605)

Background:

• <u>Previous Approvals</u>: The South High School property was annexed in 1977 without the granting of a special use permit, as none was required at that time. As such, the property was considered legally non-conforming, prior to the installation of the replacement bleachers in 2013 (the "*Replacement Bleachers*").

- Existing Use: The site is utilized for South High School, the ancillary athletic fields, and associated parking areas.
- Request: Special Use Permit for proposed accessory structures (modified bleachers) over 900 square feet and variations for accessory structure height and required number of parking spaces.

Development Analysis:

- General: The football field that is located along the western property line of the South High School property included bleacher structures on the east and west side of the field (the "Former Bleachers"). In 2013, the Former Bleachers were removed and the Replacement Bleachers were constructed on the west and east sides of the football field. The Replacement Bleachers were built without any City approvals and in violation of the City's UDO requirements for accessory structures. The proposal is to modify the Replacement Bleachers to bring them closer in conformity with the UDO, subject to the granting of the requested variations.
- <u>Land Use</u>: The Comprehensive Land Use map shows the area as Public Semi Public given the public high school land use.
- Zoning: The site is zoned R-2 Single Family which permits new secondary schools (high schools) via a special use permit review. The existing high school (exclusive of the Replacement Bleachers) is a legal nonconforming use.

Bleachers

- The plans submitted as part of this petition indicate that the press box incorporated into the Replacement Bleachers would be relocated to the east side bleachers.
- The height of the west side bleachers, after the relocation of the press box, would be 38 feet 1 inch.
- The height of the east side bleachers, after the addition of the press box, would be 31 feet 7 inches.
- There were approximately 2,000 bleacher seats with the Former Bleachers. The Replacement Bleachers increased the capacity to 3,995 bleacher seats.
- The Former Bleachers on the west side were 56 feet wide with 14 rows. The Replacement Bleachers are 192 feet wide with 26 rows (more than three times in width and almost double the rows).
- The Former Bleachers on the east side were 126 feet wide with 20 rows. The east side Replacement Bleachers are 114 feet wide with 14 rows (12 feet less wide with 6 fewer rows; however, with the proposed relocation of the press box the height would be 31'7").

Landscape Buffer

- The submitted landscape plan shows proposed landscaping to provide a 25-foot buffer area between the west side bleachers and the single family residential.
- Given the intensity of the west side bleachers (both the Replacement Bleachers and with the proposed modifications) and their proximity to the existing single family homes, a more solid landscape screen is recommended.

Parking

- There are 703 standard, 16 handicapped, and 14 temporary parking spaces noted on the plat of survey. In addition, 102 bus stalls are listed.
- Based on the UDO requirements for high schools and the total number of bleachers seats of 3,955, a total of 1,318 parking spaces are required. 719 full-time parking spaces have been provided. 14 temporary parking spaces are provided for large events. For particularly large

events, the busses can be relocated to another property and the 102 bus stalls utilized for attendee parking.

Stormwater

• The engineering submittals relating to the Replacement Bleachers and proposed modifications have been revised to obtain compliance with the City's stormwater requirements..

Findings of fact:

SPECIAL USE PERMIT

Special Uses require a separate review because of their potential to impact surrounding properties and the orderly development of the City. Any structures greater than 900 square feet in area are required to obtain a special use permit. Section 2-400 of the Unified Development Ordinance establishes standard for all Special Uses in Crystal Lake. The criteria are as follows:

1.	That the proposed use is necessary or desirable, at the location involved, to provide a service or facility which will further the public convenience and contribute to the general welfare of the neighborhood or community.
	☐ Meets ☐ Does not meet
2.	That the proposed use will not be detrimental to the value of other properties or improvements in the vicinity.
	☐ Meets ☐ Does not meet
3.	That the proposed use will comply with the regulations of the zoning district in which it is located and this Ordinance generally, including, but not limited to, all applicable yard and bulk regulations, parking and loading regulations, sign control regulations, watershed, wetlands, and flood plain regulations, Building and Fire Codes and all other applicable City Ordinances. [NOTE: South High School is not subject to City building and fire codes.]
	☐ Meets ☐ Does not meet
4.	That the proposed use will not negatively impact the existing off-site traffic circulation; will adequately address on-site traffic circulation; will provide adequate on-site parking facilities; and, if required, will contribute financially, in proportion to its impact, to upgrading roadway and parking systems.
	☐ Meets ☐ Does not meet
5.	That the proposed use will not negatively impact existing public utilities and municipal service delivery systems and, if required, will contribute financially, in proportion to its impact, to the upgrading of public utility systems and municipal service delivery systems.
	☐ Meets ☐ Does not meet

6.	1 1	se will not impact negatively on the environment by creating air, ion; ground contamination; or unsightly views.
	☐ Meets	Does not meet
7.	adequate screening t covers, trees and sh compatible or compl	e will maintain, where possible, existing mature vegetation; provide o residential properties; provide landscaping in forms of ground rubs; and provide architecture, which is aesthetically appealing, ementary to surrounding properties and acceptable by community letailed in Article 4, Development and Design Standards.
	☐ Meets	Does not meet
8.	other than the City su or health/safety inspec	e will meet standards and requirements established by jurisdictions ch as Federal, State or County statutes requiring licensing procedures ctions, and submit written evidence thereof.
	Meets	Does not meet
9.	That the proposed use Special Use Permit is	e shall conform to any stipulations or conditions approved as part of a sued for such use.
	☐ Meets	Does not meet
10.	That the proposed use as provided in this sec	e shall conform to the standards established for specific special uses etion.
	☐ Meets	Does not meet

ZONING VARIATIONS

The petitioner is requesting two variations from Section 3-200 A/B from the maximum height requirement of 15 feet for an accessory structure to permit 38' 1" for the proposed modifications to the west bleachers and 31' 7" for the proposed modifications to the east bleachers and Section 4-200D4 from the required parking standard of 1,318 parking spaces to allow the existing 733 parking spaces (719 full time parking spaces + 14 temporary spaces).

The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional

	narrowness, shallow underground conditi	rness or shape of a zoning lot, or because of unique topography, or ons.
	☐ Meets	Does not meet
b.		on, if granted, will not alter the essential character of the locality.
	Meets	Does not meet
consider	ration the extent to v	ementing the above standards, the Commission may take into which the following facts favorable to the application have been resented at the public hearing:
a.		upon which the application for variation is based would not be to other property within the same zoning classification; Does not meet
b.	That the alleged diff having interest in the	ficulty or hardship has not been created by any person presently e property;
	Meets	Does not meet
c.	0 0	of the variation will not be detrimental to the public welfare or operty or improvements in the neighborhood in which the property
	Meets	Does not meet
d.	adjacent property, vadjacent property,	variation will not impair an adequate supply of light or air to will not unreasonably diminish or impair the property values of will not unreasonably increase congestion in the public streets, e the danger of fire or otherwise endanger public safety. Does not meet

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variations be denied.

2030 Comprehensive Land Use Plan Review:

The Comprehensive Plan designates the subject property as Public and Semi Public. Public and Semi-Public uses are located throughout the city and are meant to serve the community in numerous ways. Public facilities are described as schools, libraries, park district facilities, as well as municipal services, such as fire rescue, police and administration. These uses are managed by separate public entities, each of which are funded separately through tax dollars and other revenues.

Goal: Provide area for high quality public and semi-public facilities, such as schools, libraries, municipal facilities and private service providers, throughout the city to support the diverse and evolving needs of people in the city.

Supporting Action: The City shall support the school districts, library, park district, neighboring municipalities, private service providers and other public and semi-public agencies.

Success Indicators:

- The biennial evaluation of impact fees for schools, parks, libraries and municipal services, to ensure that fees keep pace with relative costs.
- The number of zoning approvals for public/semi public projects.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

- 1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Community High School District 155, date signed 12/4/14, as amended 1/19/15)
 - B. Plat of Survey (Marchese and Sons, dated 11/7/2014)
 - C. Architectural Site Plan (FGM Architects, dated 12/04/14)
 - D. Bleacher Elevations (FGM Architects, dated 12/12/14)
 - E. Landscape Plan (FGM Architects, dated 12/12/14, revised 2/2/15)
 - F. Site Improvement Plans (Spaceco, dated 12/19/14, revised 3/9/15)

2. Site Plan

A) The plat of survey at the northwest corner of the site indicates Concord Drive traverses the School District's property. This right-of-way was dedicated with Four Colonies Unit 11 and should be corrected on the survey.

3. Bleacher Plan

The speaker system for the football field must be maintained in a position so that the speakers are mounted in an easterly direction. The decibel level at events must not exceed the lower of 90 db or the applicable State standard as measured at 5 feet from the westerly property line.

4. Parking Plan

A) For events where more than 2,000 attendees are expected, bus relocation must be provided to allow for additional on-site parking for event attendees.

5. Landscape Plan

A) Eliminate the proposed deciduous shrubs and ornamental trees and provide a solid evergreen screen between the west side bleachers and the single family residential. Provide an earthen berm as tall as possible while still allowing for maintainable slopes that provides enough area for stormwater conveyance. Towards the top of the berm, provide six to eight

foot tall arborvitae or other acceptable substitution, planted nine feet on center in a double staggered row, to meet the screening requirements of the UDO, must be planted as early in Spring as practical and maintained as long as the bleachers are present. Planting locations should reflect the comments from the City's stormwater consultant, CBBL.

- 6. The following variations are being requested:
 - a) Section 3-200 A/B from the maximum height requirement of 15 feet for an accessory structure to permit 38' 1" for the west bleachers and 31' 7" for the east bleachers, and
 - b) Section 4-200D4 from the required parking standard of 1,318 parking spaces to allow the existing 733 parking spaces.
- 7. Future Accessory Structures:
 - A) No additional accessory structures shall be constructed or installed within the westernmost 100 feet of the zoning lot without the petitioner having first applied for and obtained approval of an amendment to the special use permit.
- 8. The petitioner shall address all of the review comments and requirements of the Fire Rescue, Police, Public Works and Community Development Departments and the City's stormwater consultant, CBBL.

AMENDED CITY OF CRYSTAL LAKE DEVELOPMENT APPLICATION

Office	Use Only
File#	-

Project Title: Community High School District 155 Special Use Permit for Bleachers

Action Requested:

Annexation Preliminary PUD

Comprehensive Plan Amendment Preliminary Plat of Subdivision

Conceptual PUD Review Rezoning

Final PUD X Special Use Permits

Final PUD Amendment X Variation

Final Plat of Subdivision Other:

Petitioner Information

Owner Information (if different)

Name: Community HS District 155 and the

Board of Ed of Comm HS Dist 155

Name:

Address: One South Virginia Road

Crystal Lake, IL 60014

Address:

Phone: 815-455-8500 Phone:

Fax: 815-459-5022 Fax:

E-mail: <u>jthomas@d155.org</u> E-mail:

Property Information:

Project Description: See Exhibit A attached.

Project Address/Location: Approximately 15 acres located on the westerly boundary of the property having a common address of 1200 South McHenry Avenue, Crystal Lake, Illinois and known as the Crystal Lake South Highschool football/athletic field.

PIN Number(s): Part of 19-18-200-005 and 19-18-200-008

Development Team

Please include address, phone, fax, and e-mail

Develop	er	
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Architect: FGM Architects, 1211 West 22nd Street, Suite 705, Oak Brook, Illinois 60523-2019; phone: 630-574-8300; fax: 630-574-9292; joshc@fgmarchitects.com

Attorney: Lisa M. Waggoner, 4 N. Walkup Ave., Crystal Lake, Illinois 60014; phone: 815-477-0830; fax: 815-477-0834; lwaggoner@waggonerlawfirm.com

Engineer:

Landscape Architect: FGM Architects, 1211 West 22nd Street, Suite 705, Oak Brook, Illinois 60523-2019; phone: 630-574-8300; fax: 630-574-9292; joshc@fgmarchitects.com

Planner:

Surveyor: Marchese and Sons, Inc., 10 Monaco Drive, Roselle, Illinois 60172; phone 630-894-5680; fax 630-894-8869

Other:

Signatures:

The undersigned, on behalf of Community High School District 155 and the Board of Education of Community High School District 155, herewith submits this application, as required by an Order entered on September 5, 2014 in case No. 13 CH 1319, before the Twenty Second Judicial Circuit, McHenry County, Illinois.

By:	
Johnnie Thoma	December 4, 2014
PETITIONER: Dr. Johnnie Thomas, Superintendent	Date
As owner of the property in question, I hereby authorize the seeking	g of the above requested action.
OWNER	

NOTE: If the subject property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter which names all beneficiaries of the trust.

Exhibit A

The Petitioner herewith submits its Application for a Special Use Permit and Variations, in accordance with that certain Court Order entered in Case Number 13-CH1319 in the Twenty-Second Judicial Circuit, McHenry County, Woodstock, Illinois on September 5, 2014 for a Special Use Permit and Variations to allow the placement and approval of bleacher structures located at the football/athletic field at 1200 S. McHenry Avenue, Crystal Lake, Illinois, at the campus of Crystal Lake South High School.

Specifically, the Petitioner requests a Special Use Permit be issued, as required under Section 4-600 D. of the Crystal Lake Unified Development Ordinance, to approve and allow the continuing placement of the west side and east side bleachers, as depicted on the FGM Architectural Site Plan dated December 4, 2014, which Site Plan more specifically sets forth the location of said bleachers, their lineal dimensions, vertical dimensions, as well as the distance from the adjacent residential property to the west. Additionally, the Petitioner requests the Special Use Permit to be issued to approve the bleachers, as proposed in the FGM Elevations Plan dated December 12, 2014 and the proposed landscaping, as depicted in the FGM Landscape Plan dated December 12, 2014. As set forth in the Elevations Plan, the existing west side bleachers are proposed to be modified by the removal of the press box from the west side bleachers and the relocation of said press box to the east side bleachers, resulting in the maximum height at the top of guard rail at the western edge of the west side bleachers to be 38 feet, 1 inch and a maximum height of 31 feet, 7 inches for the east side bleachers.

The Petitioner also requests a height variation from the required 15 feet for an accessory structure to allow a maximum height of 38 feet, 1 inch for the west side bleachers and a height of 31 feet, 7 inches for the east side bleachers and a variation from the required parking standard of 1,318 parking spaces, to allow the existing 733 parking spaces, pursuant to Sections 3-200 A/B, and 4-200 D4, respectively, of the Crystal Lake Unified Development Ordinance.

Petitioner herewith respectfully requests the approval of its Application for a Special Use Permit and Variations for the improvements at 1200 S. McHenry Avenue as depicted on the Plans included with this Application.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MCHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE APPLICA-TION OF McHenry County Board of School Trustees, as Owner, and Community High School District 155 and the Board of Education of Community High School District 155, as Pelitioner

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystat Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission Unanning and Zoning Commission County Board of School Trustees, as Owner, and Community High School District 155 and the Board of Education of Community High School District 155, as Petitioner, relating to the properly containing an athletic/football field located at the western portion of the properly having permanent index numbers 19-18-200-005 and 19-18-200-008 and commonly known as South High School, 1200 McHenry Avenue, Crystal Lake, Illinois 60014.

機

This application is filled for the purpose of requesting a Special Use Permit for non-residential accessory structures over 900 square feet, a height variation from the required 15 feet for an accessory structure to allow a height of 38' 1" for the west side bleachers and a height of 31' 7" for the east side bleachers, a variation from the required parking standard of 1,318 parking spaces to allow the existing 733 parking spaces, pursuant to Sections 4-600D, 3-200A/B, and 4-200D4, respectively, of the Crystal Lake Unified Development Ordinance and any other variations that may be required for the bleacher project as Indicated on the submitted plans.

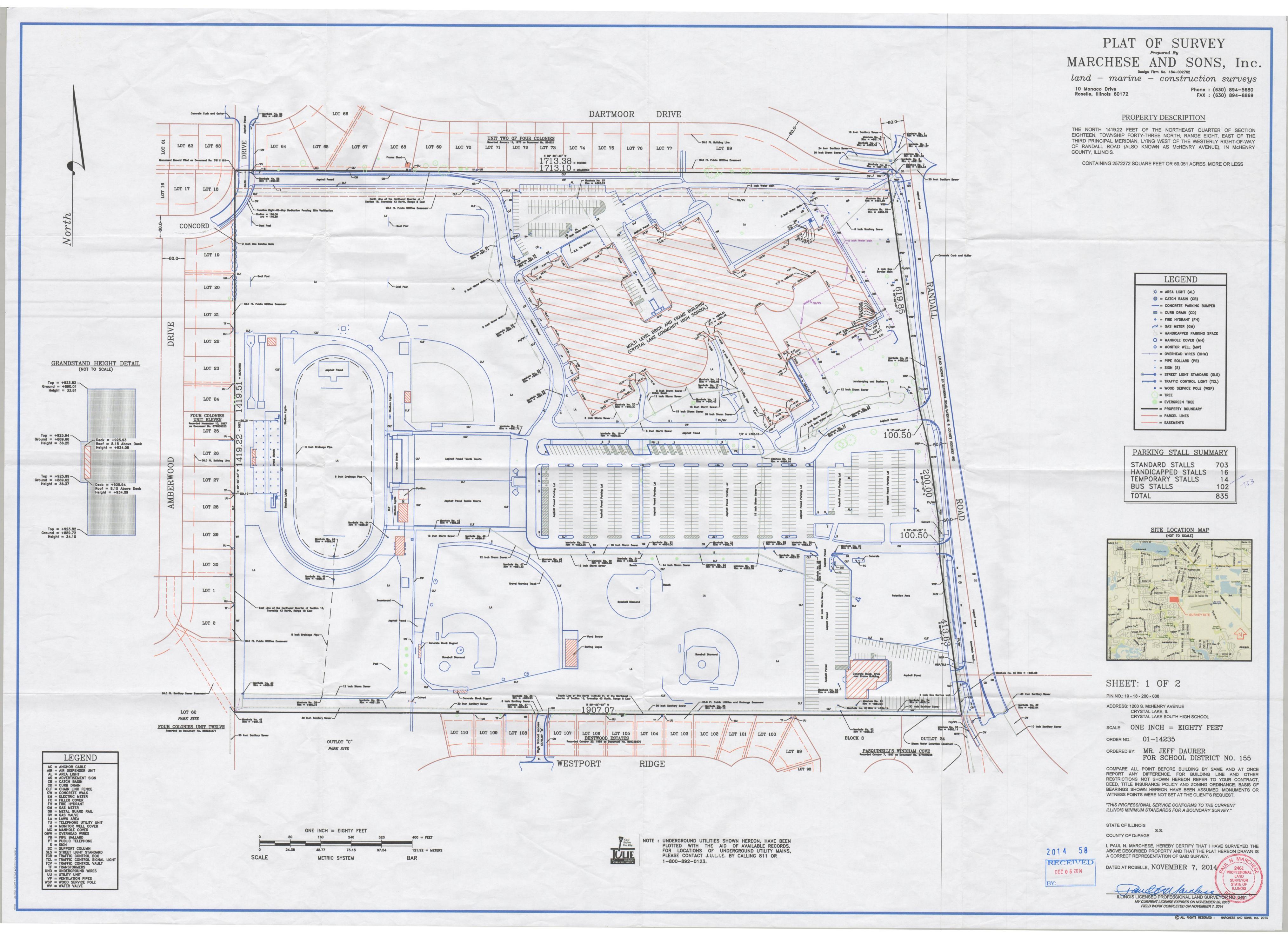
A public hearing before the Planning and Zoning Commission on the request will be held at 7:30 p.m. on Wednesday, February 4, 2015, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be

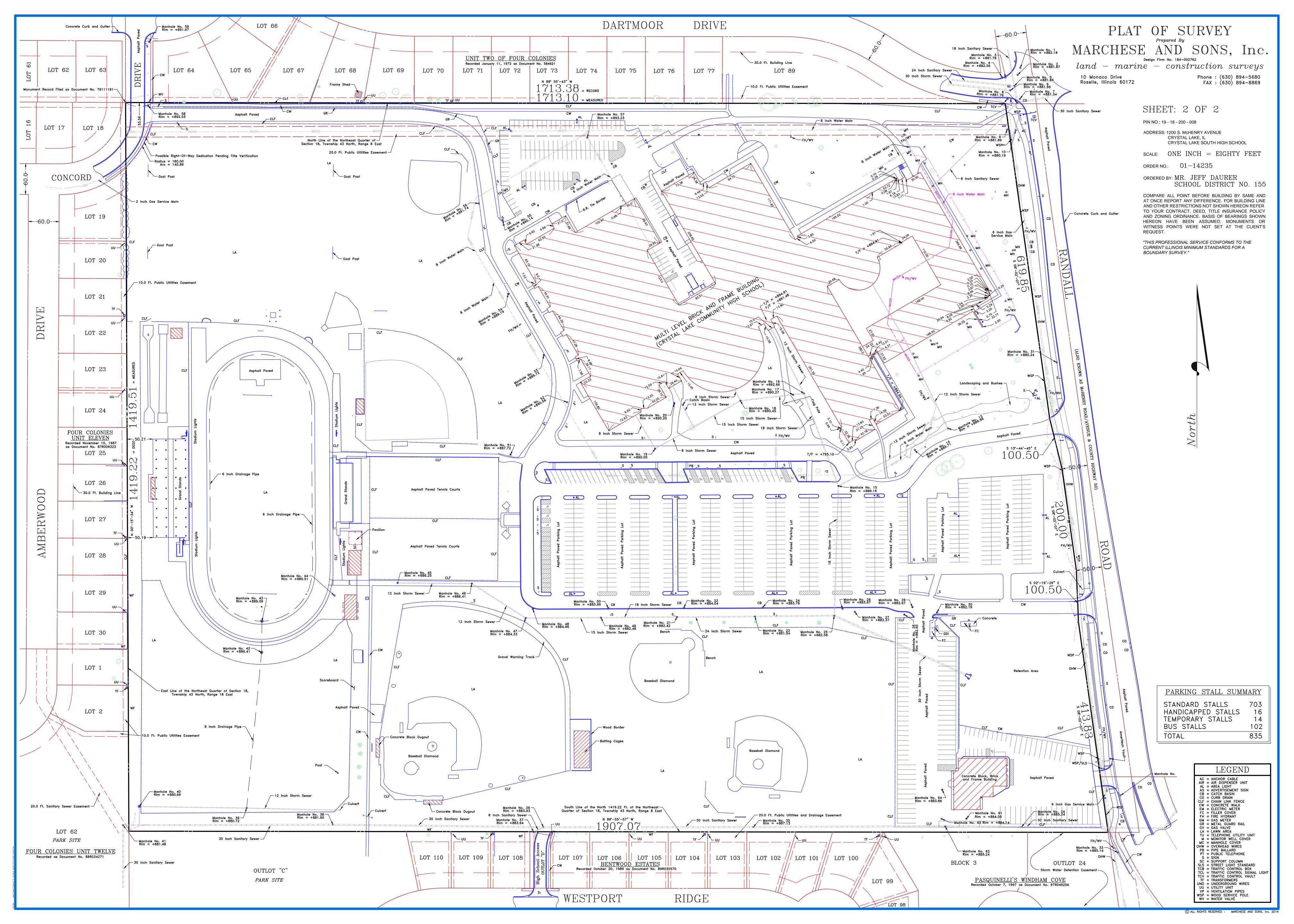
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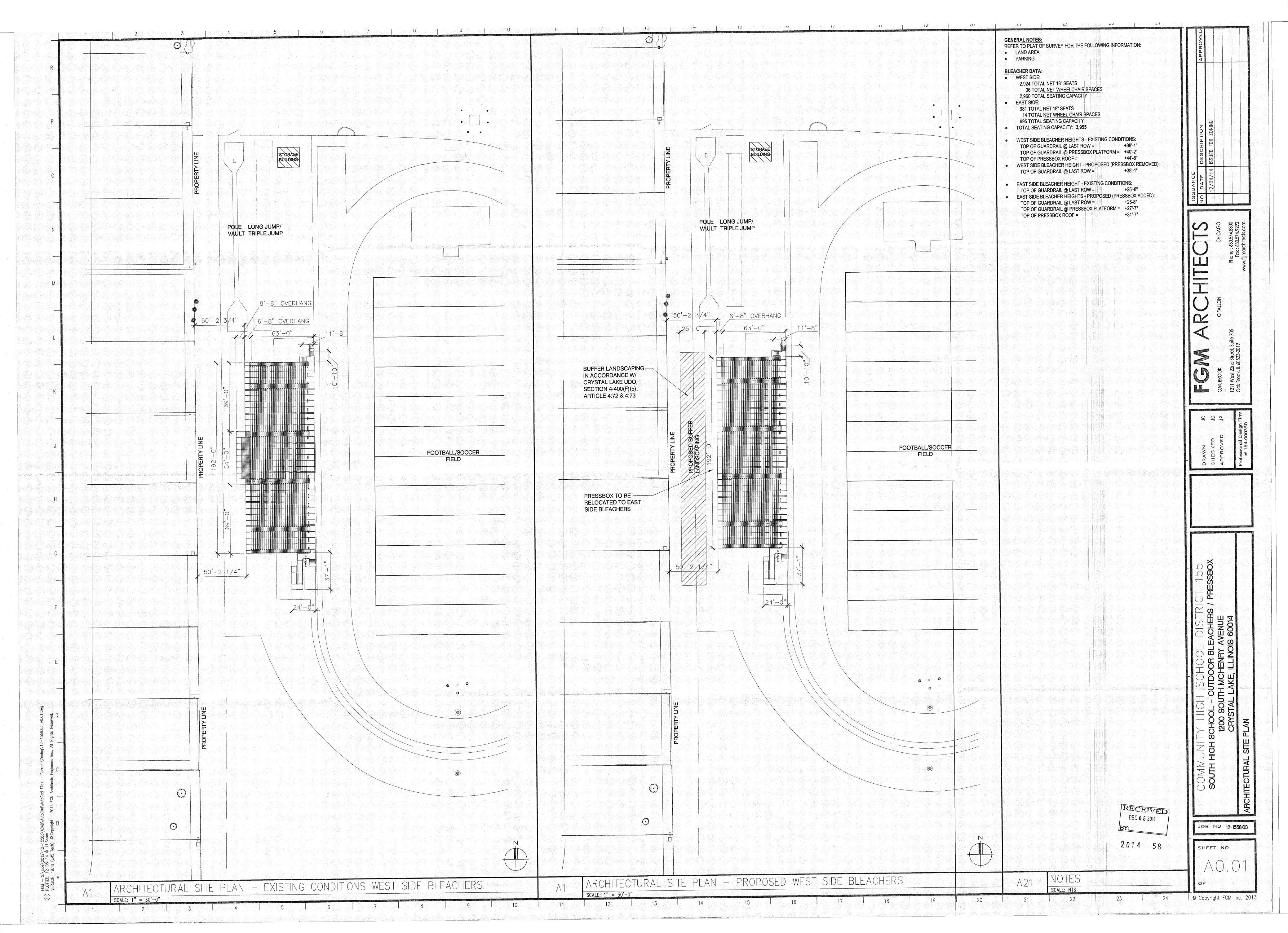
Tom Hayden, Chair Planning and Zoning Commission City of Crystal Lake

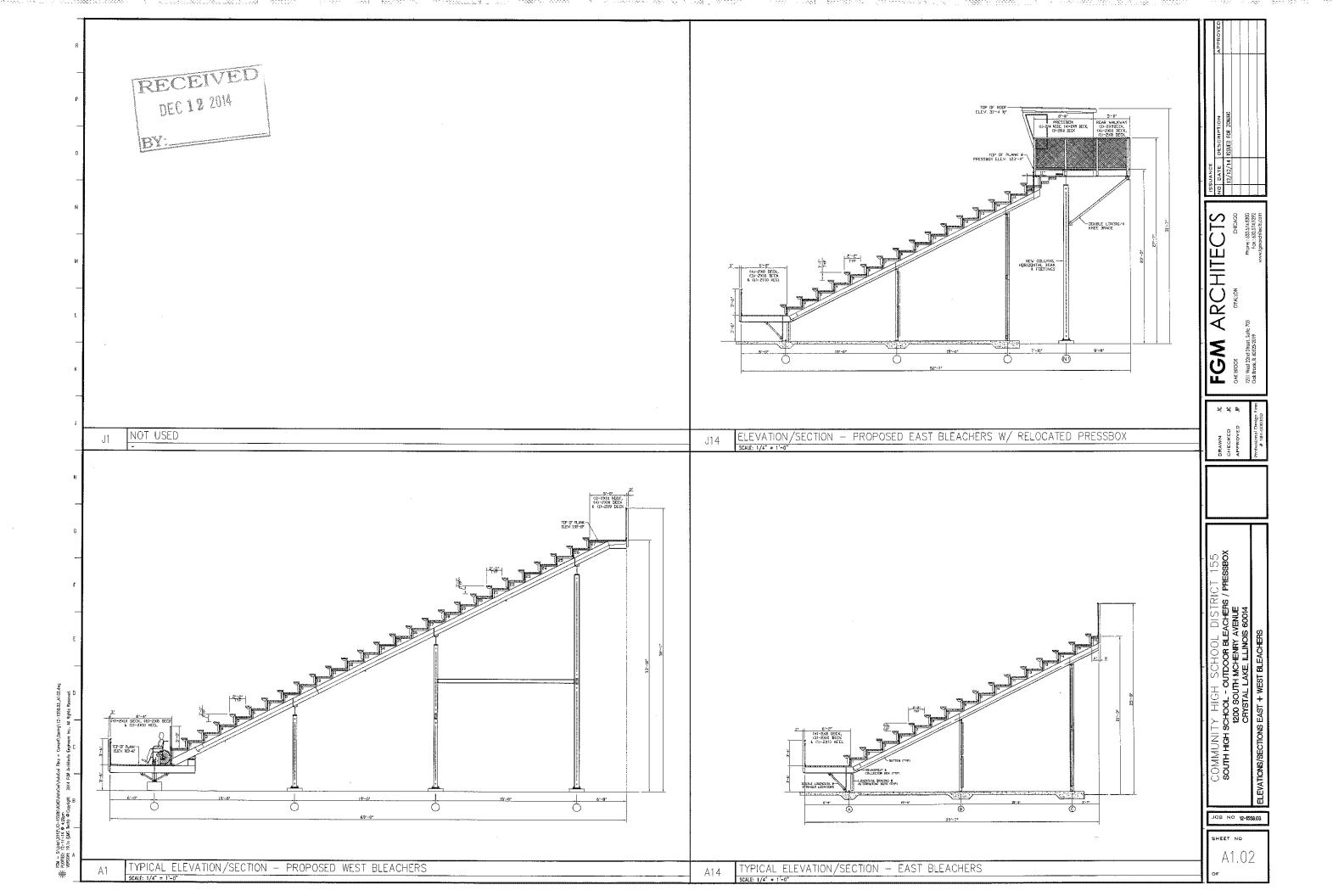
(Published in the Northwest Herald January 20, 2015, #5841)

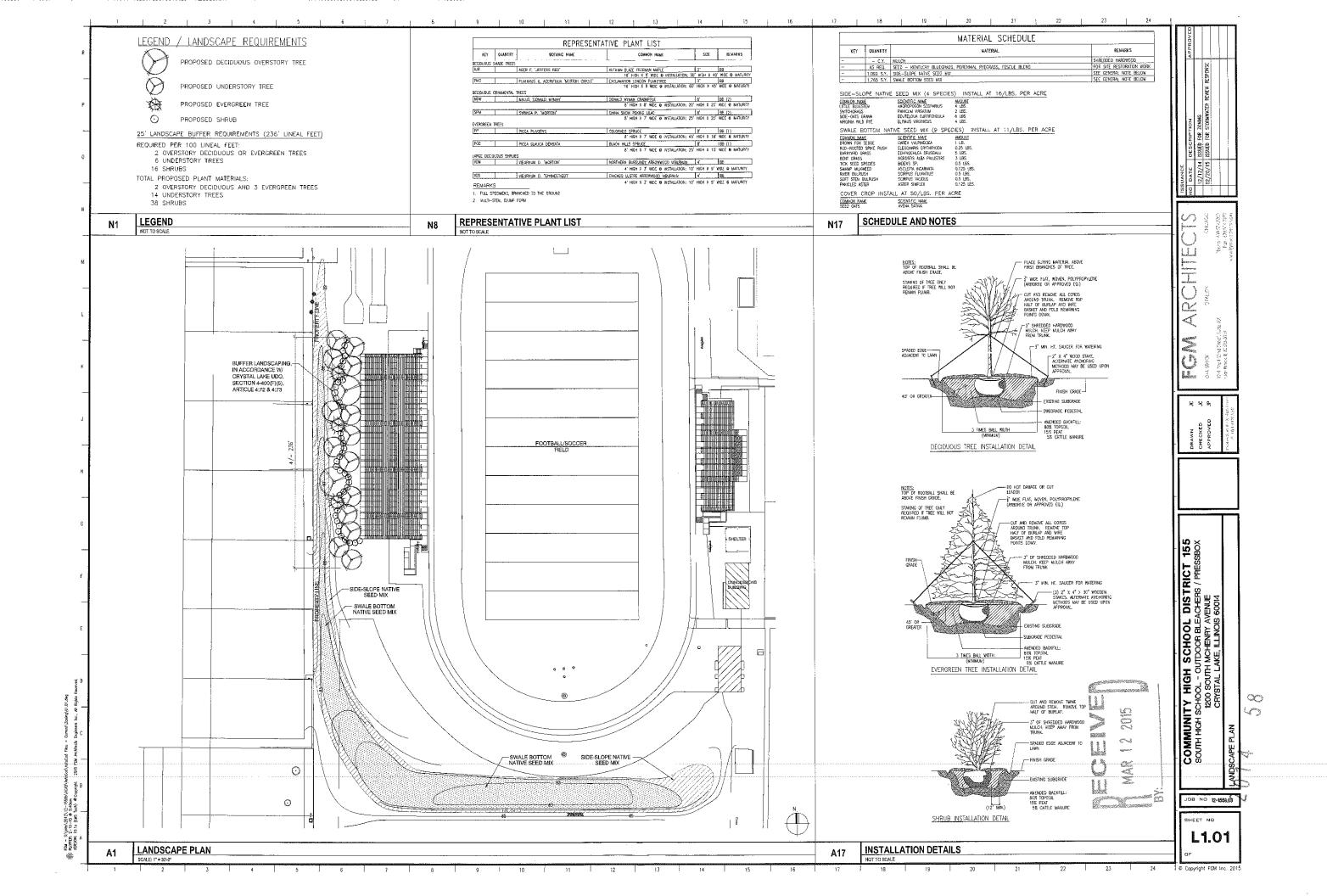












01/22/15

FILENAME: 6934.10TITLE

DATE: 12/19/14

SHEET **C1**

SITE IMPROVEMENT PLANS for

CRYSTAL LAKE SOUTH HIGH SCHOOL OUTDOOR BLEACHERS

CRYSTAL LAKE, ILLINOIS

PROJECT NO:6934.10

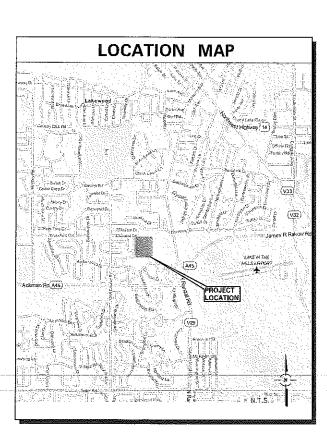
CALL J.U.L.I.E. 1-800-892-0123

WITH THE FOLLOWING:

CITY, TOWNSHIP CRYSTAL LAKE, ALGONOUIN TWN

48 HOURS BEFORE YOU DIG. EXCLUDING SAT., SUN. & HOLIDAYS

	INDEX				
SHEET #	SHEET I.D.	SHEET DESCRIPTION			
.1	C1	COVER SHEET			
2	C2	GENERAL NOTES/ TYPICAL SECTIONS			
3	С3	EXISTING CONDITIONS			
4	C4	DEMOLITION PLAN			
5	C5	ENGINEERING PLAN			
6-8	C6-C8	SOIL EROSION AND SEDIMENT CONTROL PLANS			
9	C9	SPECIFICATIONS AND DETAILS			
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NOTE: SPACECO, INC. IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

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REVISIONS

ORIGINAL PLAN DATE: DECEMBER 19, 2014

PER CITY COMMENTS

SHEET #

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GENERAL NOTES REFERENCED CODES ALL PAYEMENT AND STORM SEXER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ISSBECT, AND SUPPLEMENTAL SPECIFICATIONS AND RECURRENCE SPECIAL REPOYS TOOS AND OTHER SHAMPH 1, 2012 BY LICHOLOGIS EMPERATOR OF TRANSPORTATION AND ALL AMERICANT STREETED AND IN ACCORDANCE WITH THE CATEST EDITION BY THE CODE OF THE WAILCIPALITYS EXCEPT AS MODIFIED MERCIN. CREAT OF THE WAILCIPALITYS EXCEPT AS MODIFIED MERCIN. 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AT NO TIME SHALL ACCESS BE DENIED TO ABJACENT PROPERTIES.

THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED ON DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.

ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT REPORT SMALL BE REMOVED AND RESE BY THE CONTRACTOR AT HIS DWW CYPERSE AS SHOWN IN THE RAW INLESHOR FLASS OF AN EVER LIBER SIZE OF AN EVER LIBER SWALL BE REFEARED FOR REFLACED BY THE CONTRACTOR AT HIS DWW DEVELOR AND ADMINISTRATION OF THE CONTRACTOR AT HIS DWW DEVELOR TO THE CONTRACTOR AT HIS DWW RESEARCH AND ADMINISTRATION OF THE CONTRACTOR AT HIS DWW RESEARCH AND ADMINISTRATION OF THE CONTRACTOR ADMINISTRACTOR ADMINISTRATION OF THE CONTRACTOR ADMINISTRATION OF THE CONTR

REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEMALK, CURB, CURB AND CUTTER, CULVERTS, CTC. SMALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE, HE IS RESPONSIBLE FOR ANY PERMIT FROUNDED HER SUDMISSIBLE FOR ANY PERMIT FROUNDED HER SUDMISSIBLE FOR

ALL FIELD THE EMDOUNTERED DURING CONSTRUCTION OPERATIONS SMALL BE COMMETTED TO THE PROPOSED STORM SEVER SYSTEM ON SMALL SE RESTORES TO PROPER OPERATING CONSTITUTION OF THE LOCATION OF ALL FIELD THIS CONSTRUCTION OF THE EMDOURTERS SMALL BE EXPENDED THE CONSTRUCTION AND THREE DOUBLE THE THE CONSTRUCTION AND THREE COURS OF THE STORMS SMALL BE CONSTRUCTED TO THE CONSTRUCTION OF THE PROJECT. THE COST OF THIS MORE SMALL BE CONSTRUCTED AND ADDITIONAL CONSTRUCTION THE COST OF THIS MORE SMALL BE

THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEARTS. EXCESS MATERIALS. TRASH, DIL AND DEASE SESTOME, MACRIMENY TOOS, AND DIRER MISCELLANGOUS THEM HICH WERE NOT PRESENT PRIOR TO PROJECT COMPACKINENT AT DAN DATIONAL EVENES OF THE COMER. THE CONTRACTOR SHALL BE RESPONSIBLE SON ACQUIRING NOT AND ALL PERMITS NECESSARY TOO THE WARE, DIS AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE CHOINERS OF WERE.

ALL EXISTING UTILITIES OR IMPROVEMENTS. INCLUDING WALKS, CURBS, PAYEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SLEEP PROMPTHY RESTORED OF THEM RESPECTIVE GRIGHAL COMPUTION. THIS MORK SHALL BE CONSIDERED SHELDENIAL TO THE CONTRACT UNITESS SPECIFICALLY NOTED ON THE PLANS. THEES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESURTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS DWW EXPENSE OFF-SITE. ALL CUTS OVER 1" IN DIAMETER SHALL BE WADE FLUSH WITH THE NEXT LARGE BRANCH. MOUNDS DVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED THEE PAINT.

THE CONTRACTOR AS SOLELY RESPONSIBLE FOR SAFFTY ON THE JOR.

-1T-	TELEPHONE LINES	-tt-
-EE-	ELECTRIC LINE	-EE-
×	FENCE	x
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
******* 680	CONTOUR	680
•	SANITARY MANHOLE	0
0	STORM MANHOLE	•
9	CATCH BASIN	
E	INLET	
4	FIRE HYDRANT	€
	PRESSURE CONNECTION	90
	PIPE REDUCER	Þ
₽⊗	VALVE AND VAULT, VALVE	0
Q	FLARED END SECTION	4
Ħ	STREET LIGHT)((
→	UTILITY POLE	+
A	CONTROL POINT	
	SIGN	4
XXXXX	SPOT ELEVATION	*****
+	SOIL BORING	4
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
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	CONCRETE	
	REVERSE PITCH CURB	111811811111111111111111111111111111111
~ *** ~	TREE, FIR TREE, BUSH, &	XX
	PROPOSED TREE TO REMOVE	\searrow
	ABBREVIATIONS	
M - STORM MANHOLE	I . INVERT OR INLET	1/1
S . SANITARY MANHOLE	TF - TOP OF FOUNDATION	8/P

LEGEND

DESCRIPTION

PROPOSED

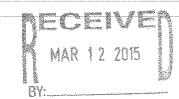
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PERMITS					
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED		
CRYSTAL LAKE STORMWATER MANAGEMENT PERMIT					

ELEVATION: 859.34 (NAVD88

	PERMITS		
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED
CRYSTAL LAKE STORMWATER MANAGEMENT PERMIT			

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CRYSTAL LAKE SOUTH HIGH SCHOOL OUTDOOR BLEACHERS

CONSULTING ENGINEERS SITE DEVELOPMENT ENGINE LAND SURVEYORS

SPACECO INC

934.10GN

DATE:

12/19/14 JOB NO. 6934 10

C2 2 OF 9

2014

CB . CATCH BASIN

VV . VALVE VAULT

LP - LIGHT POLE

EXISTING

PREVENT SUBFACE WATER AND SUBSURFACE OR DEBUDDOWNTER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTONS. UNBERGUTT NO FOOTINGS. AND SOLL CHARGES SUBTINEWAYEL TO STREET, THE SECOND SECOND SECOND TO SECOND ON ADMINIST PROPER. SUBFS. SULTION DESCRIPTION OF THE SECOND SE

BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT. ALL WORK SHALL BE INSPECTED BY THE DWNER OR MIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

NO UNDERCROUND WORK SHALL BE COVERED UNEIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEE MUST BE OBTAINED FROM THE MUNICIPALITY PERGA TO INSTALLING PAYEMENT BASE, BYNDER, SURFACE, AND PRIOR TO PLACING MY COVEREE AFTER FORMS HAVE BEEN SET. D. AT THE CLOSE OF EACH WERKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS. ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIR! AND DERRIS.

WHERE SHOWN ON THE PLAMS OR DIRECTED BY THE ENCINEER, EXISTING DRAINAGE STRUCTURES AND STSEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS ACCESSABLY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PLOT FOR AT THE CONTROL UNIT PRICE FOR THE CONTROL AND COSTROCT WITH PRICE FOR INFORMATION FOR SYSTEMS WHICH SHALL BE PANNEY IN FULL FOR CLEANING, PATCHING, DEROVAL AND DISPOSAL OF BERNEY AND PATCHING, DEROVAL AND DISPOSAL OF BRIDGE AND PATCHING, DEROVAL AND DISPOSAL OF BRIDGE AND PATCHING, DEROVAL AND DISPOSAL OF BRIDGE AS APP ARE OF THIS POPULCE SHALL BE SAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. AND PATCHING THE MOSE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AT THE CONTRACTOR AT THIS PROJECT.

ANY DEMATKSING DE SEME AND WAITER TREMENTS AS WILL AS TEMPORATY SHEETING DE BRACING THAT MAY BE PEQUIPLD SMALL BY THE RESPONSIBILITY OF THE CONTRACTOR AND SMALL NOT BE CONSIDERED EXTRA YORK COMPRESSIVE STREMENT LESS THAN O.S TOF ARE ENCOUNTERED IN SEME DOWN STREET THE TREMENT OF THE PROPOSAL OF THE

DEVIOUS UP THE FEVE.

REPORT SEASON, WILL BE REQUIRED FOR THE FIRE THEM DEPTH WITHIN TWO 12) FEET OF PROPOSED OR EXISTING PARKENIS. UILITIES. DRIVEWARS, AND SIDEMAKES AND EXTENDING A DISTANCE FOUNT TO A 1:1 SLOPE FROM SUPERANG ELEVATION OF THE PETH OF THE THEM HEAVET HE CONSTITUTE GRANDLES AND A 1:1 SLOPE FROM SUPERANG ELEVATION OF PETH OF THE THEM HEAVET HEAVET CONSTITUTE OF SOME AND A 1:1 SLOPE FROM SUPERANG HEAVET OF THE SUPERANG

AFTER THE STORM SEVER SYSTEM HAS BEEN CONSTRUCTED. THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR TABO. IN ET LOCATIONS, AND AT OTHER LOCATIONS SELECTED OF THE ENCINEER. TO MINIMIZE THE AMOUNT OF SILETION WHICH MOMENTAL YOUNG ENTER HE STORM SEED SYSTEM. WITHANTS SMALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRAUGE. TOTALVER POSSIBLE, HOSES SMALL BE USED TO DIRECT THE WAITEN INTO COTT AFELS OF THE STOMM STREET SYSTEM HE WALLARED. DAMAGE TO THE ROAD UBGRAUFE OR COT GRADING DUE TO EXCESSIVE WAITEN SATURATION AND/OR RESIDN FROM HYDRANT FLUSHING. BY FROM LEASS IN THE WAITEN DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE COVERNETOR AT HIS COST.

ALL TOP OF FRAMES FOR STORM AND SANITHAT SENERS AND VALVE VALUE OWNER ARE TO BE ADJUSTED TO MEET FINAL THINGS PRINCE. THIS ADJUSTMENT IS TO BE MORE BY HE SEMERAND WATER CONTRACTOR ON HE COST FOR ADJUSTMENT OF THE STORM OF THE SEMERAL SEMERAL BY THE FRAME WATER CONTRACTOR ON HE COST FOR THE PROJECT. (FINAL DROBES TO BE DETERMINED BY THE MANUFIPM ITY HE THE OF FINAL INSPECTION AND WAY VERY FROM FAME GRADE.)

SLEEVES FOR UTILITY (COMED. TELEPHONE. ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SMALL BE 6° PVC INSTALLED 36° BELOW THE TOP OF CORR AND EXTEND TWO FEET OUTSIDE THE CURB. TREEDES MALL BE BEACHILED WITH COMPACTED GRAWING MATERIAL.

THE CONTRACTOR SHALL YERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFIICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.

IT SHALL BE UNDERSTORD THAT INCITIES THE MANICIPALITY, ITS OFFICIALS, CONSULTANTS, MOR ITS CAPACITES ARE ACRITS OF OR REPRESENTATIVES OF INE DWIRE, NOW—THE-LESS, THE MANICIPALITY, ITS OFFICIALS, THE MANICIPALITY, OR THE OFFICE AND AND INCIDENCE OF THE OFFICE AND AND INCIDENCE OF THE OFFICE OF THE MANICIPALITY ON ACCOUNT OF A COUNTY OF THE OFFICE OF THE MANICIPALITY ON ACCOUNT OF A COUNTY OF THE OFFICE OFFICE OF THE OFFICE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OFF

A. "DRAIN TILE SYSTEMS DISTURBED DURING DEVELOPMENT MUST BE REDNAETED BY THE RESPONSIBLE FOR THEIR DISTURBANCE UNLESS THE APPROVED ENSINERING PLANS HOLDETH HOW THE DRAIN TILE SYSTEM IS TO BE CONNECTED TO THE PROPOSED STORMATTER MANAGEMENT SYSTEM. ALL ADMANDED THE SHALL BE REDUCED IN THEIR BYTHRETY.

DRAIN THE NOTES

[MACDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFOR CONTINUING WORK.

____ DRAIN TILE - > STORM SEWER

- 8" - WATER MAIN (WITH SIZE) PIPE TRENCH BACKFILL -G- GAS MAIN

GF - GARAGE FLOOR TC - TOP OF CURB

TO . TOP OF DEPRESSED CURB TW - TOP OF RETAINING WALL BW - BOTTOM OF RETAINING WALL

STM . STORM SEWER

T/P - TOP OF PIPE

WN • WATERMAIN

B/P - BOTTOM OF PIPE

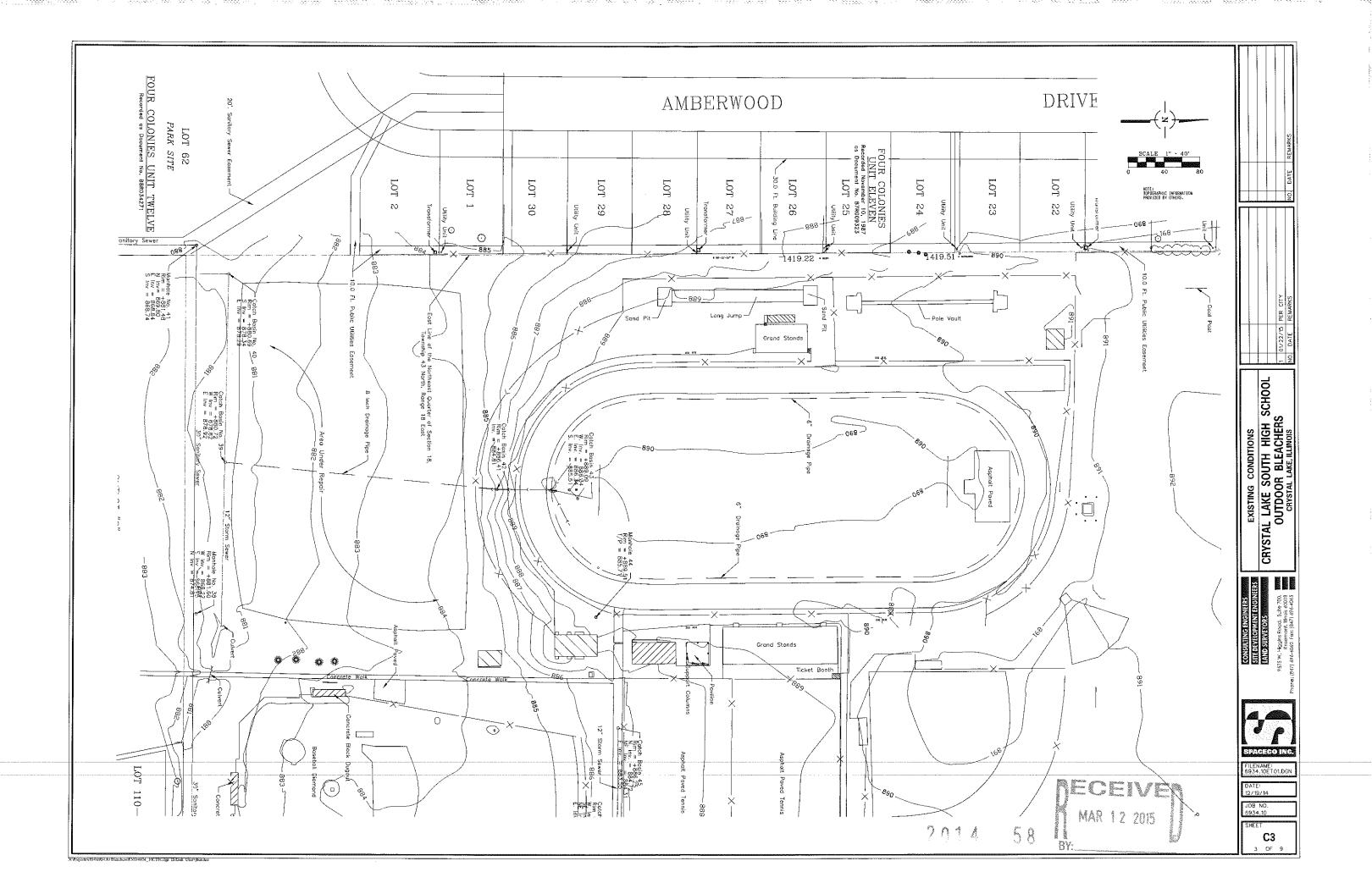
SAN - SANITARY SEWER

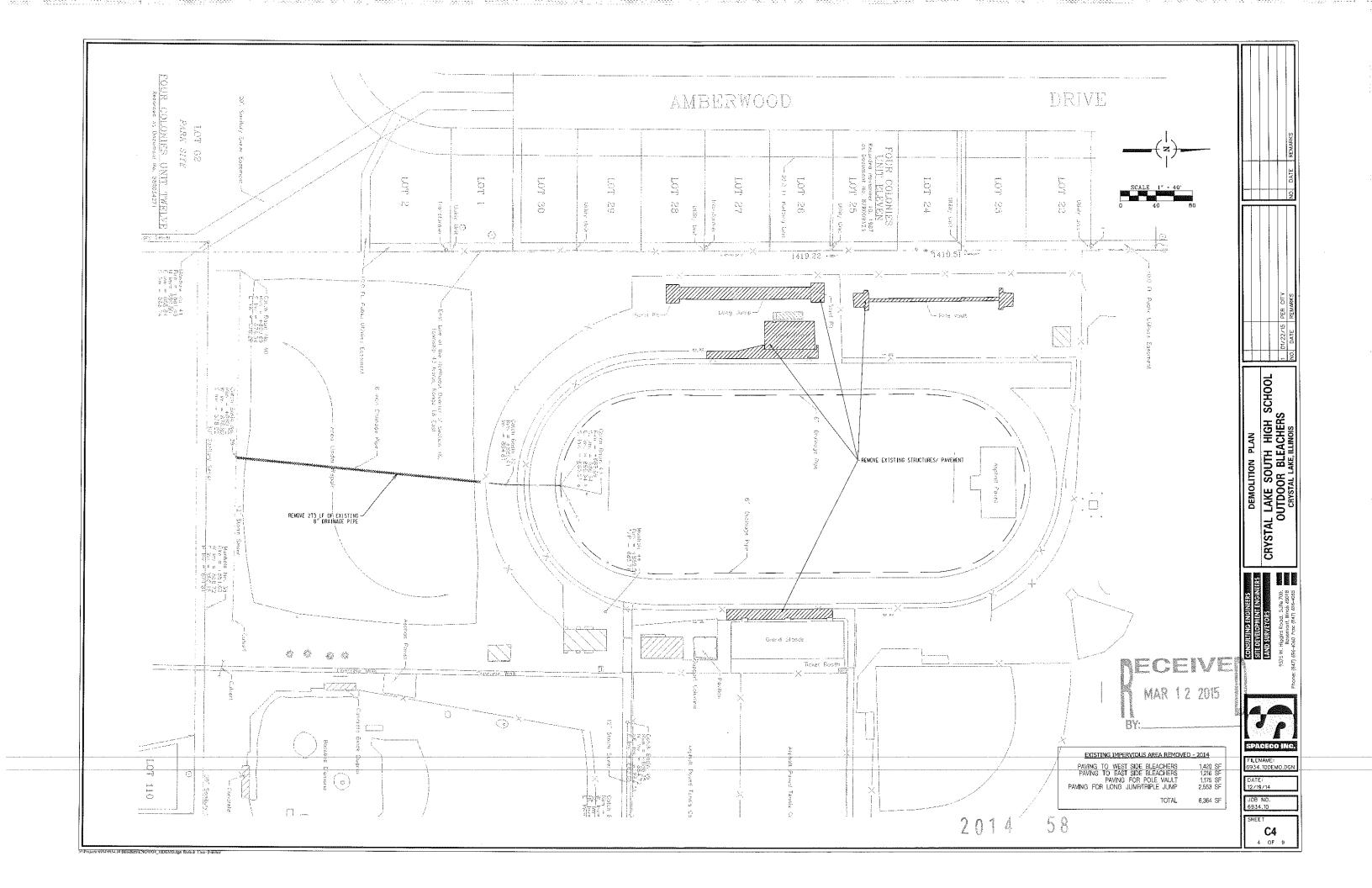
LO · LOOK OUT

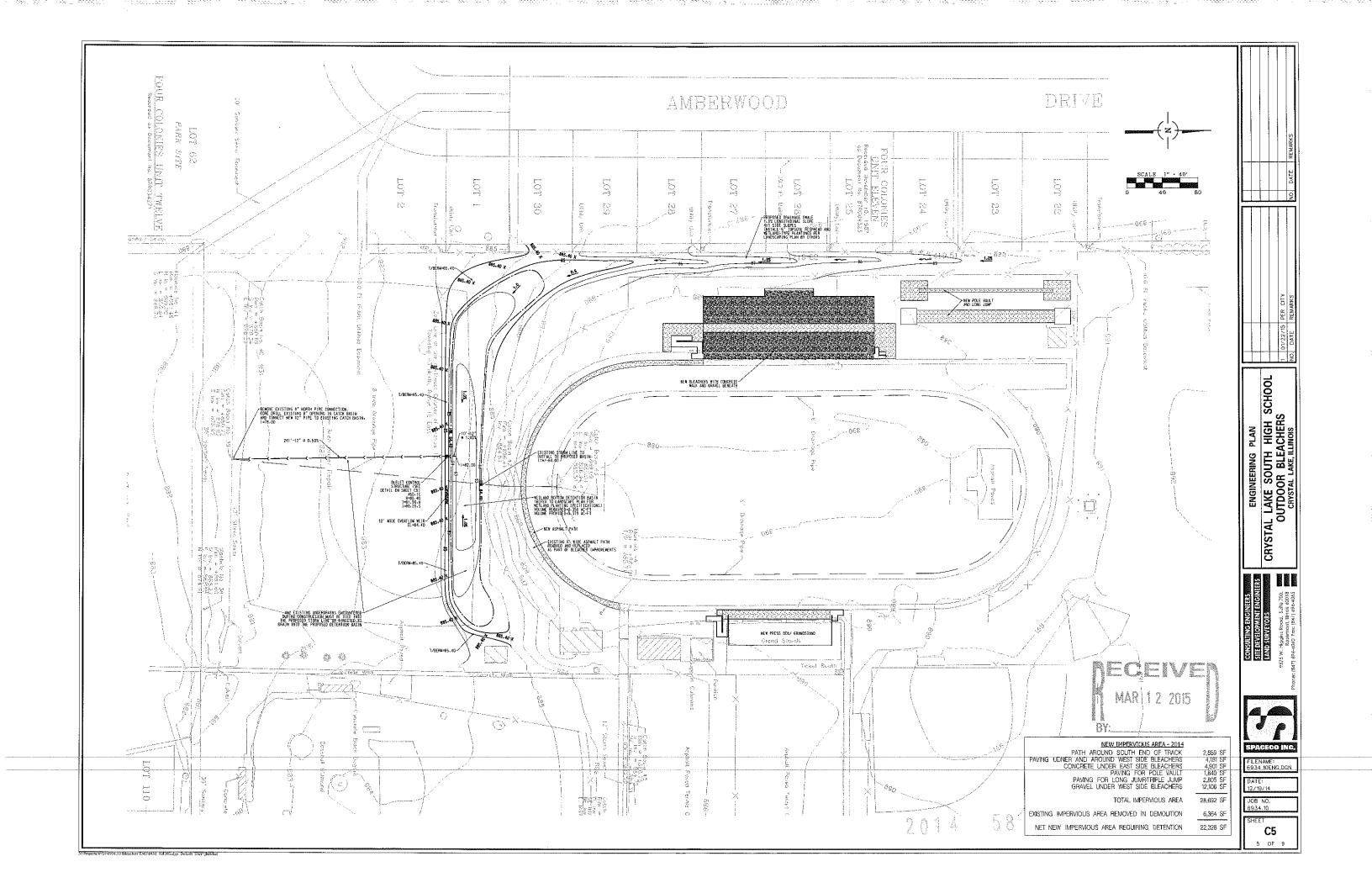
E - END SECTION FH . FIRE HYDRANT

PROJECT BENCHMARK

SNAITARY MANHOLE RIM SOUTH OF VISITOR PARKING







This Soil Erosion & Sediment Central ISSSE Plan has been prepared to fulfill one of the requirements of the Mollonia Pollutaria Discharge Elialantian System MPMES General Permit No. 1880.

The SSSE Plan should be maintained on site or on integral compared of the Starte Nation Prevention. The SSPPP, the SMPPP, including the SSSE Plan should be mainted whenever there is a damage in design. Plan stype? In the SMPPP, including the SSSE Plan should be mainted whenever there is a damage in design of notification. The SMPPP, including the SSSE Plan should be mainted whenever there is a damage in design. The SMPPP, the SMPPP is a small also be examined in the SMPPP. The SMPPP is and it also be examined in the SMPPP in the SMPPP is a small started by the SMPPP is a small started by the SMPPP is a small started in the SMPPP. The SMPPP is a small started discharges accided with construction site activity. In addition, the SMPPP shall be mended to identify any new contractor and/or salconfronts that will implement a measure of the SMPPP.

- The following is a description of the nature of the construction activity: NEW REACHERS

 ARC ASSOCIATED PAYMENT, GRADING AND DETENTION ARCA
- B. The following is a description of the intended sequence of construction activities which will disturb soits for major particus of the construction after.

- 1) Install perimeter sediment control secsures
 at Selective repetation removal for all if tence installation
 bit if tence installation control installation
 bit if tence installation control end of the description
 distribution of the secsure of the second of the second

C. The site has a total acreage of approximately $\underline{59.95}$ acres. Construction activity will disturb approximately $\underline{1.651}$ acres of the site.

- D. 11 An estimated runoff coefficient of the site after construction activities are completed is <u>0.7</u>. 21 Existing data describing the soil or quality of any discharge from the site is included in <u>COUNTY SMILS MAPS</u>.
- E. Refer to News Calliage

 1 drollange patterns
 1 drollange patterns
 1 drollange patterns
 2 depressioned stopes and tcipated before and offer adjor grading activities;
 3 locations where vehicles where or exit the site and controls to elaminize off-site sediment tracking;
 4) areas of soil disturbances
 5) the focultion of anyo structural and constructural controls:
 5) the focultion of anyo structural and constructural controls:
 6) the focultion of anyo structural and constructural controls:
 7) the focultion of anyous where stabilized for practices are expected to occur;
 8)
- . 1) The name of the receiving water(s) is(are): FOX RIVER
 2) The name of the ultimate receiving water is: FOX RIVER
 3) The extent of well and acreage of the size is: 9 ocres.
- C. Potential sources of pollution associated with this construction activity may include:

- 6. Potential sources of pollution associated with additional portrolla earlierry ateriors.

 fuel torise and sources of sources are sources controllared and sources controllared and sources controllared and sources controllared and sources additional and sources and concrete for sources and sources and
- 2. CONTROLS

Inis saction of the SESC Pion addresses the vorious controls that should be implemented for each of the mojor construction activities described in the "Site Description" section. For each resours identified in the SMPP, the contractoris) or subcontractorist in that will implement the measure should be identified, bit contractors and subcontractors that are identified should be required to sign a copy of the certification statement from Port IVI. of the LROV Permit in accordance with Port IVI. or "Signatury Requirements, of the 1,810 Permit 10 accordance with Port IVI. or "Signatury Requirements, of the 1,810 Permit 11 accordance with Port IVI. or "Signatury Requirements, of the 1,810 Permit 11.

A. Approved State or Local Pions

The management practices, controls and other provisions contained in the SMPPP should be at least as protective as the requirements contained in the lilinois Environmental Protection Apercy"s (IRPA) and the United States Department of Aprical Large Assurant Response Conservation States (IRPA) and the United States Department of Aprical Large Assurant Response Conservation States (IRPA) and the United States are all the provided of the Conservation States (IRPA) and the United States are all the Conservation States (IRPA) and the United States (IRPA) and the United States (IRPA) and the United States (IRRA) permit a term in the United Conservation States (IRRA) permit and the United Conservation States (IRRA) permi

The soil erosion and sediment control measures for this site should meet the requirements of the following coencies ~ City of Crystal Lake

B. Control Implementation Schedule

Bast Management Practices will be implemented on an op-needed basis to protect water quality. Per invetor controls of the site should be installed prior to soil disturbance isoclading soil disturbance necessary to install the controls. Including deposition controls: Per invetor controls. Including the salt states, about be extreely instituted with it find including deposition of the per invetor of the per invetor is stablished construction entronces and section traces should be extracted in the control of the per invetor of the per invetor of the control of the control

Stabilization accours should be initiated where construction activities have temporarily or peramently access in accordance with Local and State requirements, as described below. Once construction activity in an area has permiamently exceeds, that area should be permiamently stabilized. Temporary perimeter controls should be removed ofter final stabilization of those portions of the airs upward of the perimeter control.

C. Erosion and Sediment Controls

The oppropriate soil erosion and seatment controls should be implemented on site and should be molified to reflect the current phase of construction. All temporary seatment and recision control measures stould be repoired or replaced on some prostlocks to examinate the control measures stould be repoired or replaced or soon as prostlocks to examinate the sentition of the sentition of the seatment of the seatmen

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices should be installed to the Standard Propices. The contractor is responsible for the installation of any additional eracing and sediment control enables and control enables of the Engineer or Friency Control.

1) Stabilization Practices - area that will not be posed or covered with non-proble saterial should be atabilized using procedures in substantial confirmation with missing procedures in substantial confirmation with missing the procedure of the

The following temporary and permanent stabilization practices, at a minimum, are proposed:

- personent seeding - temporary seeding - erosion control bionket - other measures

Site-specific scheduling of the implementation of these practices is included in the Soil Protection Chart A record of the dates when major grading activities accour, when construction activities sease on a portion of the Site, and When stabilization measures are initiated should be included in the SMPP.

Stabilization of disturbed areas must be initiated within 1 working day of permanent or temporary cessorian of earth activities and shall be completed as soon as possible but not later than 14 days from the initialization of stabilization work in an order. Exceptions to these time frames are specified below.

- a. Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable.
- b. On areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method can be used. Temporary stabilization techniques and materials shall conform to the SMPP. 21 Struptural Practices - Provided below is a description of structural practices that should be implemented, to the degree attraction to the degree attraction to the degree attraction to the degree attraction to the degree attracts from exposed create at the site. Structural practices should be placed on all jurid soils to the degree practicable that installation of the fallowing devices may be subject to Section 404 of the Clean where Acts.
- stabilized construction entrance silt ferce sedisant traps (provide locations and dissustans in plan set) other resource

Provided below is a description of measures that will be installed during the construction process to control the pollutants in storm water discharges that will occur after the construction operations have been completed. The installation of these devices may be subject to Section 40 of the Clean Mater Act.

1) The proofices selected for implementation were determined on the basis of technical guidance contained in IEPA's 111 inois urban Manual, Federal, State, and/or Local Requirements. The storm water management

2) Yelcolty dissipation devices, such as nip-rep agrons of flored and sections on level spreaders, shall be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity. The front he structure to a verificance of the her barder by hysical, and bloogles of characteristics and fundamental and protected less, maintenance of hydrologic conditions, such as the hydroperiod and hydrolynomics present prior to the initiation of construction activities).

Solid waste enterlols including trash, construction debris, excess construction moderfols, mochinary, tools and other items will be collected and disposed of of site by the contractor. The contractor is responsible to coquire the permit required for such disposal. Burning on site will not be permitted. No solid exteriors, including building materials, sholl be discharged to waters of the State except as authorized by a Sention 400 permit. All waste enterlols should be cliented and street in approved receptories. No wastes should be placed in any location other than in the approved containers appropriating for the enterlols being discorded. There enough be no liquid wastes deposited into dumpstars or other containers which may leave. Receptate self-indeficients should be replaced as soon as possible on the containers procedure about the shock if measurery. Contraction waste materials in not to be buried on site. Notice disposed and provide and the shock if measurery. Contraction waste materials in not to be buried on site. Notice disposed having any of the contraction waste materials.

Bon-site hazardous material storage should be minimized and stored in lobeled, separate receptories from non-hazardous waste. All nazardous waste should be disposed of in the manar specified by [coal or State regulation or by the manaracturer.

F. Comprete Moste Monogement

Concrete waste or washout should not be allowed in the street or allowed to reach a storm water arrainage system or watercourse. When practicable, or sign amould be pasted at each location to identify the wishout. To the extent practicable, concrete washout preas should be located a reasonable distance from a storm water divinger inter a watercourse, and should be located at least 10 feet behind the curb. If the weakout area is ediponent to a paved road, A stabilized entines that mests ill times by those Manual standards should be installed at each washout area.

The contributent facilities should be of sufficient values to coapetally contain all liquid and comprehe explicit entributed in excultance processing and explicit entributed in the interior contributed in the processing and in the area of contributed the solid processing and disposed of properly when 6th copicity is reached. Herdewed comprehe can be properly recycled and used opinion of the loss processing and the contributed area of the contributed and the cont

G. Concrete Cutijng

Concrete waste management should be implemented to contain and dispose of sow-cutting slurries. Concrete cutting should not take place during a immediately after a rainfall event. Waste generated face concrete wastern and

H. Venicle Storage and Maintenance

The noting as construction whiches chould be stored in a designated decision busides of the regulatory flooxyloin, away from any natural or created vaterourse, and, drivingerway or store droin, controls should be installed to finitely at the potential of runoif from the storeogeneous from reaching storm droins or water courses. Which is adaptived underly or personal post numbers of water courses. Which is adaptived underly or personal post numbers of underlying designations and stored the most validation of water courses. Which is adaptived underlying other provides of the stored from the stored involved or course and the stored of the stored from the stored in stored in the stored from the st

1. Moterial Storage and Good Housekeeping

Atteriors and our outcomessage the stored in a moment that elimitizes the potential to discharge into storm driving or watercourses. An on-site area should be designated for materiors discharge into storeign and the stored in their original contributes with the store of their original contributes when the store of their original contributes the store of their original contributes with the store of their original contributes with the store of their original contributes of their original contributes with the store of their original contributes with the store of their original contributes of their original contributes with the property of their operations of the education of their original contributes of their original contributes with the store of their original contributes or their original contributes of their original contributes of their original contributes of their original contributes of their original contributes or their original contributes of their orig

To reduce the risks associated with hezordous enteriors on site, hezordous products should be kept in original containers unless they are not re-seciable. The original locals and MDS should be reflected on site of oil titles. Mazardous sateriors and oil other retrieval on site and oil productive of oil the container of the should be stored in accordance with constructurer or MDS specifications. When disposing of hozerdous enteriorist for four foundations of the container of the

- All materials stored on site should be stored in a neat, orderly manner in their appropriate containers and adequately professed from the environment.
- Products should be kept in their priging containers with the principal magnifecturer's label. Substances should not be mixed with one another unless recommended by the manufacturer,
- Operations should be observed as necessary to ensure proper use and disposal of materials
- Whenever possible, gif of a product should be used up before disposing of the contoiner.
- Monufacturer's recommendations for proper use and disposal should be followed. J. Management of Portable Sanitary Stations

To the attent proclable, portfolia smitrary stations. To the attent proclable, portfolia smitrary stations should be tocated in an area that does not drain to any proclated natural careas, Material of the State, or starm water structures and should impervious surfaces along the pieces on top of a secondary containment devices or as surrounded by a control device (a.e., or providing plant). The contractor cannot not create or allow swinning council loss. Sonitory waste smould be disposed of in accordance with applicable State and/or

Monufacturer's recommended methods for split clean-up should be available and site personnel should be made aware of the procedures and the location of the information and clean-up supplies. Materials and equipment increasery for split loterup should be kept in the material states are one of the process and experience and experience of the process o

Discharges of a hazardaus substance or oil coused by a spill (e.g., a spill of oil into a separate starm sever or Noter's of the State) are not authorized by the Likilo permit. If a spill occurs, notify the Primary Contact immediately. The construction site issual tower the copacity to control, contach, and resover spills, if they cour. Spills though the change of the contact of the contact of the contact with NSDs and sixual and be builded on after ar words into starm sever trainings (inlets, crainings, critical spills) or that so it has been trainings (inlets, crainings, critical spills).

Spills in excess of Federal Repartoble Quantities (as established under 40 CFR Parts 110, 117, or 302), should be reported to the National Response Earner by colling 1800 424-8802. MSDS often include information on Federal Reportable Countities for materials, Spills of how cor incorradus underfals should be reported to the oppropriate foreign colling 1800 424-8802. MSDs often include the reported to the oppropriate Spills of the configuration of

- In addition to the good housekseping and other management practices discussed in the previous sections of these Notes, the following minimum practices should be followed to reduce the risk of sailie:
- On-site vehicles should be monitored for leaks and should receive regular preventative maintenance to reduce the chance of lackage.
- Contrictors should follow the monufacturer's recommendations for proper use, storage, and disposal of materials. Excess materials should be disposed of according to the manufacturer's instructions or State and Local regulations, and should not be discharged to the storam sewer or waterbody.

L. De-Watering Doerations

During da-watering/pumping operations, only uncontaminated water should be allowed to discharge to protected natural areas. Noters of the State, or to a store saver system (in occarance with Local paratist). Inliet hoses should be placed in a stabilized sump jit or flooted of the waterose of the water in order to list! the occurs for defining into the. Pumping operations may be discharged to a stabilized area that consists of an energy dissipating device (e.g., store), sediment filter bug, or both. Adsauter arosin controls should be used during devicting operations is encessory. Stabilized consequent others is deviced the instability of client water to the distinct local that are applicable.

Additional control measures any be instabled on the cultier area of the distinct look in the first large Control of the Control measures any be instabled on the cultier area of the distinct look in the first large.

The site should have one or more stabilized construction entrances in conformance with the Plan details. Stabilized construction entrances is conformance with the Plan details. Stabilized construction entrances is stated by the stabilized construction entrances stabilized by the stabilized construction of the stabilized entrance with additional stabilized constructions the stabilized entrance with additional stabilized constructions are stabilized entrance with additional stabilized constructions are stabilized entrance with additional stabilized constructions are stabilized entrance with additional stabilization and from the construction after should be covered with or top.

If topsoil is to be stockplied at the site, select a location so that it will not enose block drainage, or affects of select a location and the located in the 100-year slocation or desired the select and the select and the select and the select and select and select a location or desired but it is a profession of the select and select and

L Dust Control

Bust control should be implemented on site as necessary. Repetitive treatment should be applied as needed to accomplish the set despoying as control imposes as class, a verter truck should be reserved as the control of the set of

If field observations indicate that additional protection from wind erosion (in addition to, or in place of watering) is necessary, alternative dust suppressant controls should be implemented at the discretion and approval of the Ingineer and/or Prisary Confact.

Street cleaning should also be used as necessary to control dust. Paved areas that have sail on them from the construction site should be cleaned as needed, utilizing a street sveeper or bucket—type enalloader or scraper of the direction of the Engineer analyze Primary Contact. . WALINTENANCE

Woinfenance of the controls incorporated into this project should be performed as meaded to assure their continued effectiveness. This includes proupt one effective repoir another replacement of deficient control measures following is a description of procedures that should be used to mointain. In apparent experts in a confirmation of the control measures and other protective measures leantified in the SESC Plan and Standard Secretifications.

Dust control: When temperary dust control measures are used, repetitive treatment should be applied as needed to

Sediaent filter bogs: Sediaent filter bogs should be installed on pump outlet hoses that discharge off site or to amasitive dow-kind reads, and should be placed in an grea that allows for the bog to be recoved without producing a sediment discharge. The bogs exhauld be impacted frequently and reported or replaced as needed.

Silt fances Silt fances should be inspected regularly for undercutting where the fance meets the ground, overtopping and terms along the length of the fance. Deficiencies should be repaired immediately. Remove occumulated estimates from the fance bose when the sediment reaches one-half the fance height. During final actalization, properly disposed any sediment that has occumulated on the Silt fance. Alternative sediment control measures should be considered for reas where silt fance continually falls.

Stabilized construction entrance: The stabilized construction entrances should be maintained to prevent tracking a sediemi anto public streats. Maintenance includes top dressing with additional stone and removing top layers of stone and sediemit. The sediment tracked onto the public right-of-way should be removed rimmadiately.

Temporary sessions traces. Temporary sessions traces should be inspected offer each period of significant rollfall. Remove significant rollfall. Remove should be inspected offer each period of significant rollfall. Remove should be inspected offer each period of significant rollfall. Remove should not restore the first point in clight of dimentions when the sediment that occurring the dosign depth of the personnel pool. Ploos the sediment that is removed in a designated disposal area. Once the structure for the personnel pool. Ploos the sediment that is removed in a designated disposal area. Check the structure area of the personnel pool. Ploos the sediment that is removed in a designated disposal area. Once the structure and off unstable sadiment. Grode the pres to bland with the adjoining cross and stabilizations that structure and off unstable sadiment. Grode the pres to bland with the adjoining cross and stabilizations.

Inspections should be conducted at least once every seven colenger days and within 24 hours or by the end of the following work day, of the end of a storm event that is 0.5 inches or greater, or equivalent snowfall.

Inspections may be reduced to once per month when construction activities have decised due to fragen conditions. Neekly inspections will recommence when construction activities are conducted, or if there is 0.5° or greater raise events or a discharge due to sowment course.

Each inspection should include the following components:

A. Disturbed ories and areas used for the storage of exteriors that are exposed to precipitation should be inspected for evidence of an the potential for, pollutants entering the distingue system. The end is an ideal estimation because ideal fitties in the Settle Production because ideal recommendation of the consistency of the end of the

8. Bossed on the results of the inspection the description of potential pollutant sources identified, and the pollution prevention results described in the SMPP should be revised, as oppropriate, as soon as practicable after the inspection. The additional features is Proy, shall provide for timely implementation of any changes to the SMPP within 1 calendar days following the inspection.

of any changes to the SMPP within 7 calendar days following the inspection.

A report summarizing the scope of the inspection, notes is and qualifications of personnel making the inspection, the date(s) of the inspection indicates relating to the implementation of the SMPP, and calendar the inspection in the same shall be made and referred as part of the SMPP for at least three years from the date that permit coverage expires or in terminated. The report about the organization accordance with part vial. (Signalary Repulsions) of the LERO MPGE Permit.

D. The Permittee shall notify the appropriate appropriate appropriate agents of any incidence of necessary linear for any solution of any condition of the SMPP conditions are the same shall not solve the same shal

. All reports of non-compilance shall be signed by a responsible authority as defined in Part VI.G. Signatory Requirements), of the ILR10 MPDES Permit.

After the initial contact has been made within the appropriate agency field operations section office. I reports of non-compliance shall be mailed to 18PA at the following address:

Illinois Environmental Protection Agency Division of Kater Pollution Control Compilance Assurance Section 021 North Brand Avenue East Part Diffice Box 19276 poringfield, Illinois 62794-9276

NON-SIGRM WATER DISCHARGES except for flows from fire fighting activities, possible sources of non-storm water that may be combined with storm water discharges associated with the proposed activity, ore described below:

- Fire fighting activities

 Fire hydron fluckings

 blar used to work whicles where detergents are not used

 lotar used to work whicles where detergents are not used

 lotar used to control dust

 Foroble water sources including uncontaminated water line flushings

 Foroble water sources including uncontaminated water line flushings

 Foroble water sources including uncontaminated water line flushings

 Foroble water sources with the description which does not use detergents

 Forement was valuer waters where spills or leaks of tooks or hozer drougs materials have not occurred

 flushiss spilled and/or lots have been reduced and where detergents have not been used.

 Fluctuationizated oir conditioning condensate

 Irrigation of thebes

 Irrigation of thebes

 Irrigation forobling droins where flows are not contaminated with process materials such as solvents

 Foundation or footing droins where flows are not contaminated with process materials such as solvents

- PAGHIBITED NON-STORNWATER DISCHARGES
- Concrete and wastewater from washout of concrete funless managed by an appropriate control!
- Concrete and wastevorer from resolucin or users are managed by a provided proposal composal c

ADDITIONAL EROSION CONTROL NOTES

- A. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION.
 AREAS OF THE DEVELOPMENT SITE THAT ARE NOT TO BE GRADED SHALL BE RROTECTED FROM
 CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FIRMA SEEDING IS PERFORMED.
- B. PROPERTIES AND CHANNELS ADJUINING THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.
- C. SQIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- D. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITH FOURTEEN 1141 CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE.
- E. ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- . IF DEWATERING SERVICES ARE USED. ADJOINING PROPERTIES AND DISCHARGE LUCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED INFOLUCH AN EFFECTIVE SEDIMENT CONTROL MEASURE (E.G., SEDIMENT SEDIMEN
- G. ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMAMENTLY STABILIZED.
- . A STABILIZED MAT OF AGGREGATE UNDERLAIN WITH FILTER CLOTH OR DINER APPROPRIATE MEASURES) SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION-SITE OF A MAJOR DESCRIPTION OF A CONTROLLED A MAJOR OF A CONTROLLED SEDIMENT AS SOLD RECEIPMENT OF A PROPERTY OF A CONTROLLED SEDIMENT AS SOLD SEDIMENT AND THANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AFEL.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A FLOOD-PRONE AREA OR A DESIGNATED BUFFER PROTECTING WATERS OF THE UNITED STATES OR ISOLATED WATERS OF MCHENRY COUNTY.
- J. THE CONTRACTOR SHALL PROVIDE ADEQUATE RECEPTACLES FOR THE DEPOSITION OF ALL CONSTRUCTION MATERIAL DEBRIS GENERATED DUBING THE DEVELOPMENT PROCESS. THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE DUMPING, DEPOSITION, PROPERTY INHOUNG, DISCAPBING, OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT SITE. CHANNEL, WATERS OF THE U.S. OR ISOLATED WATERS OF MICHEMAT COUNTY. THE CONTRACTOR SHALL MAINTAIN THE DEVELOPMENT SITE FREE OF CONSTRUCTION MATERIAL DEBRIS COUNTY. THE
- K. ALL TEMPORARY AND PERMANENT SDIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN AN EFFECTIVE WORKING CONDITION.

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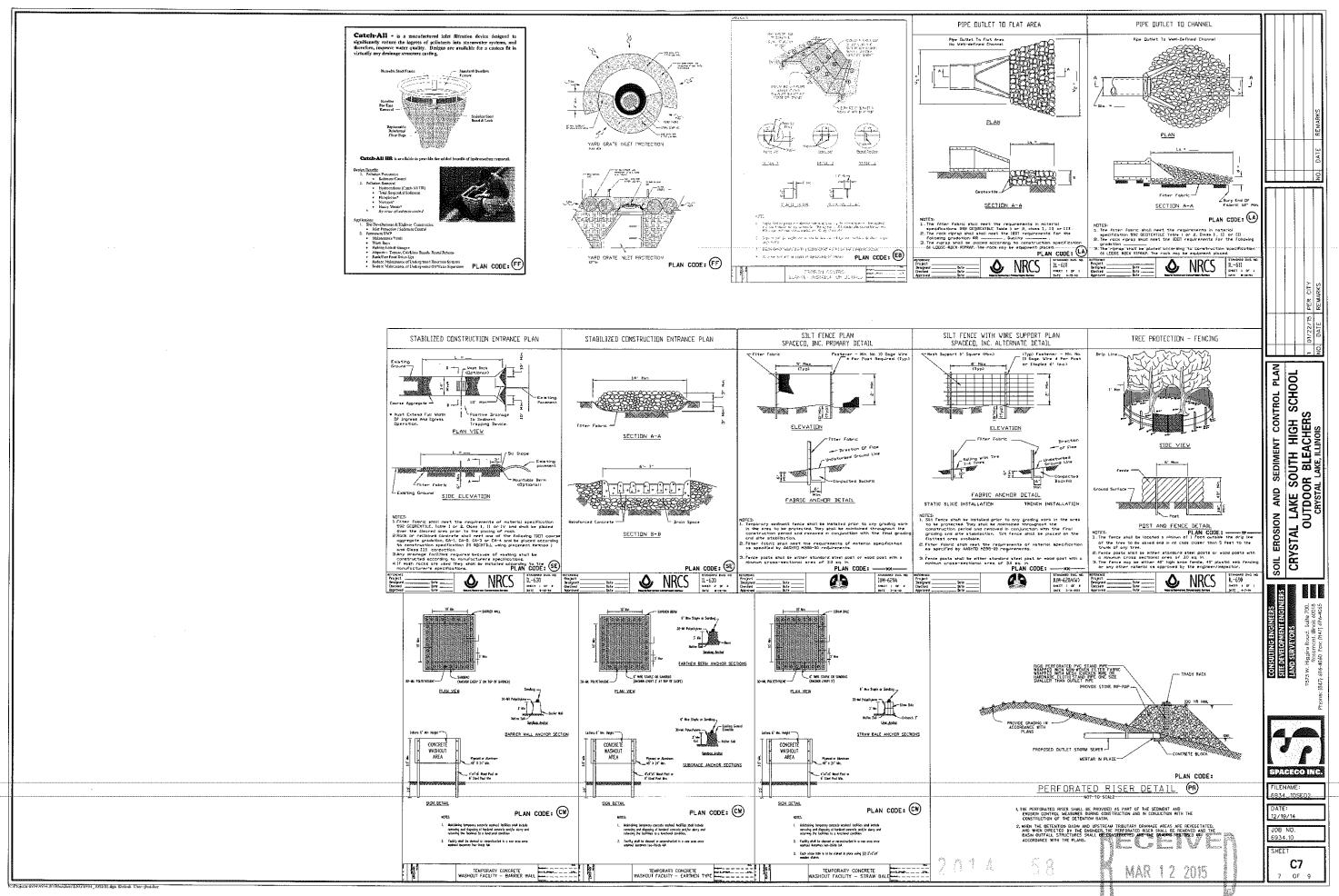
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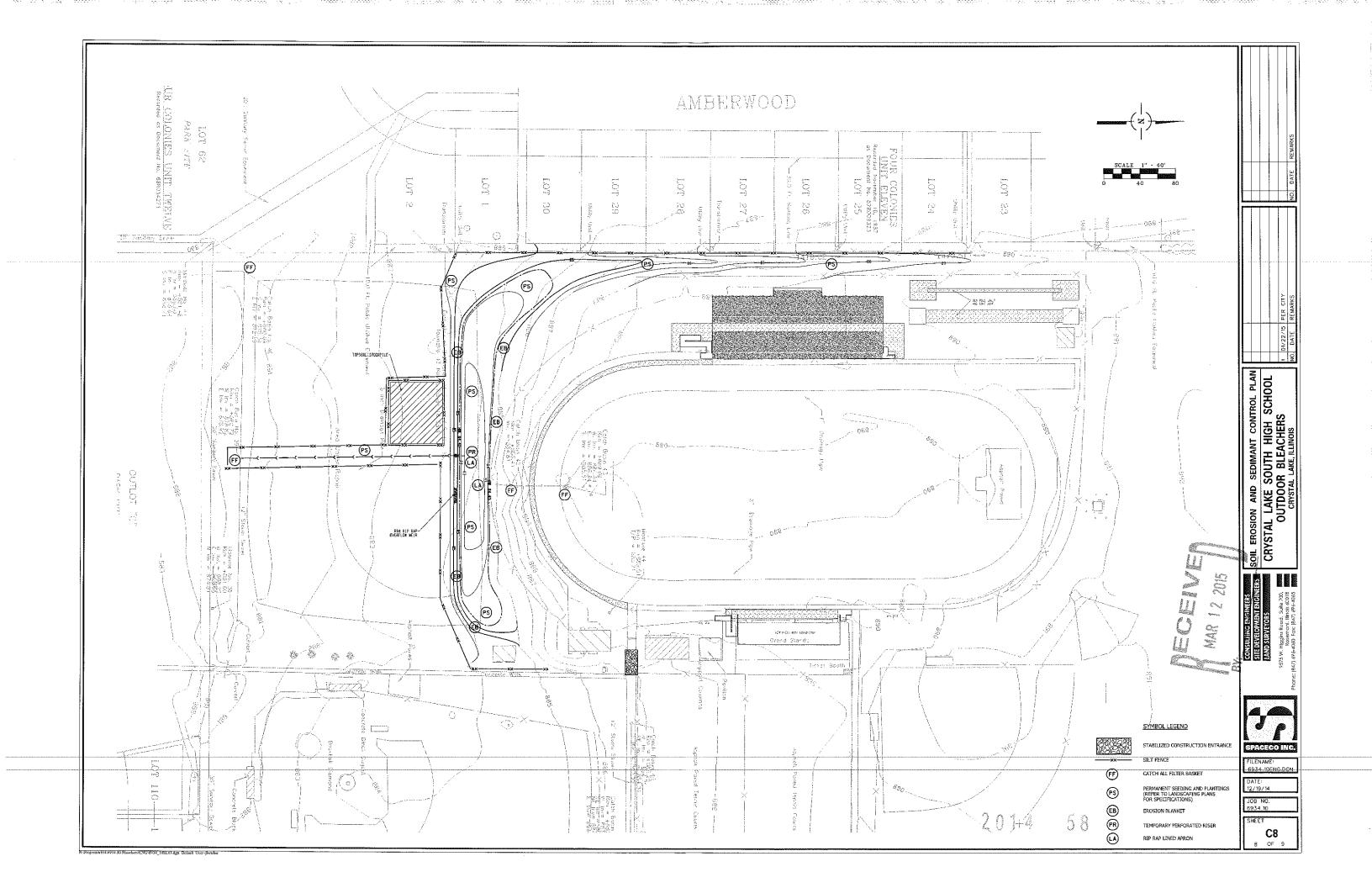
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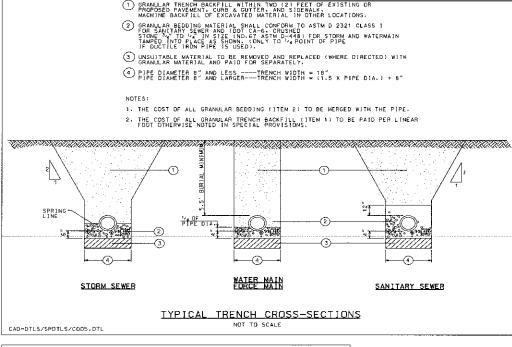
SOIL EROSION AND SEDIMENT CONTROL PLAN
CRYSTAL LAKE SOUTH HIGH SCHOOL
OUTDOOR BLEACHERS
CRYSTAL LAKE, ILLINOIS

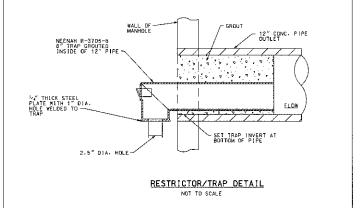


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EARTHWORK NOTES STORM SEWER NOTES 2. REDDING: A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOFL AND GROUNDWATER CONDITIONS AT THE SITE, THE CONTRACTOR SMALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER. A. ALL STORM SEMENS SHALL BE INSTALLED ON A TYPE A GRANDLER BEDDING, 1/4" TO 3/4" IN SIZE COL-33 WITH A WINNING METONESS COURT ON 1/4 THE DUTSIDE DIAMFER OF THE SEMEN PIPE BUT NOT LESSED TO 1/4 THE DUTSIDE OF THE SEMEN PIPE BUT NOT COLORS OF THE SEMEN PIPE BUT NOT COLORS OF THE SEMEN SEMENT OF THE SEMENT OF T ANY QUANTITIES IN THE BID PROPOSAL ARE INTERNED AS A QUIDE FOR THE CONTRACTOR'S USE IN DETERMIN SCUPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIA OWNITIES AND APPRISS HINGEST OF ALL SIZE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIA CONTRACTOR SHALL SE CONSIDERED AS LOPE SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WISH WILL BE RECONTRICTE UNLESS COMPLETON IN HITTERS OF THE CONFER. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS. TOPSOIL. ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS MANNELE, CATCH BASIN AND INLEY BOTTONS SMALL BE PRECAST CONCRETE SECTIONAL UNITS OF MANNELTHIC CONCRETE. MANNELTHIC CONCRETE. MANNELS AND CATCH BASING SMALL BE A MINIMARY 4' IN DIAMETER UNLESS DIMERNISS. SPECIFIED ON THE PLANS, "STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTTL ROPE. A MAXIMAN OF EIGHT (8") INCHES OF ADUSTING RINGS SHALL BE SEALED WITH O-RING OR BUTTL ROPE. A MAXIMAN OF THE CONTRACTOR SHALL NEINTAIN POSITIVE DRAINAGE QUEIND CONSTRUCTION. AND PREVENT STORMANTER FROM BRANDS INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGALE AND MINISTER AND COMPENSATION REQUESTED DUE TO DELAYS OR INSUITABLE MARETRUS CRAITED AS A RESULT WRETEN. FINAL CRANSES SHALL OF PROTECTED AGAINST DANAGE FROM CRESSION. SEDIMATION AND TRAFFIC. B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BUTTOM OF ALL INCETS AND MANROLES. PLANS FOR THE SITE DEMATERING. IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE DWNER PRICE TO IMPLEMENTATION, NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEMATERING BURING CONSTRUCTION. THE FRAME, GRATE, AND/OR CLOSED LID SMALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-BOCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" EAST ON THE LID. THE LIDINTS SERVER CONCRETE SECTION ADJUSTING RINGS, AND FRANK SHALL BY STAR IN MITH A MACHINE COMP PRIOR TO COMMENCEMENT OF GRAPHIC ACTIVITIES. THE CONTRACTOR SHALL ERECT A "STORY FENCE" ARROADO ANT THE COSTGMATED TO BE PRESENTED. SALD FENCE SHALL BE PLACED IN A CHRILE CHITEGO ADMINOTING TREE. THE CHARTER OF WHICH SALL BE SALOM THAN THE WHITE CORP FOOL ELECTRED OF CHITEGO ADMINOTING TREE. THE CHARTER OF WHICH SHALL BE SALOM THAN THE WHITE CORP FOOL ELECTRED OF CHITEGO ADMINOTING DEPOSITION. THE CHITEGO ADMINISTRATION OF EXCESS MATERIALS. IF NOT UTILIZED AS FILL. SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR. ALL EARTHWORK SMALL BE DOWN UNDER THE SUPERVISION OF AN ILLINOIS LICENSED EMBREER WAS SPECIALIZES IN THE CEOCHMICAL FIELD ISOLS EMBREER. THIS SUBMINIST WILL BE REPROSEDE FOR FINISHING THAT ALL WAND MATERIALS AND REMOVED. ALL STRUCTURE FILE METERIALS AND FRANCE FOR ALL PRACES AND EMBREED. ALL PRACES AND EMBREED ALL PRACES AND EMBREED. AND EMBREED ALL PRACES AND EMBREED ALL PRACES AND EMBREED ALL PRACES AND EMBREED ALL PRACES AND EMBREED. AND EMBREED ALL PRACES AND EMBREED ALL PRACES AND EMBREED ALL PRACES AND EMBREED A. CASTINGS FOR SEMER OR OTHER STRUCTURES SHALL BE "MEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITYM. A. THE STORM SEMER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING. 2. TOPSDIL EXCAVATION INCLUDES: 7. TELEVISING: EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARLY EXCAVATION OR COMPACTO LABOR FILL MATERIAL. EXISTING VEGETATION SHALE BE FRANCE PRINTING TO STRIPPIN OFFOCIA OF FILLING AREAS. A. THE STORM SEWER SYSTEM SHALL BE TELEVISED IF REQUIRED BY MONICIPALITY. PLACEMENT OF THE EXCAVATED MATERIAL IN DWINER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LAMOSCHED, AND THOSE AREAS NOT RECURRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION COMPROL ASSURES FOR STOCKING TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL REALS OF DISPOSED OF ORE-SIF. D. TOPSOIL RESPREAD SHALL INCLUDE HAGLING AND SPEADING 6° OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER. RIACIENT OF THE CLEVAND OTHER QUITABLE ENTERIALS SHALL BE NITHIN THOSE AREAS REQUIRING STRUCTURAL TILL IN HORREY OR ADMITNET BE FAM. SHORBAGE LEVATORS TO VEHINDE A DESERVE OF DITECT BE MATERIAL SHALL BE FLACED IN LODGE LITTS THAT SHALL HOT EXCED FIRST THE DISCRESS IN THICKNESS. AND THI MATER COMIENT SHALL BE AUDICED IN DORDET TO ALMERIC RECORDER COMPACTION.





SPECIFICATIONS AND DETAILS
CRYSTAL LAKE SOUTH HIGH SCHOOL
OUTDOOR BLEACHERS
CRYSTAL LAKE, ILLINOIS

PACECO INC.

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STORM SEWER NOTES

COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS. SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOS DAY DEASITY WITHIN PROPOSED PAYMENT AREAS, SIDEMAKK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCEDURE WITHIN PROPOSED BUILDING PAD AREAS.

UNSULTABLE MATERIAL SHALL SE COUSTINERD AS MATERIAL WHICH IS NOT SULTABLE FOR THE SUPPORT OF PAVENETH AND BUILDING CONSTRUCTION. AND IS INCOLOURSED ON BOOK INCOME. THE DECISION TO REMOVE SUBBRACK ELEVATION. THE DECISION TO REMOVE SAIP MATERIAL AND TO MARK TERMY. SHALL BE MADE BY A SOLIT KININGER WITH THE CONTROLLED THE WORLD SAIP MATERIAL AND TO MAKE TERMY. SHALL BE MADE BY A SOLIT KININGER WITH THE CONTROLLED THE WORLD SAIP MATERIAL AND TO MAKE TERMY. SHALL BE MADE BY A SOLIT KININGER WITH THE CONTROLLED THE WORLD SAIP MATERIAL AND TO MAKE TERMY. SHALL BE MADE BY A SOLIT KININGER WITH THE CONTROLLED THE WORLD SAIP MATERIAL AND TO MAKE TERMY.

A. SPREAD AND COMPACT UNIFORMET TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVENENTS.

A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM. A FULLY LOADED SIX-MAREL TANDEM AXLE TRUCK FOR PROCE ROLLING THE PAYEMENT SUBGRAVE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL THIS SHALL BE WITHESED BY MUNICIPAL MAININGER AND THE DAYER. SEP PRAYER SEPCIFICATION. ANY UNSUITABLE ABEA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL. OF OTHERWISE CORRECTED. APPROVED BY THE SOILS CONSULTANT. 6. ANY TESTING THAY IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION, NO SEPARATE PAYWENT WILL BE MADE.

SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED. THE UPPER TWELVE 1121 INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREA SA VELL AS FILE AREAS. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE O ACHIEVING THE SPECIFIED COMPACTION. BACEFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PAIGH TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST? DAYS. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SULLS CHRIMETE UNITLE PROPER COMPACTION IS ADMISTED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY ENVIROL IT. IN THE CONTROL OF THE COURS CHAPTED AND THE MINISTED, MENISTED BACKFILLED TRENCHES FOR COMPACTION VILL NOT BE ALLOWED.

1. GENERAL:

6. TESTING AND FINAL ACCEPTANCE

A. ALL STORM SEVER PIPE SHALL BE RCP, URLESS OTHERWISE HOTED ON THE PLANS, IN ACCORDANCE WITH THE FIRE OWING PLAN CODE: INTERFAL

TOP IN THE PROPERTY OF THE LASTA C-161 WITH O-PHING GASKETED JOINTS. LASTA C-46311 TYPE 1. CLASS IV. PE

STORE SECTION 603. ELITHTICAL ROOP PIPE SHALE BE TYPE 1. HE-HI] FER SSREC SECTION 611. PRECASE FLARED DND

SECTIONS NAT MANE MASTIZ JOINTS. PARMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE FER LINEAR FOUT

STORM STORE OWNETER IN PLANSACIONS.

DIPS DUSTILE IRON WATERMAIN QUALITY PEPE CLASS 52 (ANSI 21-51) WITH MECHANICAL OR PUSH-ON JUINTS (ANSI 21-11). CEMENT LINING IS NOT REQUIRED.

PVC: POLYMENYL CHLORIDE SEWER PIPE, SOR 25, CONFORMING TO ASTW 0-3034 WITH ACTM 0-3012 PHISH-ON GASKETED MOINTS MOPE: HIGH DENSITY POLYENYLERE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING ASSHID 4-294 SCHEAS-ADS WITE BY ADVANCED DRAINAGE SYSTEM: CEPUMPUSS, OH-OF HIT-O BY HANCOR: FINDLEY; OH- JOINTS STAIL & ESCHLIC CORROGATED DRANS BY THE PIPE MARKEACTURES.

"BIAND SEAL" OR SIMILAR COSPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIPILAR MATERIALS
"BIAND SEAL", "FERMICO", AND "MISSION" TYPE COUPE INGS SHALL NOT BE USED ON SEVER WAINS. CHANGES IN PIPE WATERIAL SHALL BE MUCE AT A STRUCTURE.

C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE

ALL FOOTING ORAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SENER SYSTEM-DOWNSPOUTS SHALL DISCHARGE TO THE GROWND.

THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3'); FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL I HAS DURING CONSTRUCTION. THE CONTRACTOR SHALL MAIND OVER MAY PIPES WHICH HAVE LESS THAN TRIBEE (3'); FEET OF COVER DURING CONSTRUCTION WILL THE AREA IS FIRME GRADEO FRANCO.

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