



#2014-48
95 Grant St. Apartments – Preliminary/Final PUD
Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	March 4, 2015 and May 6, 2015
<u>Requests:</u>	Preliminary and Final PUD for a multi-family development in the B-4 Downtown Commercial zoning district.
<u>Location:</u>	95 Grant Street
<u>Acreage:</u>	Approximately 8,300 square feet
<u>Existing Zoning:</u>	B-4 Downtown Commercial
<u>Surrounding Properties:</u>	North: B-4 Downtown Commercial South: B-4 Downtown Commercial East: B-4 Downtown Commercial West: B-4 Downtown Commercial
<u>Staff Contact:</u>	Elizabeth Maxwell (815.356.3615)

Background:

- This building was a former office building. After the main tenant moved out, the building was divided and each office space was rented to a single user.
- The petitioner is proposing to convert the building to a 6-unit apartment building.

Development Analysis:

Land Use/Zoning

- The site is currently zoned B-4 Downtown Commercial. Multi-family buildings are allowed in B-4 as a Special Use requiring a Planned Unit Development.
- The land use map shows the area as Mixed Use. This is an appropriate land use designation for the multi-family housing building. This land use plans for a combination of retail, office and housing in the Downtown area.

Site Layout

- The building is on Grant Street which is one-way. Access to the building is through the alley alongside the building to a parking area in the back.

Building Elevations

- The building is an existing brick and concrete building. No changes to the exterior elevations are planned except for some life/safety code requirements like a second access out and new windows.
- A new peaked roof is being added to make the building more residential in character.
- The building is a split level and either is a half-story down or half-story up as you enter .

Parking

- Multi-Family housing requires 2.25 spaces per unit. This building would require 13 spaces. The Downtown receives a 30% reduction. Only 9 spaces are required. The petitioner plans to provide 8 spaces.
- The parking area does not meet the required width for parking spaces and drive aisles.
- If the building was used for office it would require 36 parking spaces; with the Downtown reduction it would come to 25 parking spaces.

Landscape

- The petitioner will do some landscape maintenance, but there is no room to add new landscape.

Signage

- No information has been provided and all signage would comply with the UDO.

Findings of fact:

PRELIMINARY PUD/SPECIAL USE PERMIT

The petitioner is requesting approval of a Preliminary and Final Planned Unit Development to construct a multi-family apartment buildings in Downtown. A Special Use requires separate review because of its potential to impact surrounding properties and the orderly development of the City. Section 2-400 B General Standards for all special uses in the Unified Ordinance establishes standards for all special uses in Crystal Lake. Briefly, the criteria are as follows:

1. The use is necessary or desirable, at the proposed location, to provide a service or facility which will further the public convenience and general welfare.
 Meets *Does not meet*
2. The use will not be detrimental to area property values.
 Meets *Does not meet*
3. The use will comply with the zoning districts regulations.
 Meets *Does not meet*
4. The use will not negatively impact traffic circulation.
 Meets *Does not meet*

5. The use will not negatively impact public utilities or municipal service delivery systems. If required, the use will contribute financially to the upgrading of public utilities and municipal service delivery systems.
 Meets *Does not meet*
6. The use will not negatively impact the environment or be unsightly.
 Meets *Does not meet*
7. The use, where possible will preserve existing mature vegetation, and provide landscaping and architecture, which is aesthetically pleasing, compatible or complementary to surrounding properties and acceptable by community standards.
 Meets *Does not meet*
8. The use will meet requirements of all regulating governmental agencies.
 Meets *Does not meet*
9. The use will conform to any conditions approved as part of the issued Special Use Permit.
 Meets *Does not meet*
10. The use will conform to the regulations established for specific special uses, where applicable.
 Meets *Does not meet*

In addition PUDs must also meet the standards in Section 4-500 C. Development Standards and 4-500 D. 1 Additional standards for Planned Unit Developments Residential PUDs.

1. Implements the vision and land use policies of the Comprehensive Plan.
 Meets *Does not meet*
2. Shall not result in substantial adverse effect on adjacent property, natural resources, infrastructure, public sites or other matter of public health, safety and welfare.
 Meets *Does not meet*
3. PUD's must provide transitional uses to blend with adjacent development.
 Meets *Does not meet*
4. PUD phases must be logically sequenced.
 Meets *Does not meet*
5. The density and intensity of a PUD shall be in accordance with the Comprehensive Plan.
 Meets *Does not meet*

6. All dimensional standards shall be listed within the PUD plan if they do not meet the Ordinance minimum standards.
 Meets *Does not meet*
7. The responsible parties for all on-site and other required public improvements shall be established and a utility plan indicating all proposed easements shall be provided.
 Meets *Does not meet*
8. Any private infrastructure shall comply with the city standards.
 Meets *Does not meet*
9. The PUD plan shall establish the responsibility of the applicant/developer.
 Meets *Does not meet*
10. A bond or letter of credit shall be posted to cover required fees or public improvements.
 Meets *Does not meet*

PLANNED UNIT DEVELOPMENT VARIATIONS

The purpose of Planned Unit Developments is to encourage and allow more creative and imaginative design of land developments than is possible under district zoning regulations. Planned Unit Developments are, therefore, intended to allow substantial flexibility in planning and designing a proposal. This flexibility is often in the form of relief from compliance with conventional zoning ordinance site and design requirements.

Ideally, this flexibility results in a development that is better planned, contains more amenities, and is ultimately more desirable than one that would have been produced through compliance with typical zoning ordinance and subdivision controls.

Therefore more lenient site requirements may be granted where the Planned Unit Development contains features not normally required of traditional developments. If the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation request be lessened or denied.

Specific variations as part of the PUD

1. Article 4-200 D 4 from the minimum number of spaces required at 9 spaces to allow 8 spaces, a variation of 1 space.
2. Article 4-200 H from the dimensional standards for parking spaces and aisles to allow 8-foot wide spaces and a 22.5-foot drive aisle. The required space is 9 feet wide. The required drive aisle is 24 feet wide.

Comprehensive Land Use Plan 2020 Vision Summary Review:

The Comprehensive Plan designates the subject property as Mixed-Use, which allows for a mix of commercial, office and residential uses. The following goals are applicable to this request:

Land Use: Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Encourage a diversity of housing types throughout the city, which satisfy wide-range needs for all persons regardless of age, race, religion, national origin, physical ability and economic level for existing and future city residents.

Success Indicator: Approval of multi-family residential development.

Housing: Multi-Family Housing

Goal: Provide an appropriate mix of multi-family housing to add density to appropriate areas and allow for mixed-use development.

This can be accomplished with the following supporting action:

Supporting Action: Promote the construction of a variety of multi-family housing products.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, the following conditions are recommended:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Ieremciuc, received 02/10/15)
 - B. Architectural Plans (Joseph A. Meyer, dated 04/29/15, received 04/30/15)
2. The petitioner shall apply for one (1) Z-lot pass per unit each year.
3. The building is required to be fully sprinklered and connected to the City's alarm system.
4. Maintain fire rating requirements between units, which would need to continue up through the attic, and the adjacent building.
5. The petitioner shall address all of the review comments and requirements of the Community Development, Fire Rescue, Police, and Public Works Departments.

2015 12

City of Crystal Lake Development Application

Office Use Only
File # _____

Project Title: _____

RECEIVED
FEB 10 2015
BY: _____

Action Requested

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Preliminary PUD |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Plat of Subdivision |
| <input type="checkbox"/> Conceptual PUD Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final PUD | <input checked="" type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Final PUD Amendment | <input checked="" type="checkbox"/> Variation |
| <input type="checkbox"/> Final Plat of Subdivision | <input type="checkbox"/> Other |

Petitioner Information

Name: GEORGE IEREMCIUC
 Address: SAME

 Phone: _____
 Fax: _____
 E-mail: _____

Owner Information (if different)

Name: TRUE NORTH RE HOLDINGS, LLC
- 95 GRANT SERIES
 Address: 5134 N HARLEM
HARWOOD HEIGHTS 60712
 Phone: 847 909 3838
 Fax: 847 972 1182
 E-mail: TNPFI@COMCAST.NET

Property Information

Project Description: REDEVELOPE/REMODEL EXISTING 1/2 STORY
OFFICE BUILDING 14TD 6 TWO BEDROOM APARTMENTS
W/TH PARKING

Project Address/Location: 95 GRANT STREET

PIN Number(s): 14-32-479-007

Development Team

Please include address, phone, fax and e-mail

Developer: TROE NORTH RE HOLDINGS LLC - 95 GRANT 847 909 3838

Architect: JOSEPH MEYER & ASSOCIATES 847 382 5758
TNP1@COMCAST.NET
MEYER-WICKMAY@SBCGLOBAL.NET

Attorney: _____

Engineer: VALVERSTAPPEL SURVEY & ENGINEERING, INCORPORATED
1316 NORTH MANASSAS ST. WOODSTOCK, IL 815-337-8310

Landscape Architect: _____

Planner: _____

Surveyor: VEST, VALVERSTAPPEL SURVEY/LLC

Other: _____

Signatures

[Handwritten Signature]

28/10/14

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

GEORGE JEREMCIC

28/10/14

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.

PUBLIC NOTICE

BEFORE THE PLANNING AND ZONING COMMISSION OF THE CITY OF CRYSTAL LAKE, MICHENRY COUNTY, ILLINOIS

IN THE MATTER OF THE PETITION
OF
George Ieremciuc

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance of the City of Crystal Lake, Illinois that a public hearing will be held before the Planning and Zoning Commission upon the application by George Ieremciuc, for a Preliminary and Final Planned Unit Development and Variations, relating to the property at 95 Grant Street in Crystal Lake, Illinois 60014. PIN: 14-32-479-007.

This application is filed for the purpose of seeking a Preliminary and Final Planned Unit Development to allow a multi-family dwelling with Variations from Article 4-200 D 4 from the required 9 spaces to allow 8 spaces, Article 4-200 H from the dimensional standards for parking spaces and aisles to allow 8-foot wide spaces and a 22.5-foot drive aisle, as well as any other variations as necessary, to approve the plans as presented to develop a 6-unit residential project, pursuant to Article 2-400 and Article 9-200. Plans for this project can be viewed at the Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday May 6, 2015, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
April 20, 2015.) NW 6391





**CRYSTAL LAKE PLANNING AND ZONING COMMISSION
WEDNESDAY, MARCH 4, 2015
HELD AT THE CRYSTAL LAKE CITY COUNCIL CHAMBERS**

The meeting was called to order by Chairman Hayden at 7:30 p.m. On roll call, members Esposito, Gavle, Goss, Greenman, Jouron, Skluzacek, and Hayden were present. Mr. Batastini was absent.

James Richter II, Planning and Economic Development Manager, Kathryn Cowlin, Planner, were present from Staff.

Mr. Hayden asked those in attendance to rise to say the Pledge of Allegiance. He led those in attendance in the Pledge.

Mr. Hayden stated that this meeting was being televised now as well as recorded for future playback on the City's cable station.

2014-48 95 GRANT STREET – PUBLIC MEETING

A motion is requested to set a public hearing date of March 18, 2015.

Rezoning; Preliminary and Final Planned Unit Development for a 6-unit residential conversion.

George Ieremcilic was present to represent his petition. Mr. Ieremcilic thanked staff for all of their help. He said this is a good location in the downtown area but the building is not appealing. The building is 1 ½ stories and in the rear there is a metal “shed-type” building. He is requesting to convert the building into a 6-unit apartment building. Mr. Ieremcilic said he will remove the metal structure and add parking. The building façade will remain about the same. He showed photos of the existing building and metal building in the rear.

Mr. Hayden asked if there was anyone in attendance who wished to speak on this matter. He added that there will be another opportunity to speak during the public hearing. There was no one in the public who wished to comment on this petition. The public portion was closed at this time.

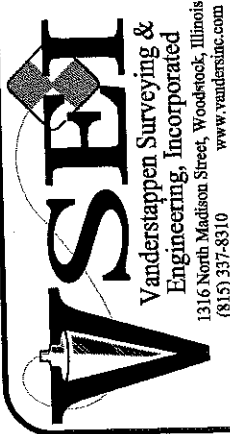
Mr. Richter said staff will provide a complete staff report for the public hearing. He said an office use in the downtown area would require 23 parking spaces. The proposed use would require less parking.

Mr. Goss asked if there would be any special requirements to allow housing on the first floor in the “B-4” zoning district. Mr. Richter said both the Building Division and Fire Rescue have been through the building. Mr. Goss asked about the residential use on Walkup. Mr. Richter said he would check into that.

Mr. Hayden asked if these units would be condos or rental apartments. Mr. Ieremcilic said it could be either, but he preferred apartments.

PLANNING AND ZONING COMMISSION
MARCH 4, 2015
PAGE 2

Mr. Goss moved to set a public hearing for 2014-48 95 Grant Street on March 18, 2015. Mr. Skluzacek seconded the motion. On roll call, all members voted aye. Motion passed.

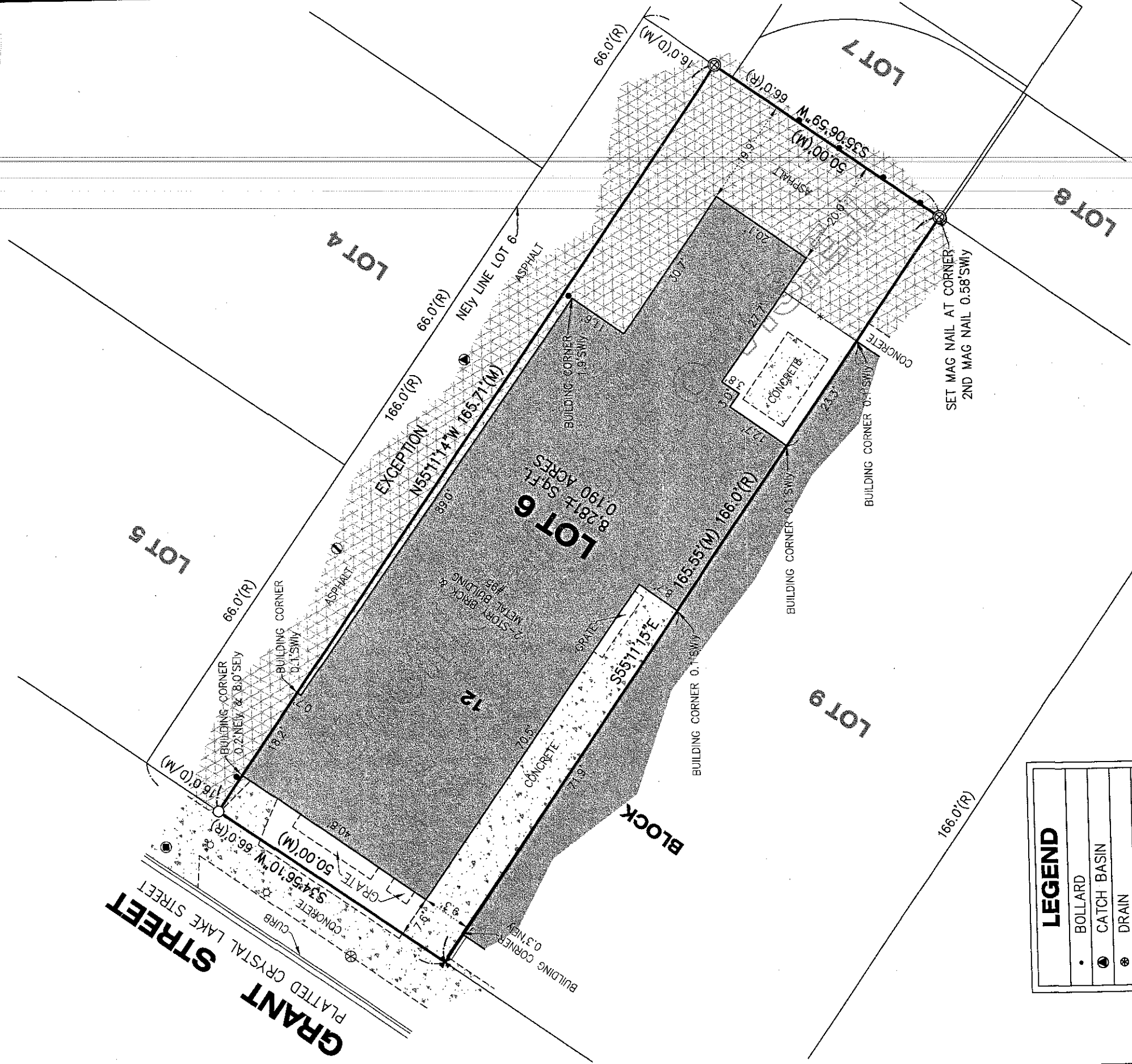


PLAT OF SURVEY

2014 19

Lot 6 (Excepting the Northeasterly 16 feet thereof) in Block 12 in the Original Plat of Nunda, being a part of the East Half of the Southeast Quarter of Section 32, Township 44 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof recorded August 13, 1868, in Book 43 of Deeds, page 296, in McHenry County, Illinois.

OCT 28 2014



LEGEND	
•	BOLLARD
⊙	CATCH BASIN
⊕	DRAIN
✱	FOUND CROSS
●	FOUND IRON BAR
○	FOUND IRON PIPE
⊗	FOUND MAG NAIL
☆	LIGHT
⊖	MANHOLE
⊗	SET MAG NAIL
⊕	STORM MANHOLE
⊕	WATER SERVICE VALVE

CLIENT: TRUE NORTH PROPERTIES
 DRAWN BY: AFG CHECKED BY: WJW
 SCALE: 1"=20' SEC. 32 T. 44 R. 8. E.
 BASIS OF BEARING: ASSUMED
 P.I.N.: 14-32-479-007
 JOB NO.: 140595 I.D. LSS
 FIELDWORK COMP.: 10/14/14 BK. PG.
 ALL DISTANCES SHOWN IN FEET AND DECIMAL REF.
 PARTS THEREOF CORRECTED TO 66 F.

STATE OF ILLINOIS) S.S.
 COUNTY OF McHENRY)

In my professional opinion and based on my observations, I hereby certify that we have surveyed the premises above described, and that the plat hereon is a true representation of said survey. This professional service conforms to the current Illinois minimum standards for a boundary survey.

Dated at Woodstock,
 McHenry County, Illinois 10/15 A.D., 2014.
 Vanderstappen Surveying & Engineering, Inc.
 Design Firm No. 184-002792

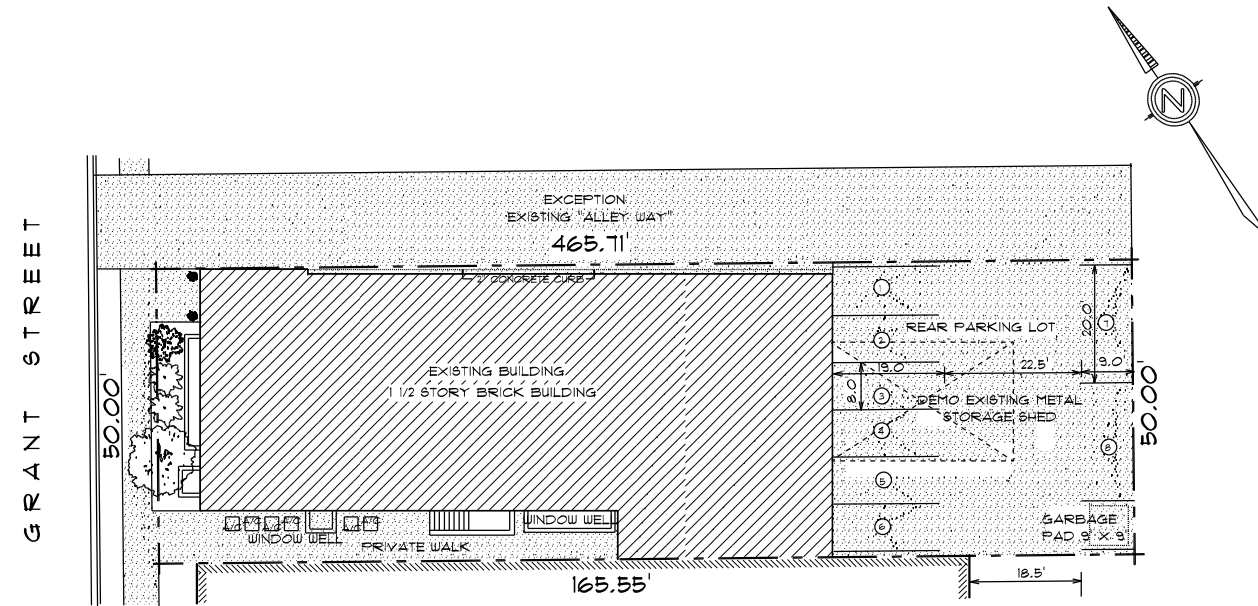
By: Illinois Professional Land Surveyor No. 2709

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.

- * No distance should be assumed by scaling.
- * No underground improvements have been located unless shown and noted.
- * No representation as to ownership, use, or possession should be hereon implied.
- * This Survey and Plat of Survey are void without original embossed or colored seal and signature affixed.
- * Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

PROPOSED BUILDING REMODEL FOR:
MR. GEORGE IEREMCIUC

95 GRANT STREET CRYSTAL LAKE ILLINOIS



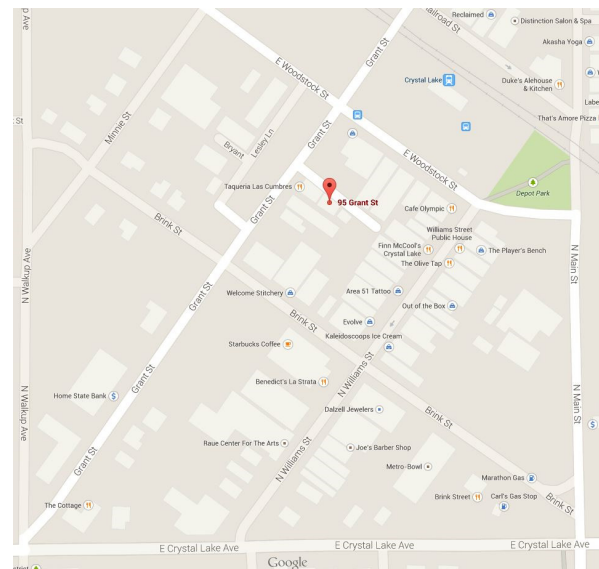
PROPOSED SITE PLAN
 SCALE 1" = 15'-0"

PARKING CALCULATIONS
 6 UNITS X 1.5 = 9 REQUIRED
 8 PARKING STALLS PROPOSED

SHEET INDEX	
SHEET NUMBER	SHEET DESCRIPTION
C8	INDEX / LOCATION MAP / SITE PLAN
A1	EXISTING + DEMOLITION PLAN
A2	LOWER LEVEL PLAN / DOOR SCHEDULE
A3	UPPER LEVEL PLAN / NOTES
A4	ROOF PLAN
A5	DETAILS + SECTIONS / FINISHES
A6	BUILDING ELEVATIONS
A7	BUILDING ELEVATIONS
A8	EGRESS PLANS
E1	ELECTRIC LOWER LEVEL PLAN
E2	ELECTRIC UPPER LEVEL PLAN
P1	PLUMBING DIAGRAMS / NOTES

CRYSTAL LAKE CODE
<ul style="list-style-type: none"> • 2006 Edition of the International Building Code • 2006 Edition of the International Residential Code • 2006 Edition of the International Fire Code • 2006 Edition of the International Mechanical Code • 2006 Edition of the International Fuel Gas Code • 2006 Edition of the International Property Maintenance Code • 2014 Edition of the International Plumbing Code • 2005 Edition of the National Electric Code • 2012 Edition of the International Energy Conservation Code • 1997 Illinois Accessibility Code • 2000 Edition of the NFPA Life Safety Code

BUILDING NOTES
ZONED B-4 BUILDING CLASSIFIED AS R-2 OCCUPANCY BUILDING TO HAVE DESIGNED SPRINKLER SYSTEM BUILDING CONSTRUCTION TYPE IB FIRST FLOOR 4,632 SQ. FT. LOWER LEVEL 4,381 SQ. FT.



LOCATION MAP NO SCALE



AERIAL IMAGE NO SCALE



STREET ELEVATION NO SCALE

SIGNED:

STRUCTURAL ENGINEER LICENSE NO. 081-002641

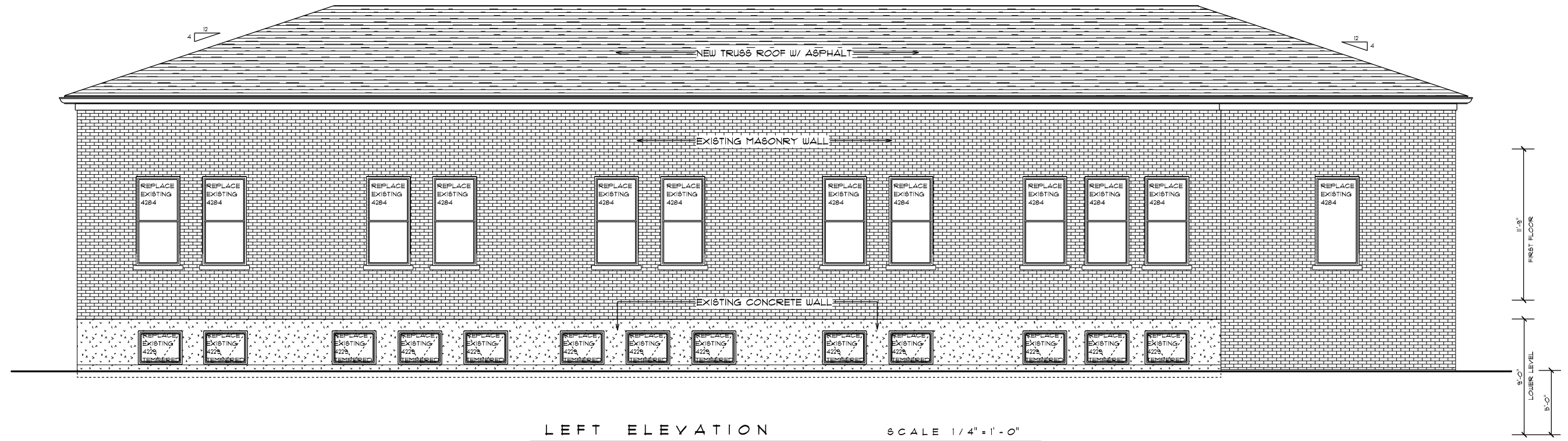
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CITY OF CRYSTAL LAKE.

JOSEPH A. MEYER
 STRUCTURAL & PROFESSIONAL ENGINEER
 135 PARK AVE. BARRINGTON IL. 60010 847-382-0200

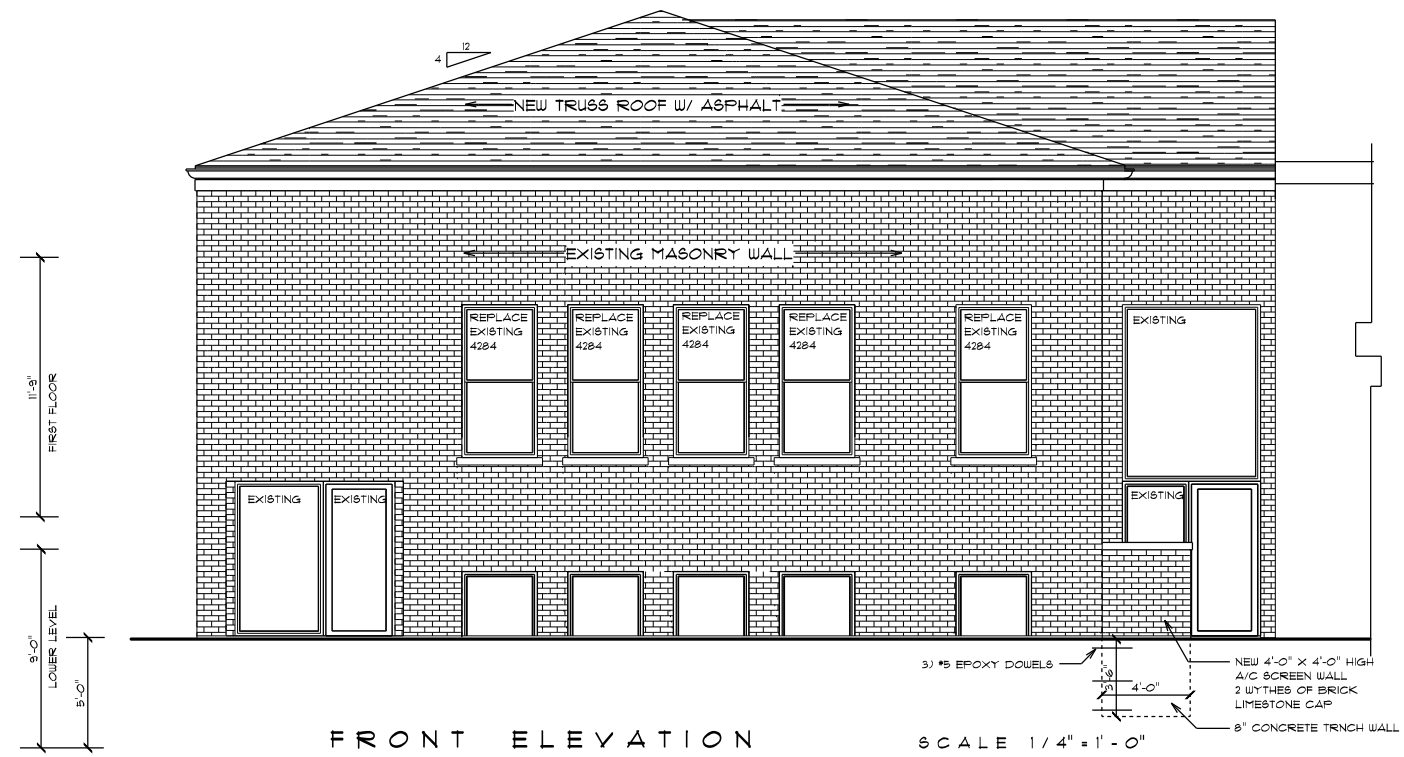
PROPOSED REMODEL FOR:
MR. GEORGE IEREMCIUC
 95 GRANT STREET CRYSTAL LAKE ILLINOIS 60014

DATE
 OCT 27, 2014
 APR 15, 2015
 APR 29, 2015
 REVISION

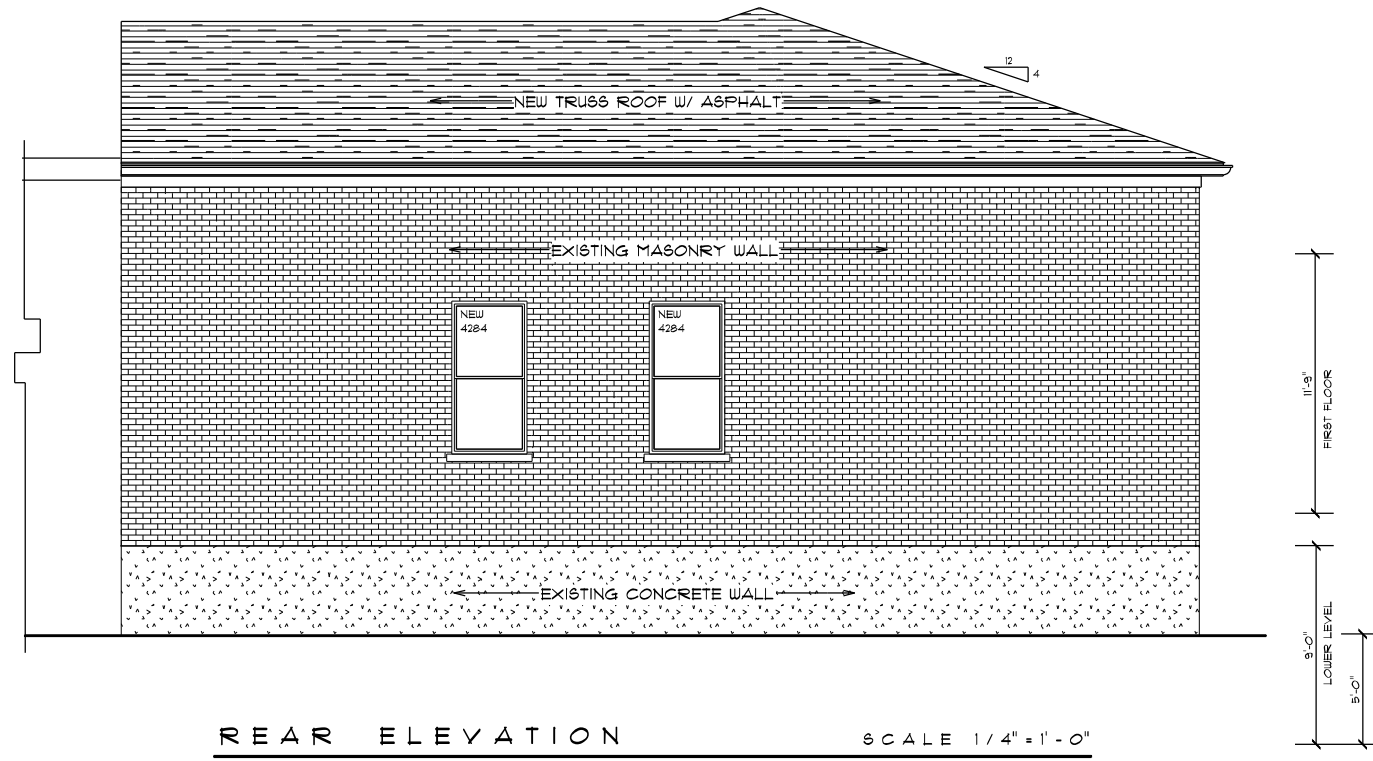
JOB #
 SHEET #
CS



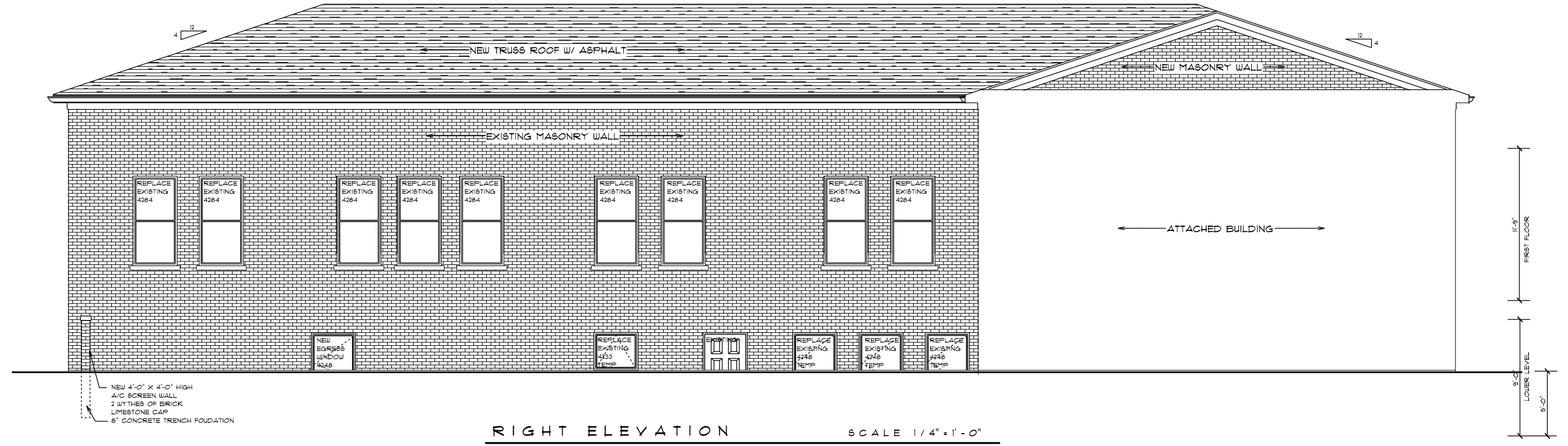
LEFT ELEVATION SCALE 1/4" = 1'-0"



FRONT ELEVATION SCALE 1/4" = 1'-0"



REAR ELEVATION SCALE 1/4" = 1'-0"



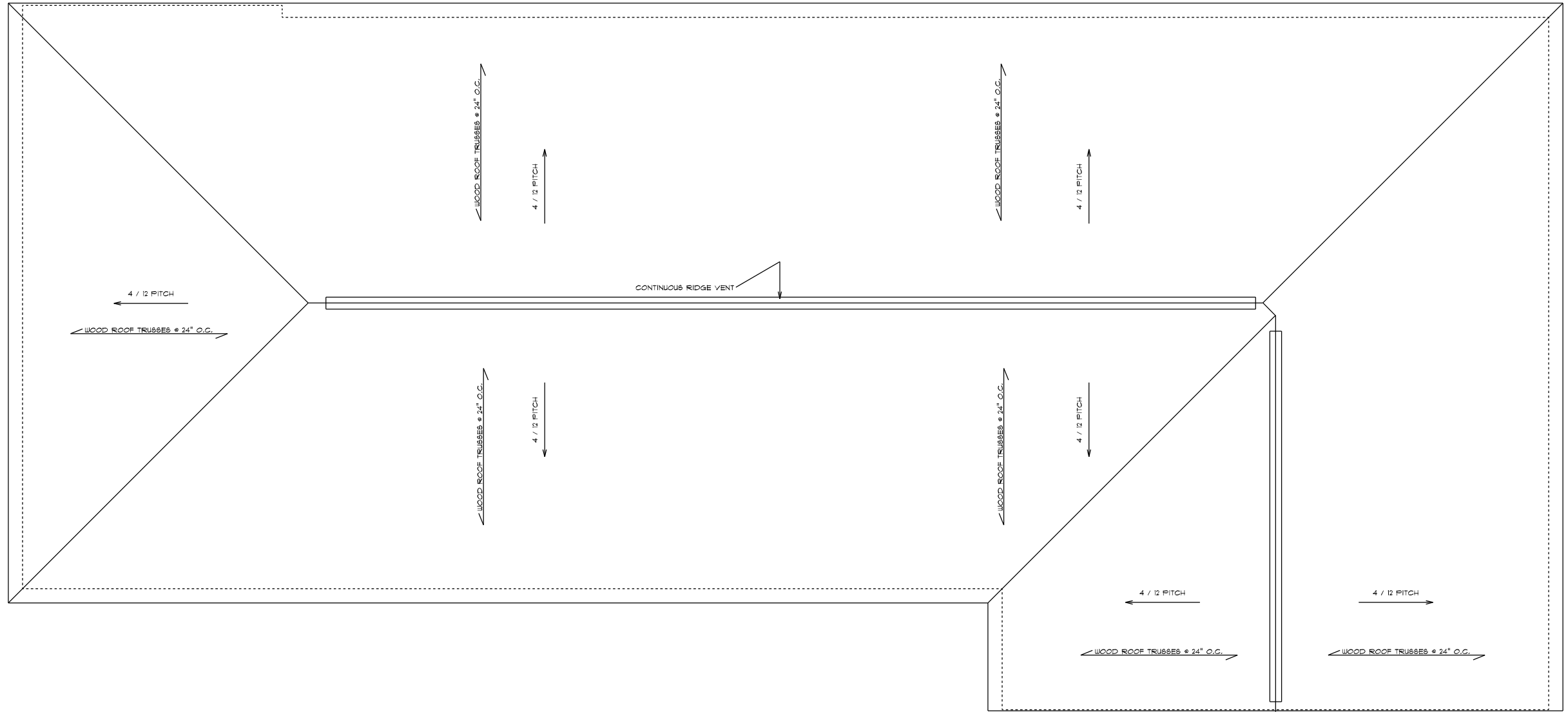
RIGHT ELEVATION SCALE 1/4" = 1'-0"

JOSEPH A. MEYER
 STRUCTURAL & PROFESSIONAL ENGINEER
 135 PARK AVE. BARRINGTON IL. 60010 847-982-0200

PROPOSED REMODEL FOR:
MR. GEORGE IEREMCIUC
 95 GRANT STREET CRYSTAL LAKE ILLINOIS 60014

DATE
 OCT 27, 2014
 APR 15, 2015
 REVISION

JOB #
 SHEET #
A7



PROPOSED ROOF PLAN

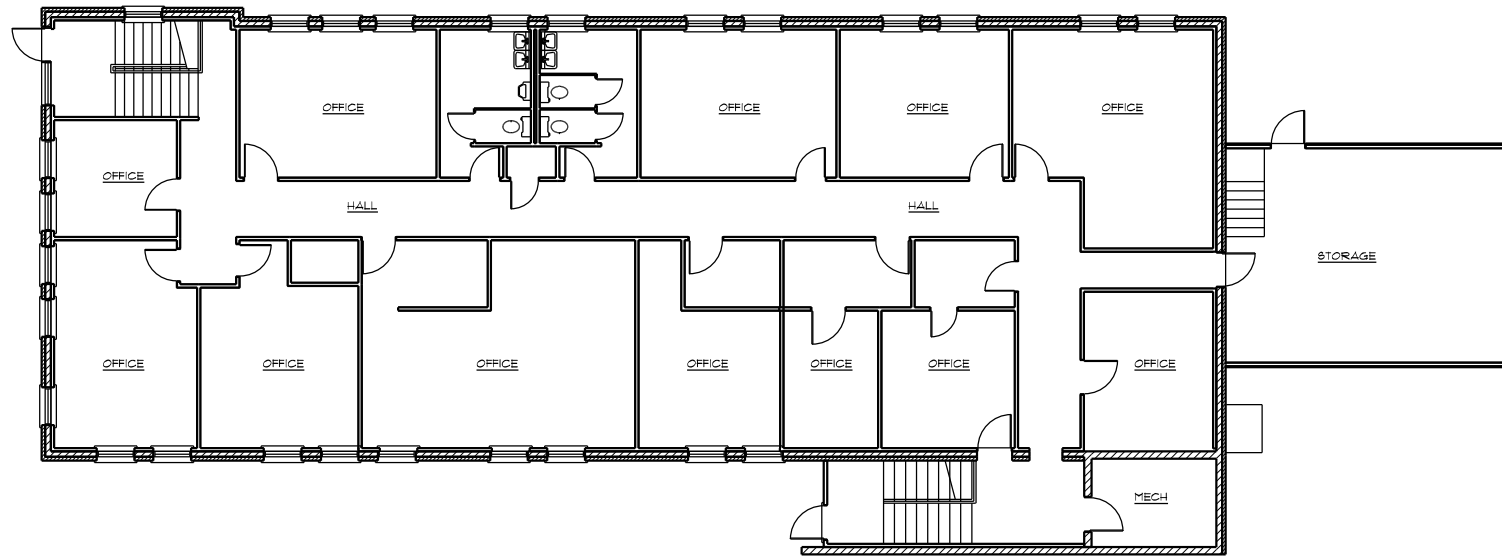
SCALE 1/4" = 1'-0"

ROOF NOTES:

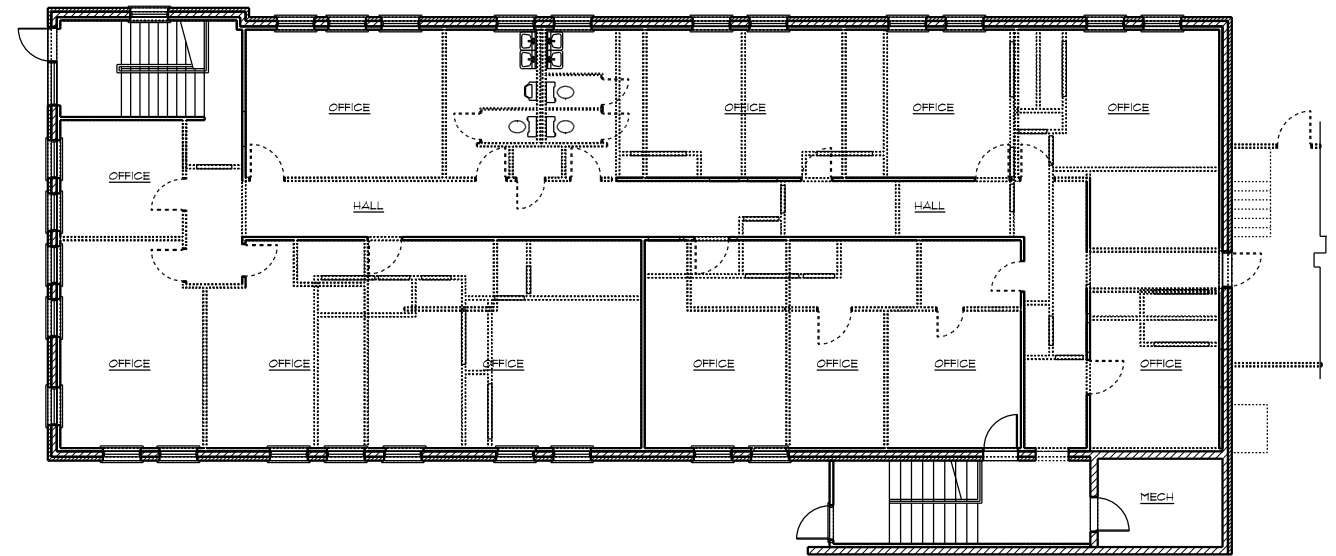
ICE AND WATER SHIELD: 2 LAYERS OF UNDERLAYMENT SHALL EXTEND A MIN OF 24" FROM THE INTERIOR SIDE OF THE WALL BENEATH

PRE-ENGINEERED ROOF TRUSSES BY MANUFACTURER DESIGN TO BE SEALED BY A LICENSED ILLINOIS STRUCTURAL ENGINEER

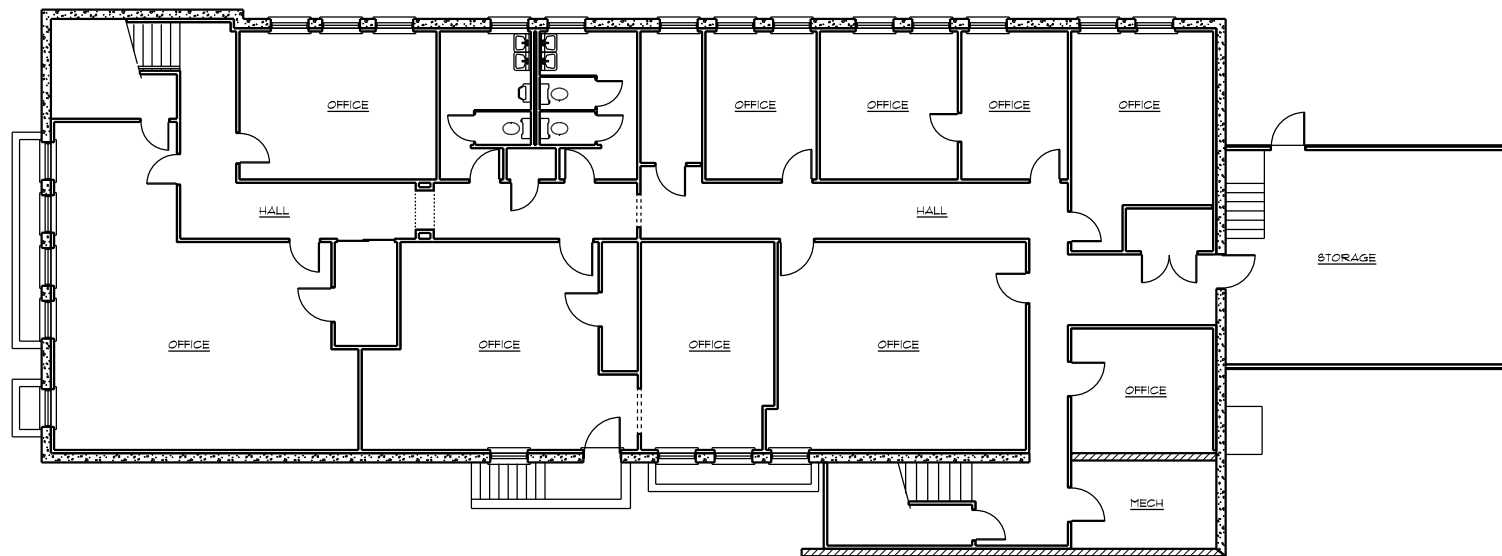
ALL RAIN WATER FROM ALL BUILDING OR STRUCTURAL ROOFS SHALL BE COLLECTED BY GUTTERS OR DRAINPIPES WHICH DISCHARGE INTO DOWNSPOUTS ONTO A HARD SURFACE.



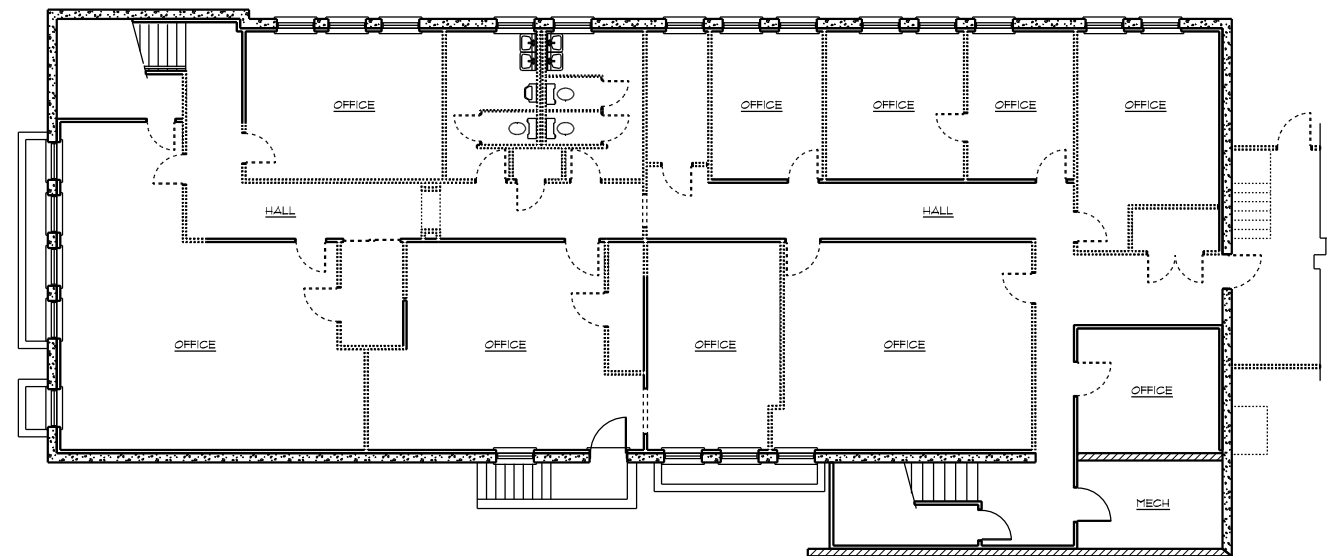
EXISTING FIRST FLOOR PLAN SCALE 1/8" = 1'-0"



DEMO FIRST FLOOR PLAN SCALE 1/8" = 1'-0"



EXISTING LOWER LEVEL PLAN SCALE 1/8" = 1'-0"



DEMO LOWER LEVEL PLAN SCALE 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. THIS PROJECT IS A RENOVATION OF AN EXISTING FACILITY AND INFORMATION IS TAKEN FROM CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS AND FIELD INVESTIGATIONS. IT SHOULD BE UNDERSTOOD BY THE BIDDING CONTRACTORS THAT UNFORSEEN CONDITIONS PROBABLY EXIST AND AS SUCH THE CONTRACTORS SHALL TAKE EXTRA STEPS DURING BIDDING TO FULLY DETERMINE AND UNDERSTAND THE FULL SCOPE OF THE WORK REQUIRED TO SUCCESSFULLY COMPLETE THE PROJECT.
2. PROTECT EXISTING TO REMAIN BUILDING COMPONENTS FROM DAMAGE DURING DEMOLITION AND NEW INSTALLATION. ANY REPAIRS REQUIRED OF BUILDING COMPONENTS DAMAGED DURING DEMOLITION AND / OR INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPAIRS SHALL MATCH THE SURROUNDING CONSTRUCTION METHODS AND FINISHES.
3. REMOVE ALL MECHANICAL AND ELECTRICAL INSTALLATION FROM PROJECT AREA, UNLESS REQUIRED FOR NEW WORK OR EXISTING INSTALLATION NOT AFFECTED BY REMODEL.
4. SERVICES TO ITEMS NOT REMOVED AS PART OF THIS WORK SHALL BE RESTORED UPON COMPLETION OF THIS WORK TO FULLY OPERATIONAL CONDITION.
5. NOT ALL ITEMS REQUIRED TO BE DEMOLISHED MAY BE INDICATED ON DRAWINGS. ALL DEMOLITION OF AFFECTED SPACE SHALL BE PERFORMED AS IF INDICATED.
6. DELIVER DEMOLISHED EQUIPMENT, WIRING, ETC. TO OWNER OR DISPOSE OF, AS DIRECTED BY OWNER.
7. FIELD VERIFY EXACT LOCATION OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT INDICATED ON DRAWINGS.
8. COORDINATE DEMOLITION WITH PROJECT PHASING AND PROVIDE TEMPORARY SERVICES TO PARTS OF BUILDING REMAINING OCCUPIED AS REQUIRED.

ELECTRICAL DEMOLITION NOTES

1. REMOVE ALL NM, BX, MC, AC AND OTHER CABLE SYSTEMS AND WIRING FOR ALL ABANDONED CIRCUITS.
2. REMOVE ALL ABANDONED CONDUITS ABOVE LAY-IN CEILINGS, EXPOSED CONDUITS, FLEXIBLE CONDUITS, SURFACE RACEWAY, SURFACE MOUNTED OUTLET/JUNCTION BOXES AND EQUIPMENT UNLESS NOTED OTHERWISE.
3. WHERE ABANDONED FEEDERS AND BRANCH CIRCUITS ARE CONCEALED WITHIN WALLS, FLOORS AND HARD CEILINGS THAT ARE TO REMAIN, REMOVE ALL WIRING AND CAP CONDUITS AT BOTH ENDS.
4. WHERE ABANDONED OUTLET AND JUNCTION BOXES ARE RECESSED FLUSH IN WALLS, FLOORS AND HARD CEILINGS THAT ARE TO REMAIN, REMOVE ALL WIRING AND WIRING DEVICES AND PROVIDE BLANK STAINLESS STEEL COVERPLATES FOR BOXES 6"x6" AND SMALLER; REMOVE BOXES LARGER THAN 6"x6" AND PATCH SURFACE TO MATCH EXISTING. COORDINATE WITH ARCHITECT FOR FINAL DIRECTION.
5. ALL EQUIPMENT, FIXTURES, RACEWAY, WIRING AND DEVICES WHICH ARE REMOVED SHALL BE REMOVED FROM THE JOB SITE BY THIS CONTRACTOR, UNLESS DIRECTED OTHERWISE BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. CONFORM TO ALL LAWS AND ORDINANCES IN EFFECT CONCERNING THE PROPER DISPOSAL OF LUMINAIRES AND LAMPS.
6. COORDINATE THE REMOVAL OF MECHANICAL AND PLUMBING EQUIPMENT WITH THE MECHANICAL AND PLUMBING CONTRACTORS. ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ELECTRICAL POWER AND CONTROL CIRCUITS FOR EQUIPMENT BEING REMOVED. REMOVE ALL ELECTRICAL EQUIPMENT ASSOCIATED WITH DEMOLISHED MECHANICAL AND PLUMBING EQUIPMENT (DISCONNECT SWITCHES, MOTOR STARTERS, RELAYS, ETC.).
7. PRIOR TO REMOVING DEMOLISHED LIGHT FIXTURES FROM SITE, ALLOW OWNER'S REPRESENTATIVE TO DETERMINE IF FIXTURES SHALL BE SALVAGED BY THE OWNER. PROPERLY DISPOSE OF ALL FIXTURES NOT SALVAGED BY OWNER.

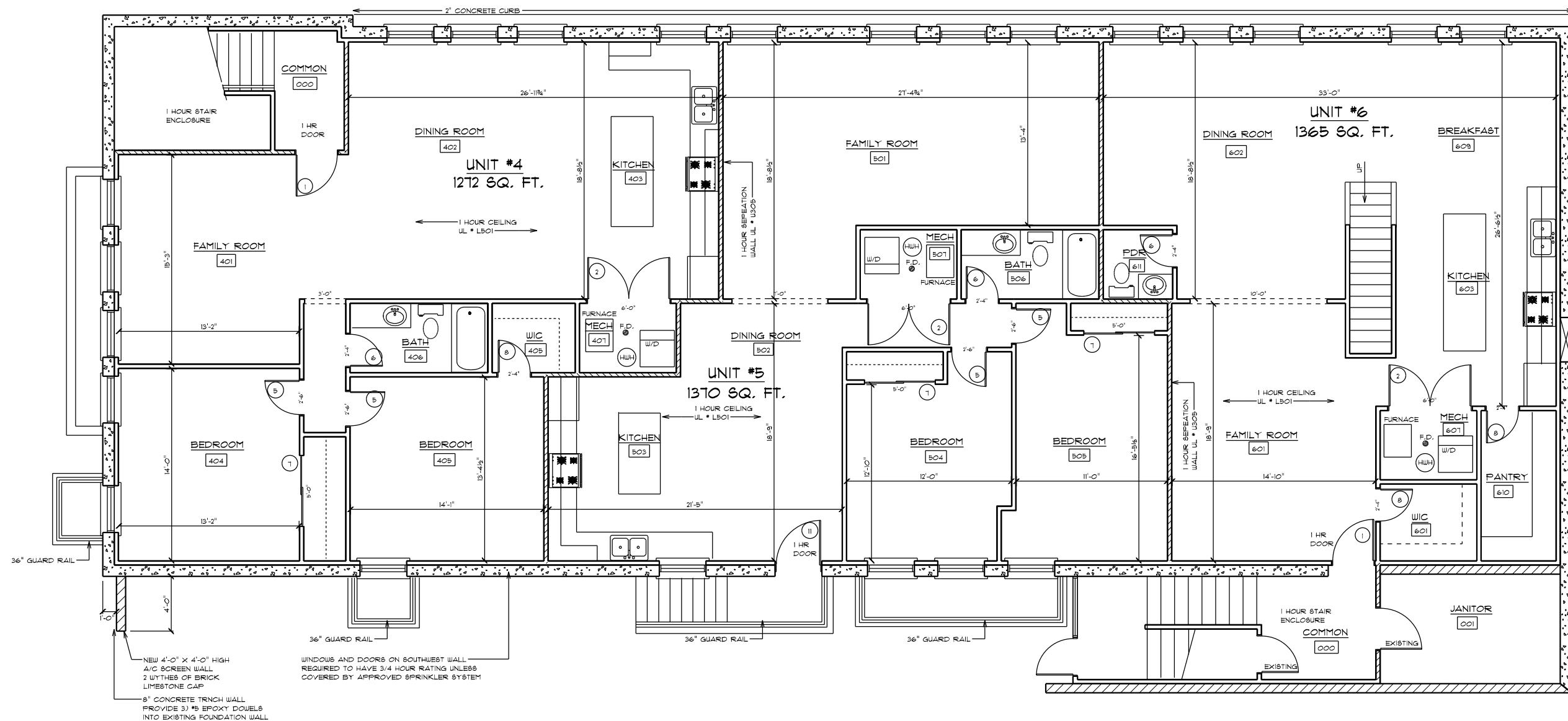
PLUMBING DEMOLITION NOTES

1. FIELD VERIFY POINTS OF NEW CONNECTION TO EXISTING PRIOR TO PERFORMING WORK AND/ OR PURCHASING MATERIALS.
2. ALL DRAINAGE AND VENT PIPING REMOVAL SHALL BE PERFORMED SUCH THAT NO "DEAD ENDS" EXIST WHEN DEMOLITION IS COMPLETE.
3. REMOVE ALL PORTIONS OF PIPING EXPOSED DURING DEMOLITION. ANY EXPOSED PIPING NOT REQUIRED TO STAY IN OPERATION SHALL HAVE THE EXPOSED PORTION REMOVED AND OPEN PIPE ENDS CAPPED OFF AT CONCEALED LOCATIONS. PIPING REQUIRED TO REMAIN IN SERVICE SHALL HAVE THE EXPOSED PORTION REMOVED AND NEW PIPING ROUTED IN CONCEALED LOCATION AND RE-CONNECTED TO THE OPEN ENDS OF THE EXISTING PIPING TO REMAIN.
4. SAWCUT CONCRETE FLOOR SLAB AS REQUIRED / REQUESTED BY VILLAGE FOR ALL UNDERGROUND PIPING DEMOLITION. PATCH FLOOR SLAB AS NEEDED USING APPROVED METHODS AFTER VILLAGE APPROVAL OF FINAL DEMOLITION INSPECTION.

MECHANICAL DEMOLITION NOTES

1. ALL PIPING TAKEN OUT OF SERVICE SHALL BE REMOVED. WHERE PIPING TO BE REMOVED IS CONNECTED TO EXISTING PIPING TO REMAIN, PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED, UNLESS INDICATED OTHERWISE.
2. ALL DUCTWORK TAKEN OUT OF SERVICE SHALL BE REMOVED.
3. WHERE MECHANICAL PENETRATIONS IN AN EXTERIOR WALL AND/OR ROOF ARE TO BE TAKEN OUT OF SERVICE, COORDINATE INFILL OF EXTERIOR WALL AND/OR PATCHING OF ROOF WITH G.C.
4. COORDINATE CUTTING, PATCHING OF EXISTING WALLS, CEILINGS, AND FLOORS AFFECTED BY MECHANICAL DEMOLITION WITH G.C.
5. RELOCATE EXISTING THERMOSTATS AS REQUIRED FOR NEW SPACE CONFIGURATION. FIELD VERIFY EXACT LOCATIONS AND FUNCTIONS OF EXISTING THERMOSTATS. MODIFY INSTALLATION AS REQUIRED FOR NEW WORK.

DATE OCT 27, 2014
APR 15, 2015
APR 29, 2015



PROPOSED LOWER LEVEL PLAN SCALE 1/4" = 1'-0"

ALL EXTERIOR WALLS EXISTING 3 HOUR
 ALL THROUGH PENETRATIONS TO HAVE 1 HOUR RATING
 USE SYSTEMS (NO. WL-1023)(NO. WL-1030)(NO. WL-1031) FOR MECHANICAL
 USE SYSTEMS (NO. F-C-1024)(NO. WL-1311)(WL-2315) FOR PLUMBING

HARDWARE NOTES

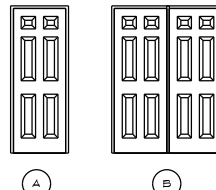
HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. HARDWARE ON ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR. ALL DOOR LOCKSETS/ PASSAGE TO HAVE LEVER TYPE OR PUSH PULLS TO CONFORM TO THE ADA ACCESSIBILITY STANDARDS.

METAL DOOR NOTES:

ALL HOLLOW METAL DOORS 1 3/4" THICK, PRIME PAINTED FINISH
 ALL THRESHOLDS TO BE ADA COMPLIANT
 ALL HINGES TO BE 1 1/2" BALL BEARING HINGES U.N.O.
 ALL HINGES TO HAVE SQUARE EDGES U.N.O.
 ALL STOPS TO BE PROVIDED ON ALL DOORS WITHOUT CLOSERS
 ALL NEW LOCKSETS SHALL BE MANUF. BY SCHLAGE U.N.O.
 ALL CLOSERS TO BE MANUF. BY COMPANIES LISTED BELOW
 ALL HARDWARE TO HAVE A SATIN CHROME FINISH (S260)
 ALL EXTERIOR DOORS TO HAVE BRUSH TYPE DOOR SWEEPS U.N.O.

MANUFACTURERS:

HANDLES, PULLS, LATCHES & LOCKS		CLOSERS		HINGES (HEAVY WEIGHT, BALL BEARING)	
CORBIN	99 SERIES	NORTON	7500 SERIES	STANLEY	HAGER
RUSSWIN	100 APEX SERIES	L.C.N.	4040 SERIES	FISH/PULL - KICKPLATES	HAGER
SCHLAGE	100 SERIES	YALE	4400 SERIES	ROCKWOOD	QUALITY
YALE	100 SERIES			DOOR STOP, FLUSH BOLTS, MISC. ACCESSORIES	HAGER

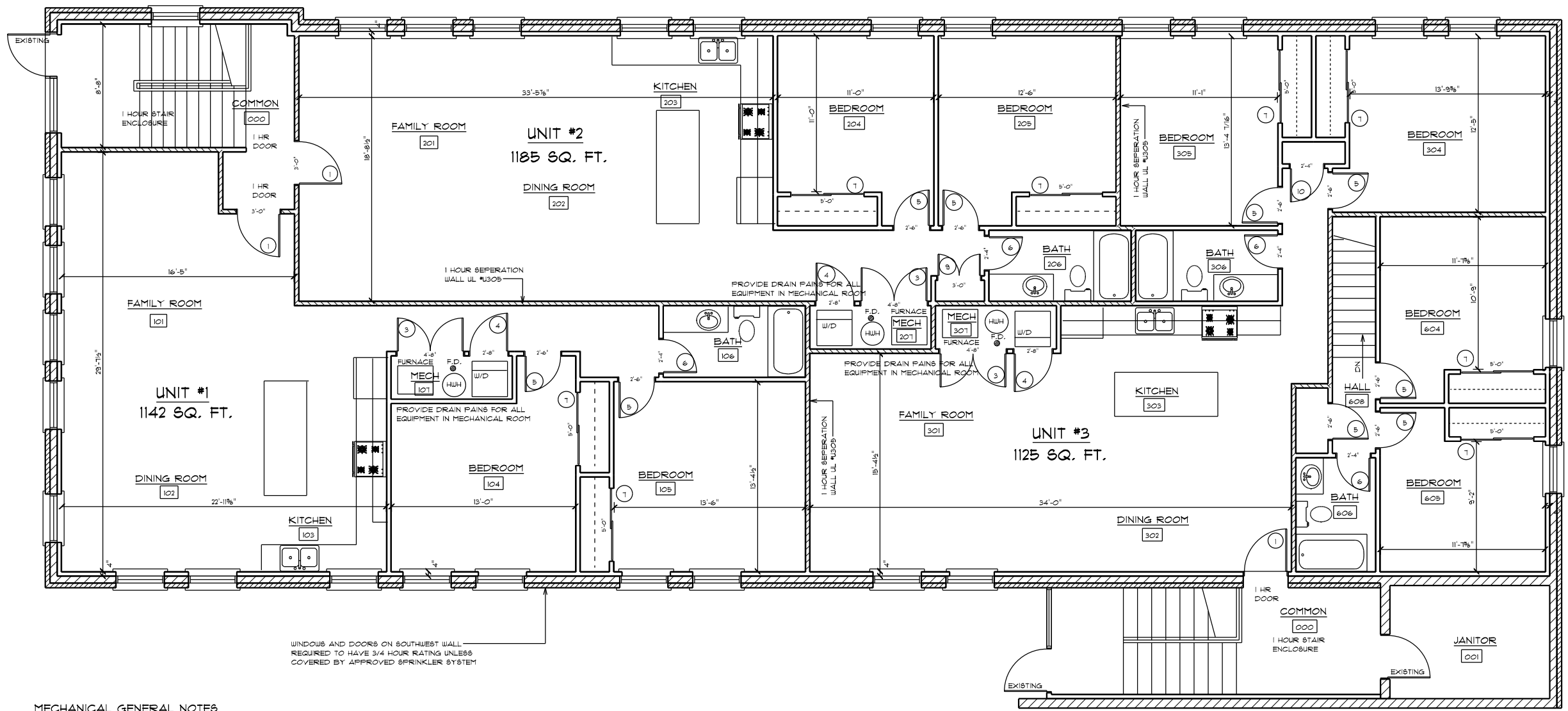


DOOR ELEVATION STYLES

DOOR SCHEDULE

MARK	SIZE	MATERIAL	TYPE	DEAD BOLT	EXIT HARDWARE	CLOSER	KICK PLATE	REMARKS
1	3'-0" X 6'-8"	S. WOOD	A	YES	NO	YES	YES	SOLID WOOD FRAME 1 HOUR RATED, DEAD BOLT LOCK SET / LEVERED PASSAGE
2	6'-0" X 6'-8"	H. WOOD	B	NO	NO	NO	NO	PAIR DOOR, LEVERED PASSAGE
3	4'-6" X 6'-8"	H. WOOD	B	NO	NO	NO	NO	PAIR DOOR, LEVERED PASSAGE
4	2'-8" X 6'-8"	H. WOOD	A	NO	NO	NO	NO	LEVERED PASSAGE
5	2'-6" X 6'-8"	H. WOOD	A	NO	NO	NO	NO	LOCK SET / LEVERED PASSAGE
6	2'-4" X 6'-8"	H. WOOD	A	NO	NO	NO	NO	LOCK SET / LEVERED PASSAGE
7	5'-0" X 6'-8"	H. WOOD	B	NO	NO	NO	NO	SLIDING DOORS
8	2'-4" X 6'-8"	H. WOOD	A	NO	NO	NO	NO	LEVERED PASSAGE
9	3'-0" X 6'-8"	H. WOOD	B	NO	NO	NO	NO	LEVERED PASSAGE
10	2'-4" X 6'-8"	H. WOOD	A	NO	NO	NO	NO	LEVERED PASSAGE
11	3'-0" X 6'-8"	H. MTL	A	YES	NO	YES	YES	H. METAL FRAME, 1 HOUR RATED, EXTERIOR LOCK SET / LEVERED PASSAGE / DEAD BOLT

FOR BULLETPROOF REINFORCED DOORS, HARDWARE BY DOOR MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS



WINDOWS AND DOORS ON SOUTHWEST WALL
REQUIRED TO HAVE 3/4 HOUR RATING UNLESS
COVERED BY APPROVED SPRINKLER SYSTEM

MECHANICAL GENERAL NOTES

1. CONTRACTORS SHALL VISIT JOB SITE PRIOR TO BIDDING AND VERIFY ALL EXISTING CONDITIONS IN FILED AND INCORPORATE ALL REQUIRED CHANGES IN HIS BID TO PROVIDE A COMPLETE OPERATING SYSTEM. FAILURE TO DO SO SHALL NOT RELIEVE CONTRACTOR FROM PERFORMING THE WORK REQUIRED UNDER THIS CONTRACT. CONTRACTOR SHALL MAKE A DETAILED EXAMINATION OF ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED AND SHALL EXAMINE PIPING, CONDUITS, STRUCTURAL SUPPORTING BEAMS, ETC.
2. WHERE THE EXISTING PIPING OR DUCTWORK SERVING ANY EXISTING MECHANICAL EQUIPMENT IN AREA OF THE EXISTING BUILDING NOT BEING ALTERED IS INTERFERED WITH, CONTRACTOR SHALL REROUTE AND RECONNECT ALL SUCH PIPES OR DUCTWORK.
3. EVERY EFFORT HAS BEEN MADE TO LOCATE, IDENTIFY AND IN SOME CASES, INDICATE THE SIZES FOR EXISTING BUILDING UTILITIES AND SYSTEMS. HOWEVER, NOT EVERY FURNITURE, PIPE, DUCT, CONDUIT, ETC. REQUIRED TO BE REMOVED OR RELOCATED IS NECESSARILY SHOWN OR KEY NOTED. THE CONTRACTOR SHALL REMOVE OR RELOCATE EXISTING ITEMS AS REQUIRED TO ACHIEVE THE INTENT OF THE DOCUMENTS OR TO ACCOMMODATE NEW FIXTURES, PIPE, DUCT, CONDUIT, ETC., AS INDICATED BY THE DOCUMENTS AT NO ADDITIONAL COST TO OWNER REFER ALSO TO ALL OTHER SHEETS IN THIS SET OF DOCUMENTS FOR RELATED INFORMATION.
4. THE ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIONAL AND ACCEPTANCE BY THE OWNER/ENGINEER SHALL BE A CONDITION OF THE CONTRACT.
5. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCE, PRESERVE HEADROOM, AVOID OMISSION AND COORDINATE DIFFUSER LOCATIONS WITH REFLECTIVE CEILING PLAN.
6. DUCTWORK AND PIPING SHALL BE CONCEALED WHERE POSSIBLE, RUN IN STRAIGHT LINES PARALLEL AND/OR PERPENDICULAR TO THE BUILDING CONSTRUCTION AS HIGH AS POSSIBLE.
7. THIS CONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE THE WORK INCLUDING MOVING AND RIGGING OF MATERIALS AND EQUIPMENT, HANGERS, SUPPORTS, STRUCTURAL FRAMING CHANGES, ANCHORS, INCLUDING FIRE DAMPERS AS REQUIRED BY LOCAL CODES, FITTINGS, SLEEVES AND DRAIN PIPING.
8. ALL MATERIAL, WORKMANSHIP AND EQUIPMENT SHALL BE GUARANTEED FOR ONE YEAR AFTER SYSTEM ACCEPTANCE. PROVIDE TYPEWRITTEN OPERATING INSTRUCTIONS AND EQUIPMENT WARRANTIES. AS A PART OF THIS CONTRACT, THE CONTRACTOR SHALL PROVIDE A ONE YEAR SERVICE AND MAINTENANCE AGREEMENT.
9. FLEXIBLE DUCTWORK SHALL BE UL 181 TYPE AS APPROVED BY CODE AND SHALL HAVE MAXIMUM LENGTH OF 9'-0" AS MANUFACTURED BY THE MANUFACTURER.
10. ALL DUCTWORK SHALL BE CONSTRUCTED WITH GALVANIZED SHEET METAL IN ACCORDANCE WITH STATE AND LOCAL CODES, ASHRAE STANDARDS, SMACNA STANDARD AND NFPA.
11. ALL DUCTWORK PENETRATING A DESIGNATED SMOKE OR SMOKE/FIRE WALL SHALL BE FURNISHED WITH UL APPROVED MOTORIZED SMOKE DAMPERS.
12. ELECTRICAL CONTRACTOR AND MECHANICAL CONTRACTOR SHALL COORDINATE LOCATION OF SMOKE DETECTORS SO THAT ALL DETECTORS ARE LOCATED BEYOND THE CODE PRESCRIBED SEPARATION FROM ANY SUPPLY OR RETURN DIFFUSER/REGISTER.
13. COORDINATE ALL SYSTEM SHUTDOWNS WITH BUILDING OWNERS WORKING DAYS IN ADVANCE.

PROPOSED UPPER LEVEL PLAN SCALE 1/4" = 1'-0"

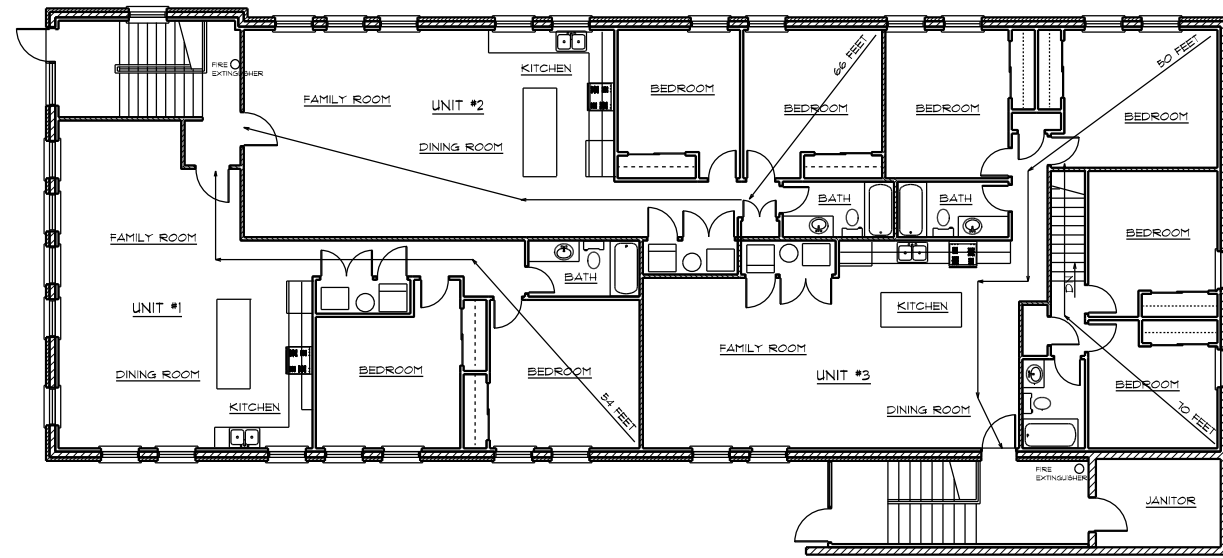
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EXHAUST NOTES

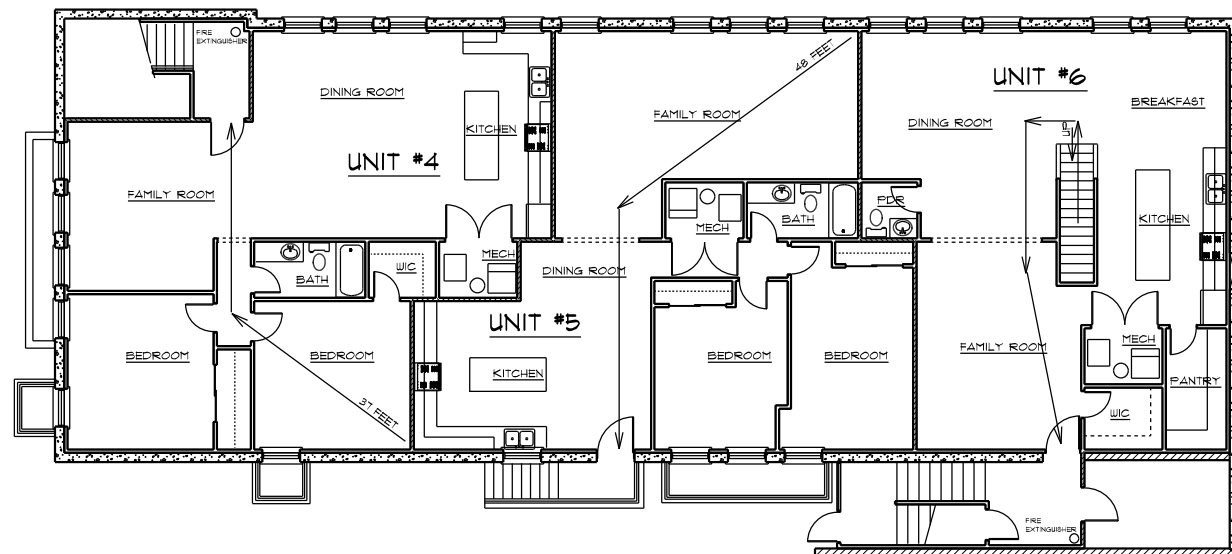
ALL RESTROOMS EXHAUST FANS ARE TO BE DUCTED TO THE BUILDING EXTERIOR AND INSTALLED PER MANUFACTURERS SPECIFICATIONS

MECHANICAL CONTRACTOR NOTES:

ALL WORK TO BE DONE IN KEEPING WITH THE CITY OF CRYSTAL LAKE CODE REQUIREMENTS.
ACTUAL LOCATION AND ROUTING OF PIPES AND DUCTS ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR SPACE REQUIREMENTS AND INTERFACE. INSTALL VALVES IN ACCESSIBLE LOCATIONS OR PROVIDE ACCESS DOORS FOR EASY ACCESS.
VENTILATION SYSTEMS SHALL BE BALANCED BY AN APPROVED METHOD. SUCH BALANCING SHALL VERIFY THAT THE BALANCED SYSTEM IS CAPABLE OF SUPPLYING THE AIR FLOW RATES REQUIRED BY IMC, SECTION 403. PROVIDE A COPY OF THE BALANCE TEST REPORT PRIOR TO THE FINAL MECHANICAL INSPECTION.



EGRESS UPPER FLOOR PLAN
SCALE 1/8" = 1'-0"



EGRESS LOWER LEVEL PLAN
SCALE 1/8" = 1'-0"