



#2015-30 330 E. Crystal Lake Ave (Gibson)–Variation Project Review for Planning and Zoning Commission

<u>Meeting Date:</u>	June 3, 2015
<u>Request:</u>	Variation from Article 3-200 from the minimum side yard setback requirement to allow a 2-foot encroachment for a detached garage.
<u>Location:</u>	330 E. Crystal Lake Ave
<u>Acreage:</u>	~13,411 square feet
<u>Existing Zoning:</u>	R-2 (Single Family Residential)
<u>Surrounding Properties:</u>	North: R-2 (Single Family Residential) South: R-1 (County Single Family Residential) East: R-2 (Single Family Residential) West: R-2 (Single Family Residential)
<u>Staff Contact:</u>	Kathryn Cowlin (815.356.3798)

Background:

- **Existing Use:** The property is currently improved with a single-family home and a detached garage that is located one foot from the property line. The property utilizes an existing septic system, the septic tank is located behind the principal structure.
- **Background:** The petitioner would like to remove the existing detached garage and construct a new detached garage 3 feet from the side property line. The existing detached garage is located 1-foot from the property line. The new garage would reduce the encroachment in the side yard setback, but still require a variation.
- **UDO Requirements:** The minimum side yard setback for accessory structures is 5 feet.

Development Analysis:

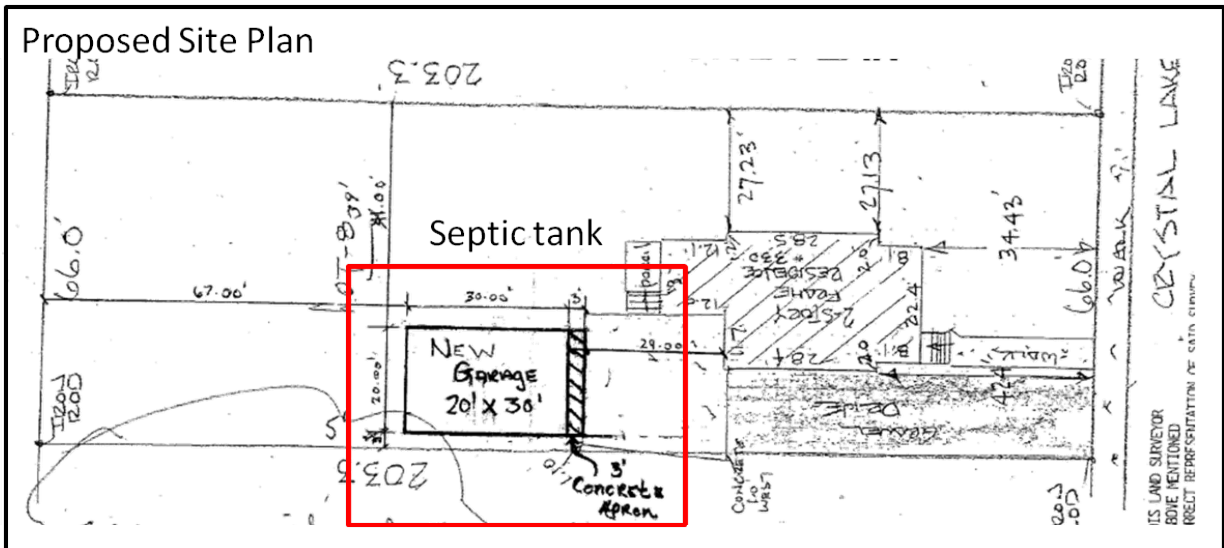
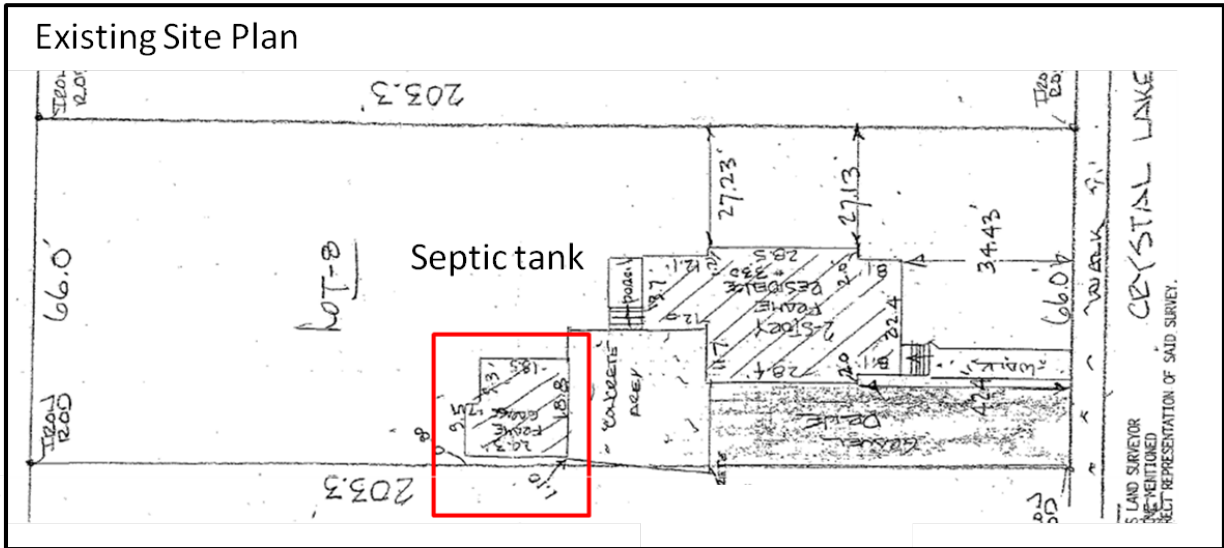
General

- **Request:** The petitioner is requesting a variation to allow a 2-foot encroachment into the 5-foot side yard setback for a detached garage.
- **Land Use:** The land use map shows the area as Urban Residential. This land use designation is appropriate for this use.
- **Zoning:** The site is zoned R-2 (Single Family Residential).

Site Layout

- The required side yard setback is 5 feet.

- A functioning septic tank is located in the backyard and limits the buildable area for the detached garage.
- The proposed detached garage would have a 2-foot encroachment into the 5-foot minimum setback.



Comprehensive Land Use Plan 2030 Vision Summary Review:

The Comprehensive Plan designates the subject property as Urban Residential, which allows for existing and future single-family residential uses. The following goal is applicable to this request:

Land Use - Residential

Goal: Encourage a diversity of high quality housing in appropriate locations throughout the city that supports a variety of lifestyles and invigorates community character.

This can be accomplished with the following supporting action:

Supporting Action: Preserve and enhance the character and livability of existing residential area with architectural and development guidelines. Promote safe, clean and well-maintained housing by encouraging regular repair and maintenance of housing.

Findings of Fact:

ZONING ORDINANCE VARIATION

The petitioner is requesting a variation from Articles 3-200 to allow an encroachment of 2 feet into the required side yard setback. The Unified Development Ordinance lists specific standards for the review and approval of a variation. The granting of a variation rests upon the applicant proving practical difficulty or hardship caused by the Ordinance requirements as they relate to the property. To be considered a zoning hardship, the specific zoning requirements; setbacks, lot width and lot area must create a unique situation on this property. It is the responsibility of the petitioner to prove hardship at the Planning and Zoning Commission public hearing.

Standards

When evidence in a specific case shows conclusively that literal enforcement of any provision of this Ordinance would result in a practical difficulty or particular hardship because:

- a. The plight of the property owner is due to unique circumstances, such as, unusual surroundings or conditions of the property involved, or by reason of exceptional narrowness, shallowness or shape of a zoning lot, or because of unique topography, or underground conditions.

Meets *Does not meet*

- b. Also, that the variation, if granted, will not alter the essential character of the locality.

Meets *Does not meet*

For the purposes of supplementing the above standards, the Commission may take into consideration the extent to which the following facts favorable to the application have been established by the evidence presented at the public hearing:

- a. That the conditions upon which the application for variation is based would not be applicable generally to other property within the same zoning classification;

Meets *Does not meet*

- b. That the alleged difficulty or hardship has not been created by any person presently having interest in the property;

Meets *Does not meet*

- c. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or

Meets *Does not meet*

- d. That the proposed variation will not impair an adequate supply of light or air to adjacent property, will not unreasonably diminish or impair the property values of adjacent property, will not unreasonably increase congestion in the public streets, substantially increase the danger of fire or otherwise endanger public safety.

Meets *Does not meet*

Where the evidence is not found to justify such conditions, that fact shall be reported to the City Council with a recommendation that the variation be denied.

Recommended Conditions:

If a motion to recommend approval of the petitioner's request is made, it should be with the following conditions:

1. Approved plans, reflecting staff and advisory board recommendations, as approved by the City Council:
 - A. Application (Gibson, received 05/12/15)
 - B. Site Plan/Survey (received 05/12/15)
2. The architectural style of the new garage shall be complementary to the principal structure. Exterior siding and trim colors shall match the principal structure.
3. The petitioner shall address all of the review comments and requirements of the Community Development Department.

Application for Simplified Residential Variation

2015 30

Application Number: _____	FOR OFFICE USE ONLY
Project Name: _____	
Date of Submission: _____	

RECEIVED
MAY 12 2015
BY: _____

I. Applicant

SIMON M GIBSON

Name

330 EAST CRYSTAL LAKE AVENUE

Street

CRYSTAL LAKE IL 60014

City

State

Zip Code

+1 815-382-7009

Telephone Number

Fax Number

E-mail address

II. Owner of Property (if different)

SAME

Name

Address

Telephone Number

III. Project Data

1. a. Location/Address: **330 EAST CRYSTAL LAKE AVENUE, CRYSTAL LAKE**

b. PIN #: **14-33-378-018**

2. Description of proposal/Reason for request (including how the standards for variation are met, any unique circumstance of the property, or particular hardship):

DESCRIBE THE UNIQUE CIRCUMSTANCES OF THE PROPERTY:

Replacement of existing 2 car garage with a new 2 car garage due to damaged slab and foundation:

Requesting to permit the setback of the garage from the western boundary to be at three (3) feet instead of the required five (5)-feet setback

Vehicular access to the garage requires the garage to be located as close to west boundary to align with driveway.

Existing structures limit locating a garage at the required five (5) feet set back. Existing garage is located almost on the property line.

IS THE HARDSHIP SELF-CREATED?

No. This is a project to replace the garage which is beyond economic repair and requires replacement.

ARE THE CONDITIONS APPLICABLE TO OTHER PROPERTIES IN THE SAME ZONING CLASSIFICATION?

Yes

WILL THE VARIATION ALTER THE ESSENTIAL CHARACTER OF THE LOCALITY?

No

WILL THE VARIATION, IF GRANTED BE DETRIMENTAL TO PUBLIC WELFARE OR INJURIOUS TO OTHER PROPERTY?

No

WILL THE VARIATION AS PROPOSED IMPAIR ADEQUATE SUPPLY OF LIGHT OR AIR TO ADJACENT PROPERTY; DIMINISH PROPERTY VALUE; INCREASE CONGESTION IN PUBLIC STREETS; SUSBTANTIALY INCREASE THE DANGER OF FIRE; OT ENDANGER PUBLIC SAFETY?

No

3. List any previous variations that are approved for this property:

None.

IV. Signatures

PETITIONER: Print and Sign name (if different from owner)

Date

As owner of the property in question, I hereby authorize the seeking of the above requested action.

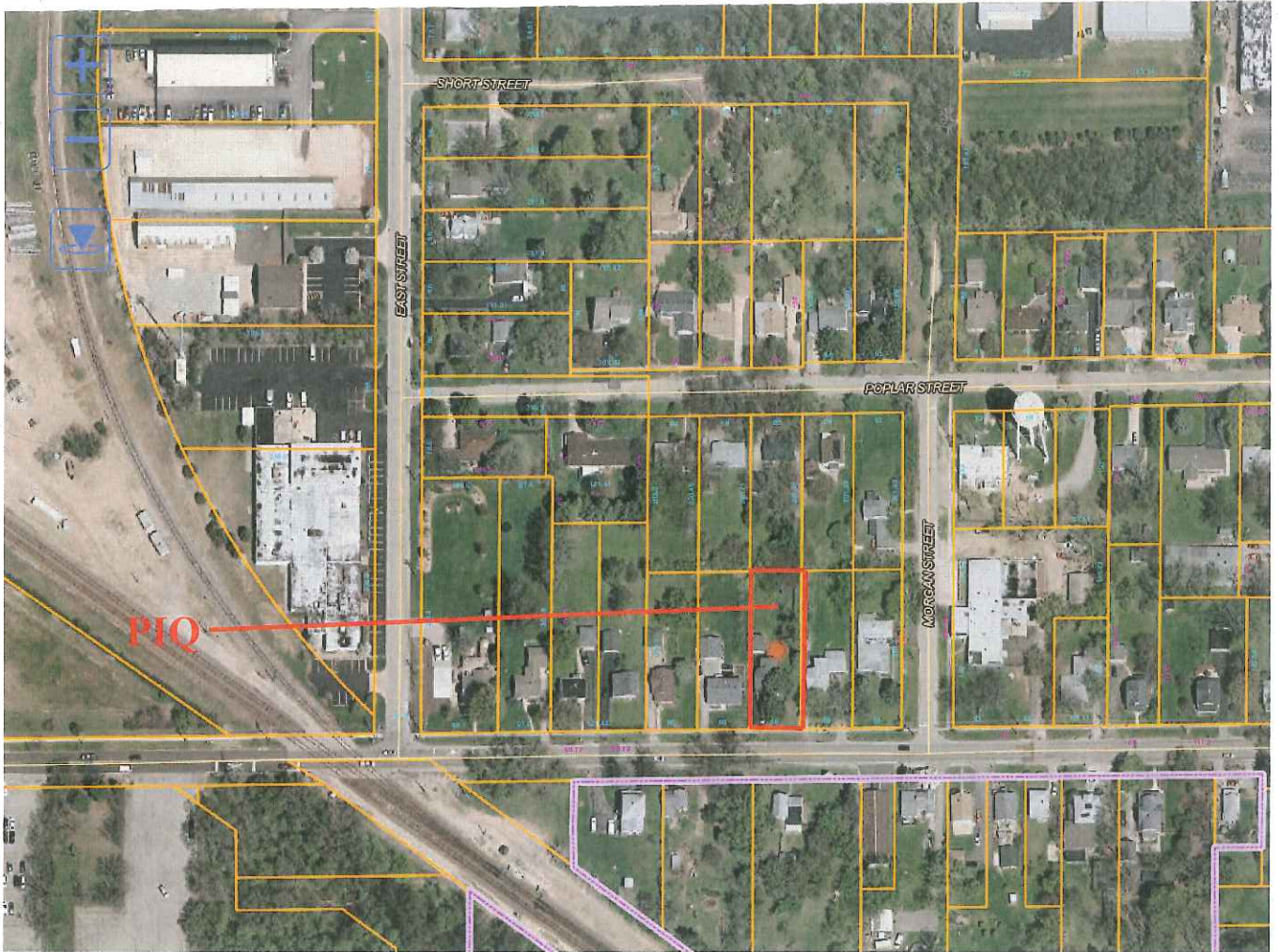
SIMON M. GIBSON

2015-05-11

OWNER: Print and Sign name

Date

NOTE: If the property is held in trust, the trust officer must sign this petition as owner. In addition, the trust officer must provide a letter that names all beneficiaries of the trust.



PUBLIC NOTICE

**BEFORE THE PLANNING AND
ZONING COMMISSION
OF THE CITY OF CRYSTAL LAKE,
MCHENRY COUNTY, ILLINOIS
IN THE MATTER OF THE APPLICA-
TION OF Simon Gibson**

LEGAL NOTICE

Notice is hereby given in compliance with the Unified Development Ordinance (UDO) of the City of Crystal Lake, Illinois, that a public hearing will be held before the Planning and Zoning Commission of the City of Crystal Lake upon the application of Simon Gibson for variations relating to the following described real estate commonly known as 330 E. Crystal Lake Avenue, Crystal Lake, Illinois 60014, PIN: 14-33-378-018

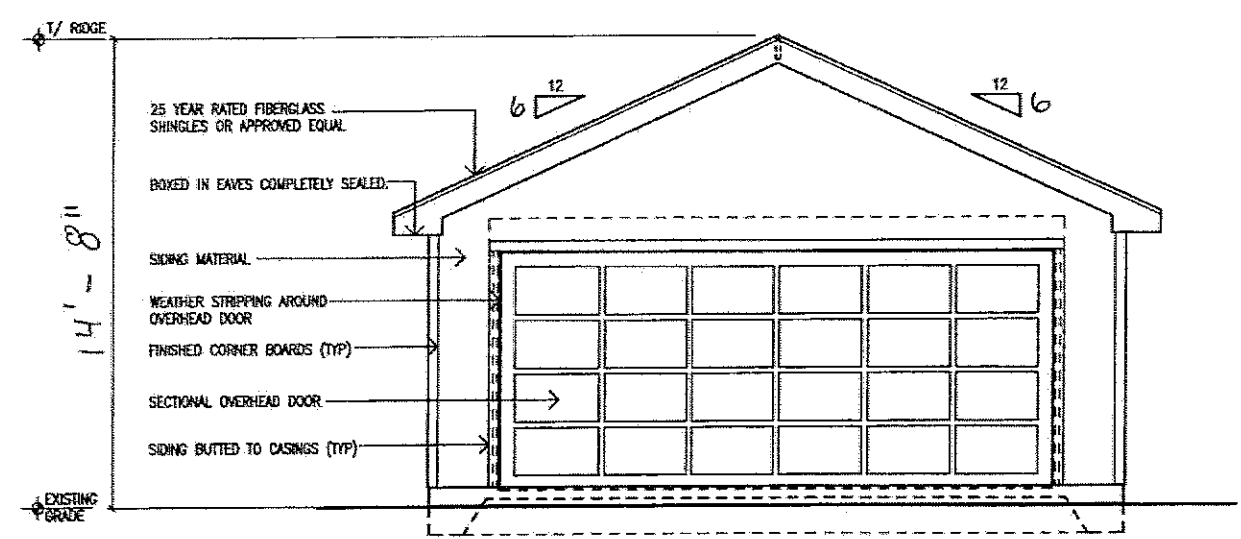
This application is filed for the purpose of seeking a zoning variation pursuant to Article 3-200 of the UDO, from the minimum 5-foot side yard setback requirement for an accessory structure, to allow a detached garage to encroach 2 feet, as well as any other variations that may be necessary to complete the project as proposed. Plans for this project can be viewed at the City of Crystal Lake Community Development Department at City Hall.

A public hearing before the Planning and Zoning Commission for this request will be held at 7:30 p.m. on Wednesday June 3, 2015, at the Crystal Lake City Hall, 100 West Woodstock Street, at which time and place any person determining to be heard may be present.

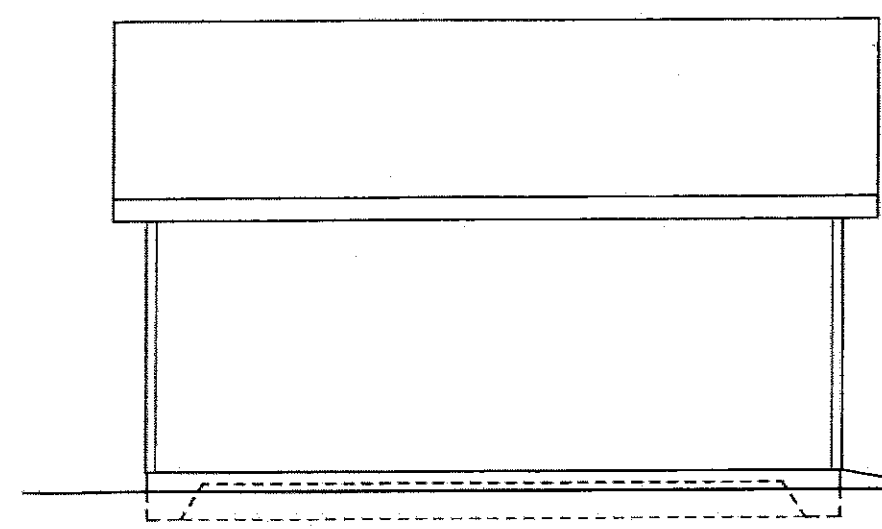
Tom Hayden, Chairperson
Planning and Zoning Commission
City of Crystal Lake

(Published in the Northwest Herald
May 16, 2015.) NW 6565

- WINDOW TYPE:**
- FIXED PICTURE JALOUSIE
5'-4" X 2'-0"
 - SLIDING WINDOW WITH SCREEN
5'-4" X 2'-0"
- DOOR TYPE:**
- STEEL DOOR PRIMED
3'-0" X 6'-8"



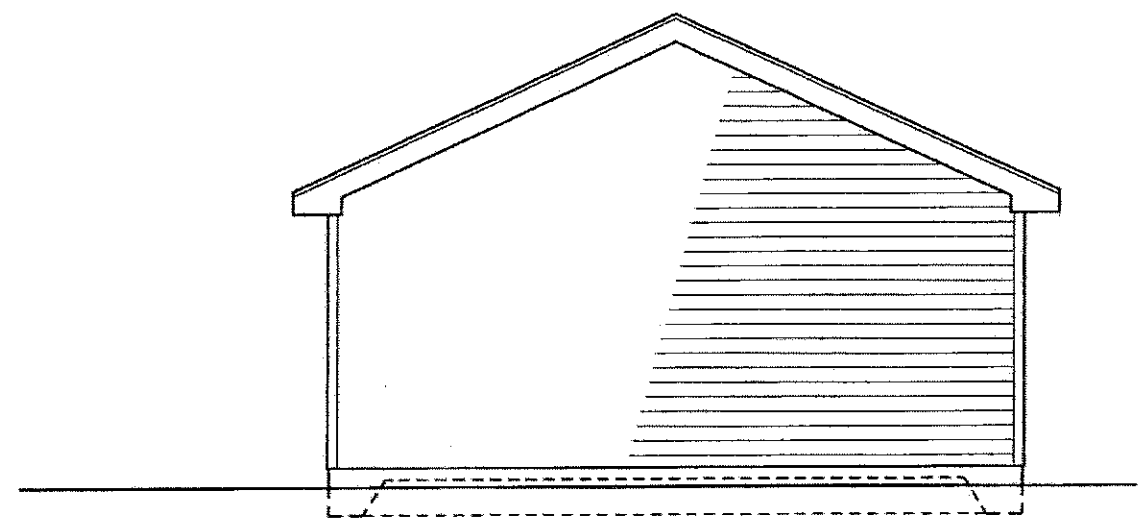
SOUTH ELEVATION



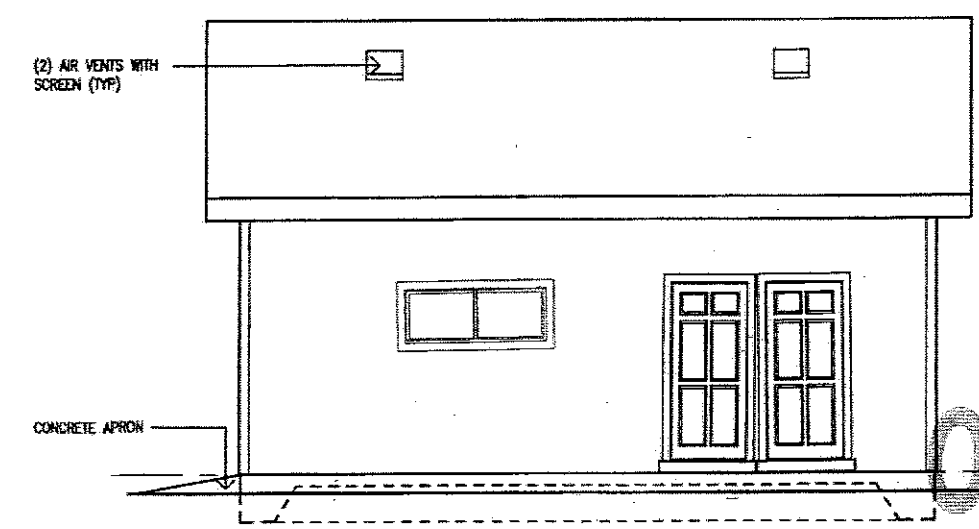
WEST ELEVATION

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MAY 12 2015
BY: _____

2015 30



NORTH ELEVATION



EAST ELEVATION

OWNER COPY

NOTE: DRAWINGS ARE NOT TO SCALE



DETACHED GARAGE - GABLE ROOF
330 E. Crystal Lake Ave, Crystal Lake, Gibson

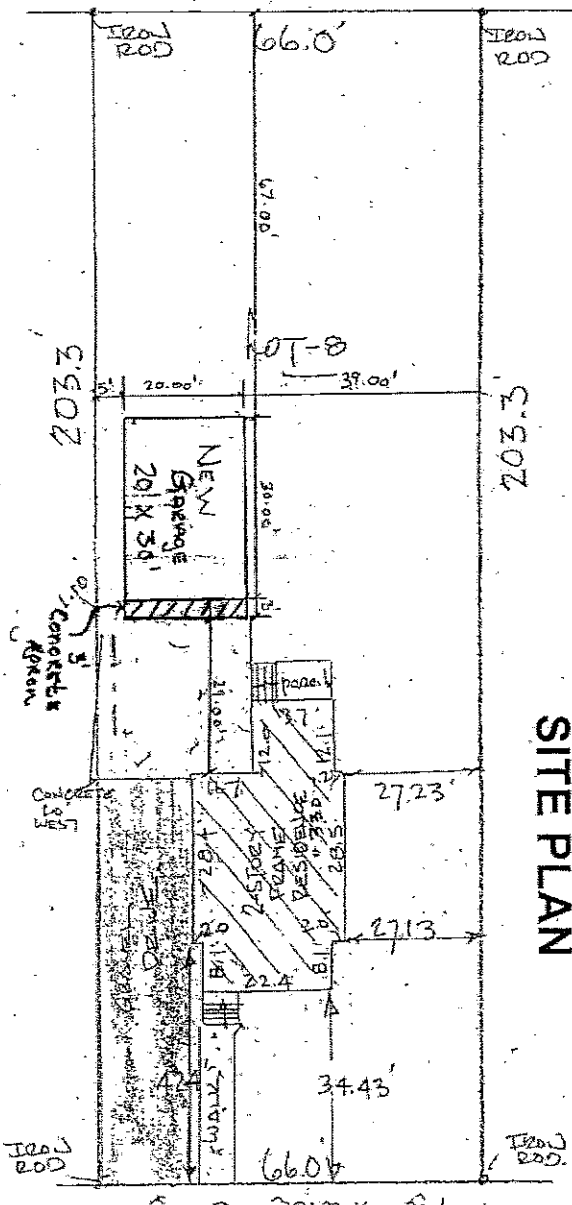
CONTRACTOR:
DANLEY'S GARAGE WORLD
612 ACADEMY DRIVE
NORTHBROOK, IL 60062
PHONE: 847 562 9390
FAX: 847 562 1939

SHEET NAME:
ELEVATIONS
SHEET NUMBER:
2 OF 2

THESE PLANS REMAIN THE PROPERTY OF MACH 1, INC. AND THEIR REPRODUCTION IS EXPRESSLY FORBIDDEN.

PLAT OF SURVEY
OF

LOT 8 IN BLOCK 1 IN MEIER'S ADDITION TO CRYSTAL LAKE, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 18, 1927 AS DOCUMENT NO. 79533, IN BOOK 6 OF PLATS, PAGE 31, IN MCHEERY COUNTY, ILLINOIS.



PROPOSED
SITE PLAN

2015 30
RECEIVED
MAY 12 2015
BY:



STATE OF ILLINOIS) S.S.
COUNTY OF MCHEERY)

I, PATRICK MCKIERMAN, A REGISTERED ILLINOIS LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE MENTIONED PARCEL OF LAND AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY.
DATED THIS 23RD DAY OF SEPTEMBER, 2002.

REG. #2131 Patrick McKiernan
P.O. BOX 251 WOODRIDGE, IL 60097 815-653-9958 ACCOUNT NO. 8629

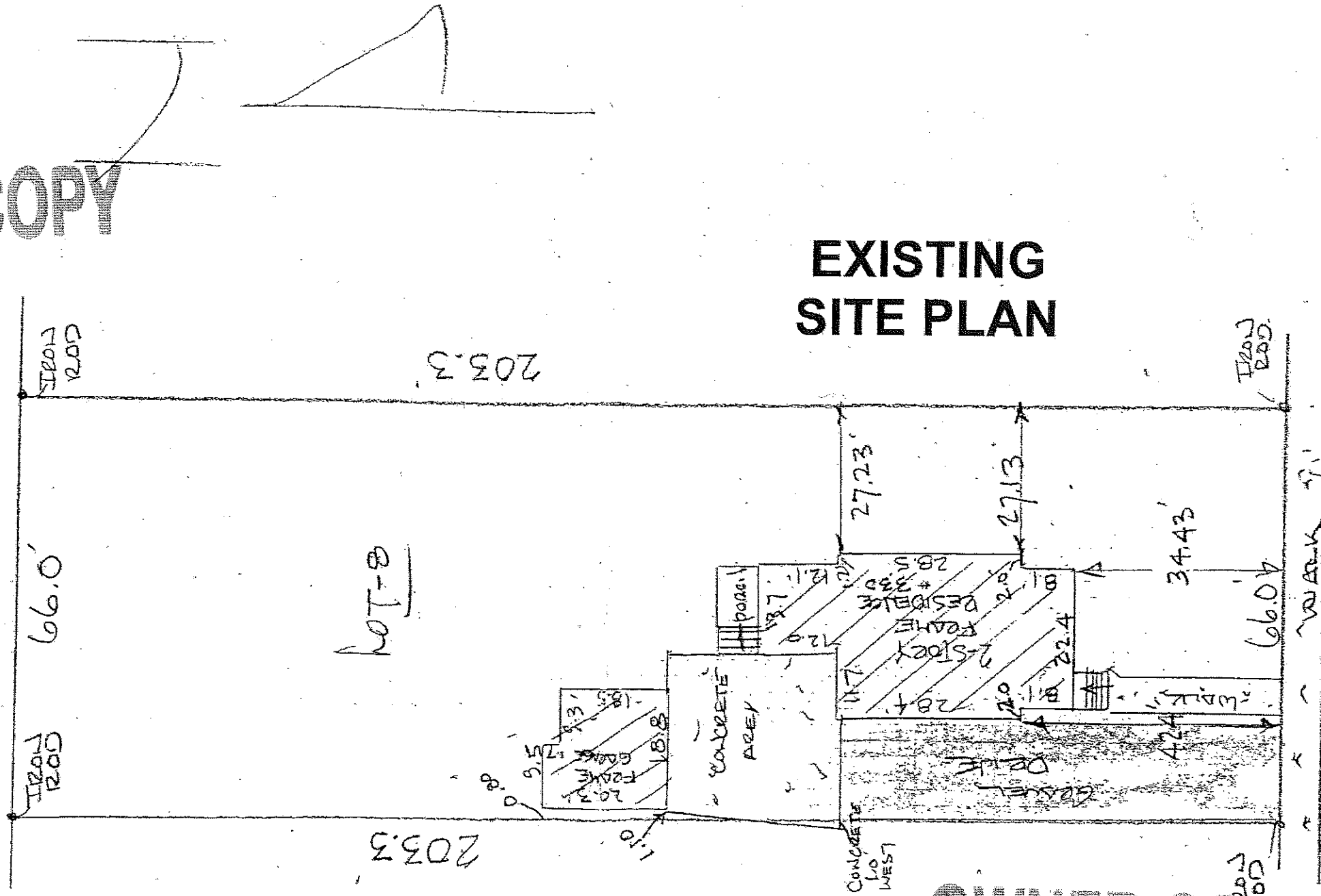
CRYSTAL LAKE AREA
OWNER COPY
APPROVED

Revised
4/17/15 BJA
OC

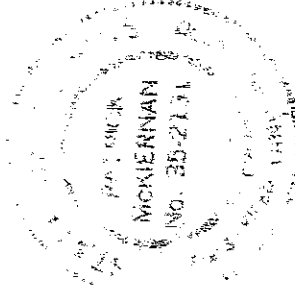
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OWNER COPY



OWNER COPY



STATE OF ILLINOIS) S.S.
COUNTY OF MCHENRY)

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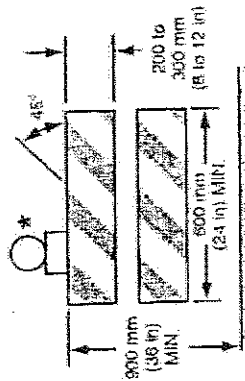
CRYSTAL LAKE ILLINOIS
2015 30

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BY:

SYMBOLS

	Work Area
	Cone, Drum or Barricade (not required for moving operations)
	Sign on Portable or Permanent Support
	Flagger with Traffic Control Sign
	Type II Non-Metallic Barricade

- NOTES**
1. Cones at 25' centers for 250'. Additional cones may be placed at 50' centers. When drums or Type II barricades are used, the interval between devices may be doubled.
 2. Traffic control devices shall meet the requirements of Article 701.15 of the IDOT Standard Specifications (latest edition).
 3. For devices covered by NCHRP Report 350 ("Recommended Procedures for the Safety Performance Evaluation of Highway Features"), the Contractor shall provide a manufacturer's self-certification letter for each Category 1 device and an FHWA acceptance letter for each Category 2 and Category 3 device used on the contract. The FHWA website (http://safety.fhwa.dot.gov/programs/roadside_hardware.htm) identifies all such hardware and includes copies of FHWA acceptance letters for each of them.



Cone, Drum, or Barricade (Typ.)

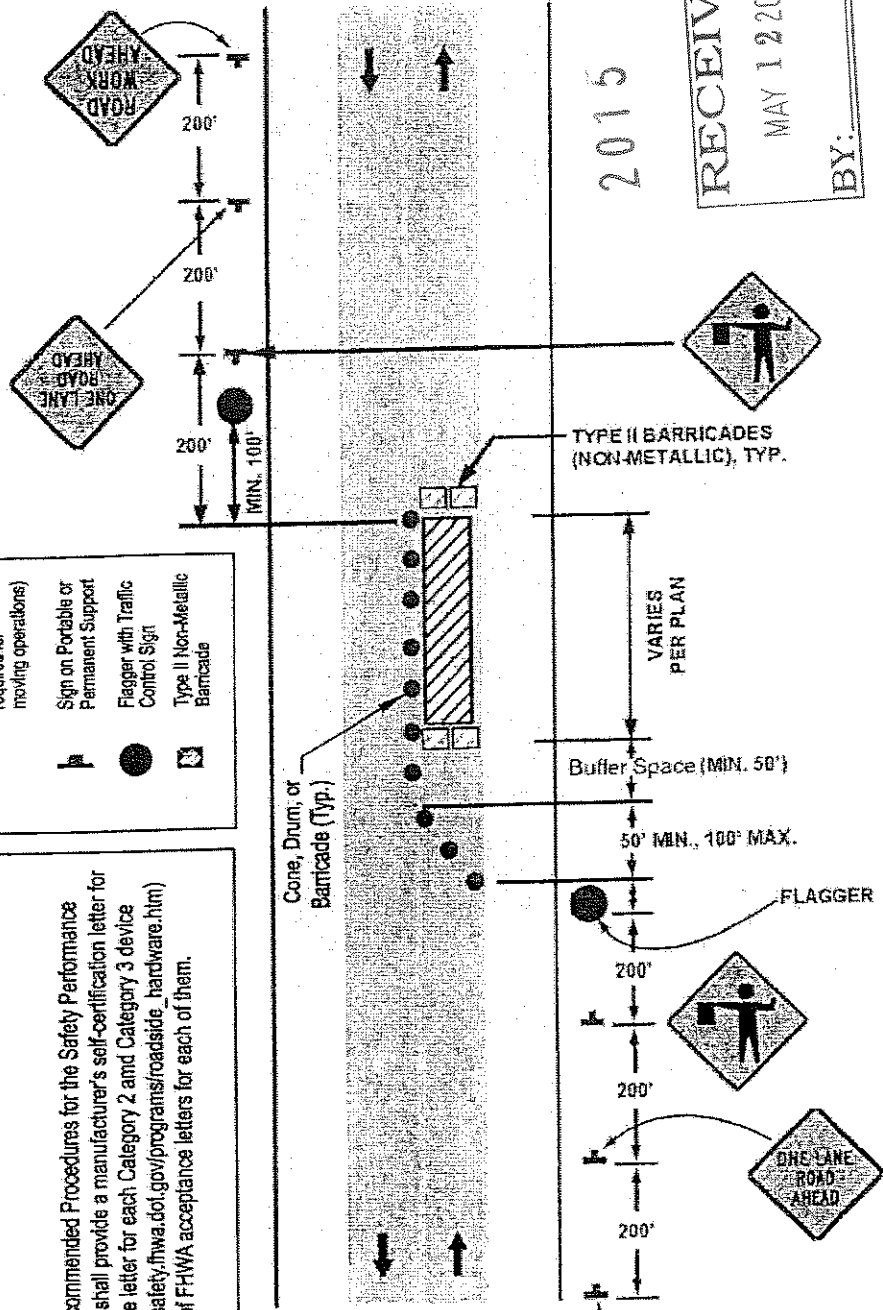
TYPE II BARRICADE

Buffer Space (MIN. 50')

VARIES PER PLAN

TYPE II BARRICADES (NON-METALLIC), TYP.

FLAGGER

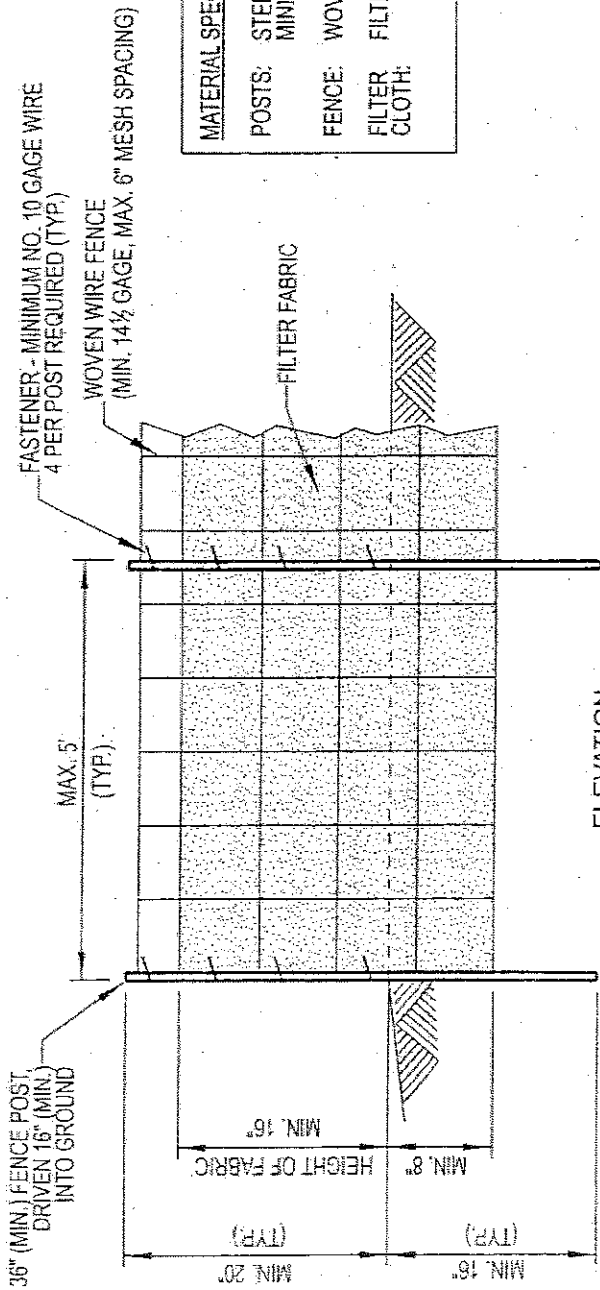


CRYSTAL LAKE
ILLINOIS
Engineering Division

Drawing Number	TR-04a
Date	4/15/2007
Drawn	EM
Checked	TR

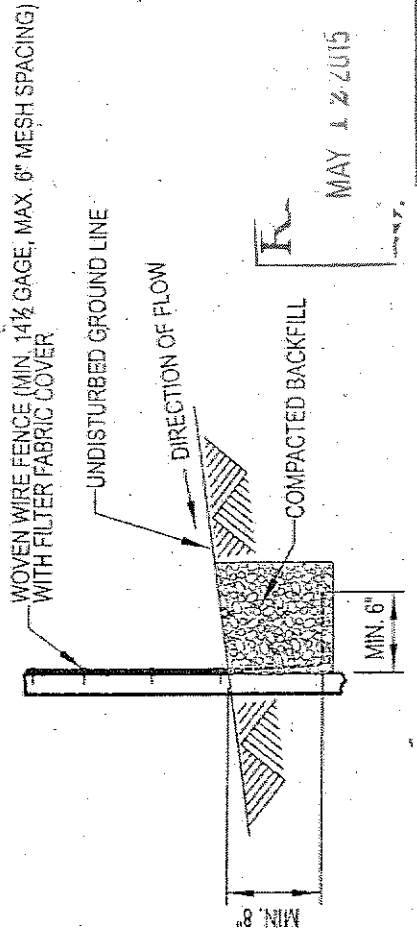
Drawing Name
**TYPICAL LANE CLOSURE:
2 LANE ROADWAYS**

Approved: City Engineer
[Signature]
Victor C. Ramirez, P.E.
Director of Engineering and Building



ELEVATION

MATERIAL SPECIFICATIONS:
POSTS: STEEL (EITHER "T" OR "U" TYPE) OR HARDWOOD WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
FENCE: WOVEN WIRE (14 1/2 GAGE) WITH 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T 140N.

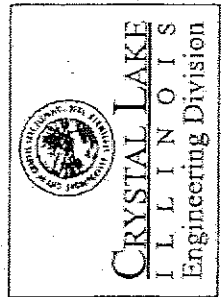


FABRIC ANCHOR DETAIL

- NOTES:**
1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED, AS NEEDED, THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES
 3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION
 4. WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED
 5. MATERIAL SHALL BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE
 6. DOUBLE ROWS OF SILT FENCE SPACED FIVE (5) FEET APART SHALL BE PLACED AROUND EXISTING STORMWATER MANAGEMENT FACILITIES OR WETLANDS AS ADDITIONAL PROTECTION

FR
 MAY 12 2015

2015 30



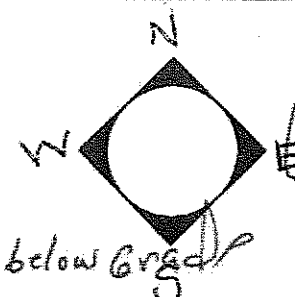
Drawing Number	EC-01
Date:	4/15/2007
Drawn	EM
Checked	LZ

SILT FENCE

Drawing Name

Approved: City Engineer
Victor C. Ramirez
 Victor C. Ramirez, P.E.
 Director of Engineering and Building

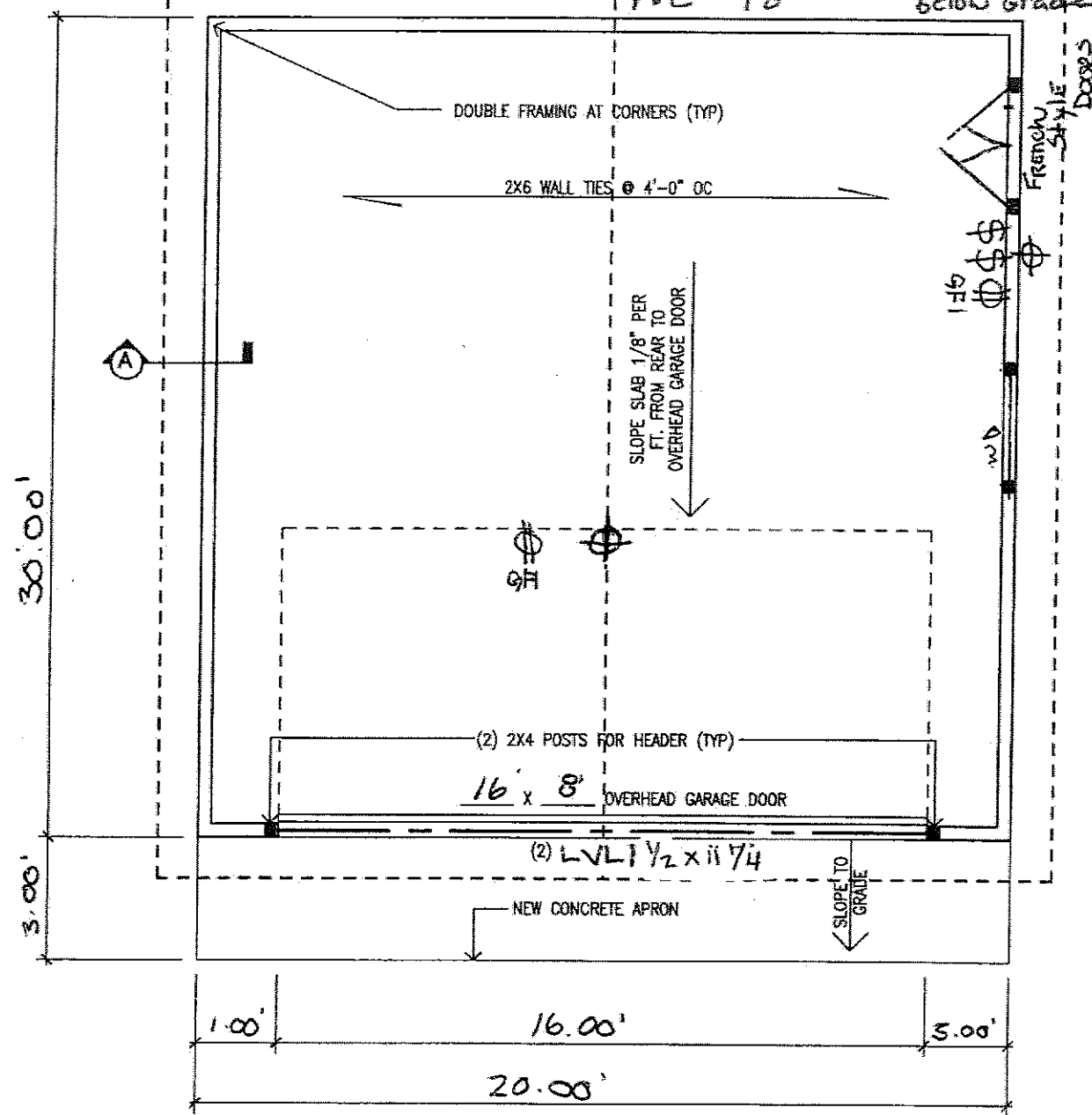
ELECTRICAL WORK SHALL COMPLY WITH ALL LOCAL & GOVERNING CODES
 MINIMUM ELECTRICAL REQUIREMENTS FOR GARAGES:
 - 1 EACH SWITCHED ENTRY LIGHT AT SERVICE DOOR
 - 1 EACH SWITCHED INTERIOR LIGHT
 - 2 EACH GFI DUPLEX RECEPTACLE



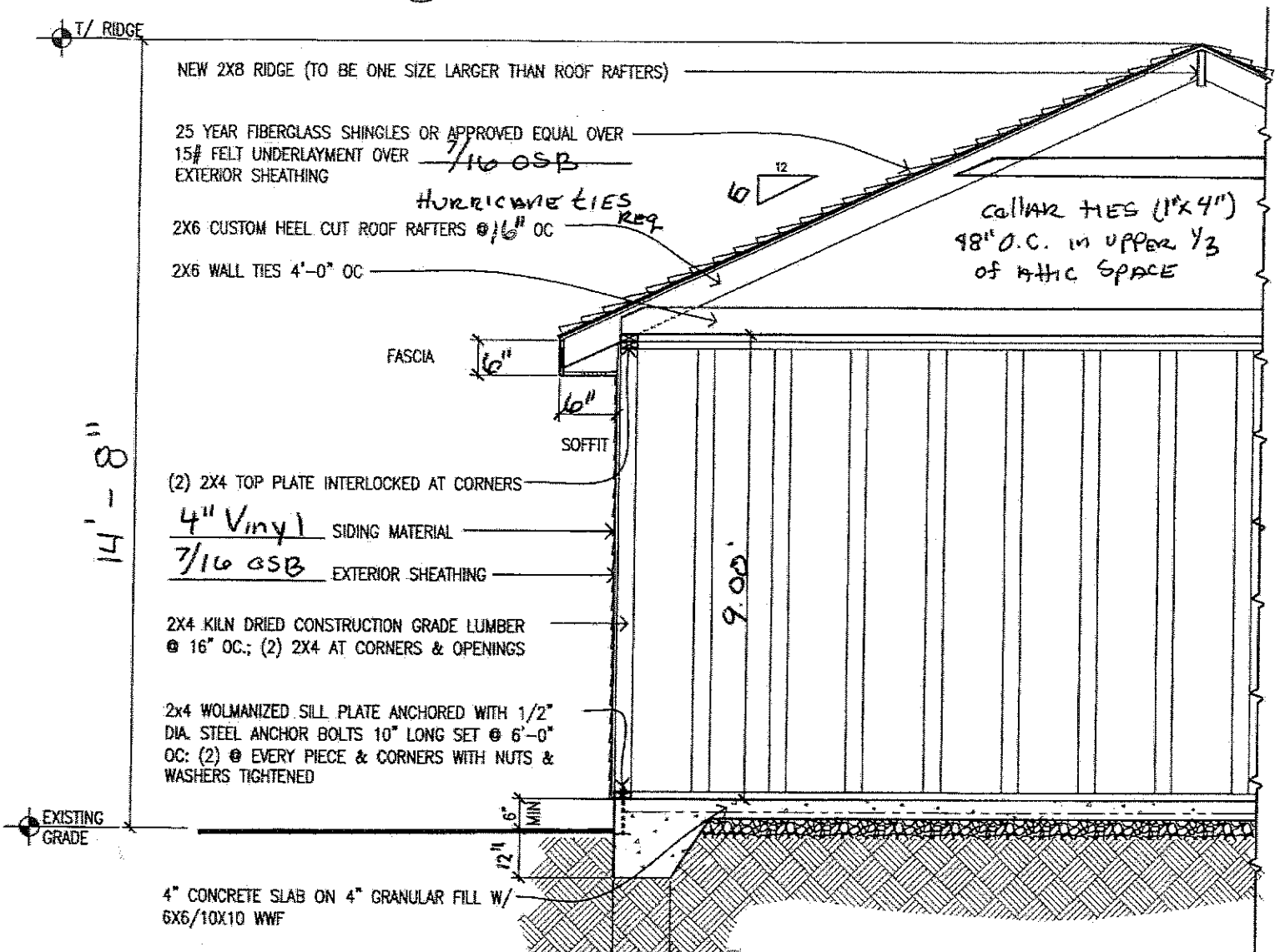
Headers
 2x4" Header 3'6"
 2x6" Header 5'5"
 2x8" Header 6'10"

2015 30
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 MAY 12 2015
 BY: _____

Underground Electric to Garage Ridge Pipe minimum 6" below grade
 PVC 18" " below grade



FLOOR PLAN



BUILDING SECTION

OWNER COPY
 APPROVED
 NOTE: DRAWINGS ARE NOT TO SCALE



DETACHED GARAGE - GABLE ROOF
 330 E. CRYSTAL LAKE AVE, CRYSTAL LAKE, GIBSON

CONTRACTOR:
 DANLEY'S GARAGE WORLD
 612 ACADEMY DRIVE
 NORTHBROOK, IL 60062
 PHONE: 847 562 9390
 FAX: 847 562 1939

SHEET NAME:
 FLOOR PLAN & BUILDING SECTION
 SHEET NUMBER:
 1 OF 2

THESE PLANS REMAIN THE PROPERTY OF MACH 1, INC. AND THEIR REPRODUCTION IS EXPRESSLY FORBIDDEN.

5' side yard setback

203.3

203.3

NEW Garage 20' X 30'

NOT-8 39'

20.00'

30.00'

Concrete Apron

porch

29.00'

27.23'

CONCRETE TO WEST

2-STOREY FRAME RESIDENCE # 230

27.13'

CONCRETE DRIVE

22.4'

34.43'

RECEIVED
MAY 12 2015

Iron ROD

42.4'

66.06'

TBXJ
2015

2015 30

CRYSTAL LAKE AVE

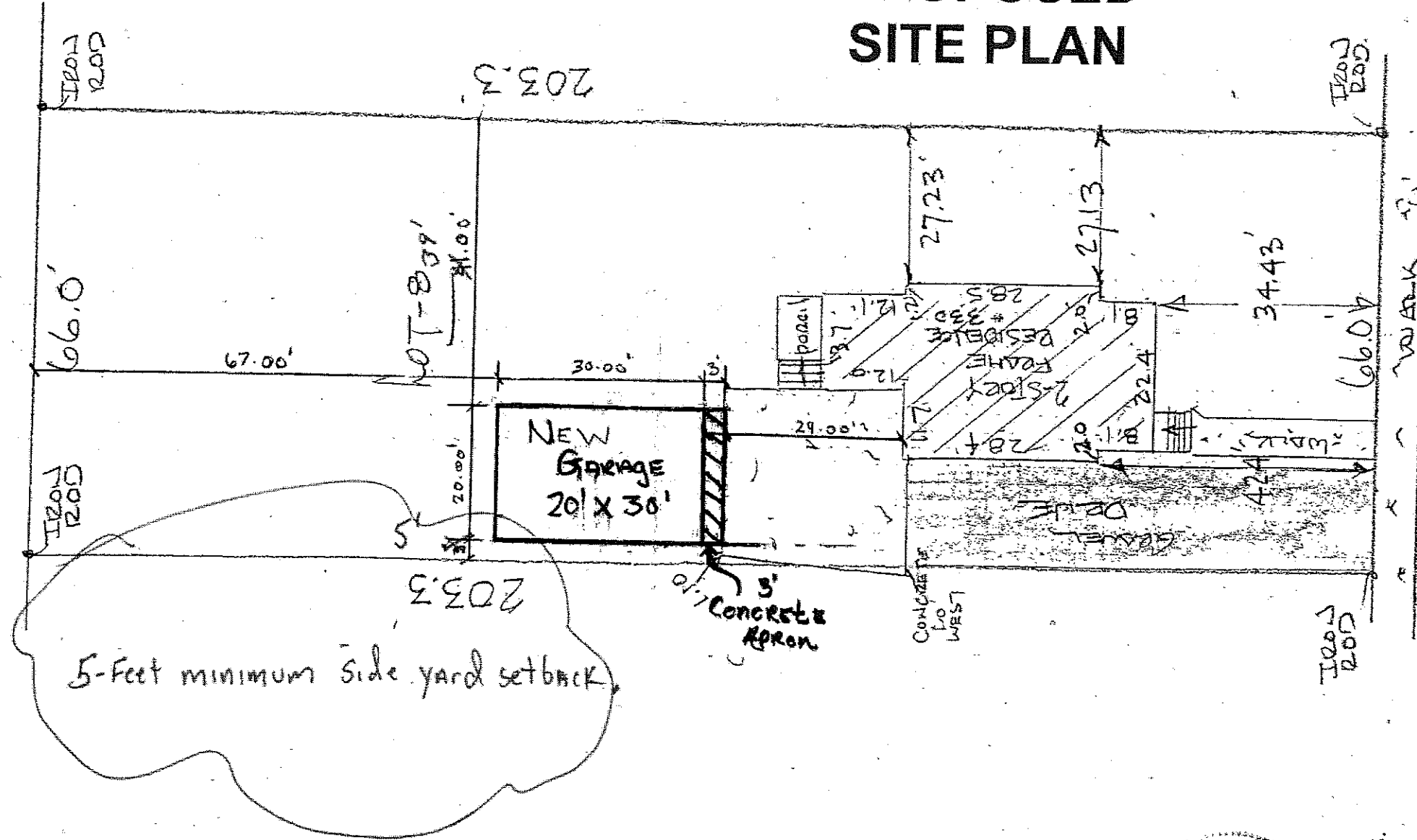
ED ILLINOIS LAND SURVEYOR
YED THE ABOVE MENTIONED
T IS A CORRECT REPRESENTATION OF SAID SURVEY.

2002

PLAT OF SURVEY
OF

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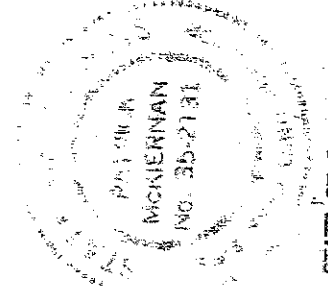
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**PROPOSED
SITE PLAN**

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STATE OF ILLINOIS)
COUNTY OF MCHENRY) S.S.

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Patrick McKiernan